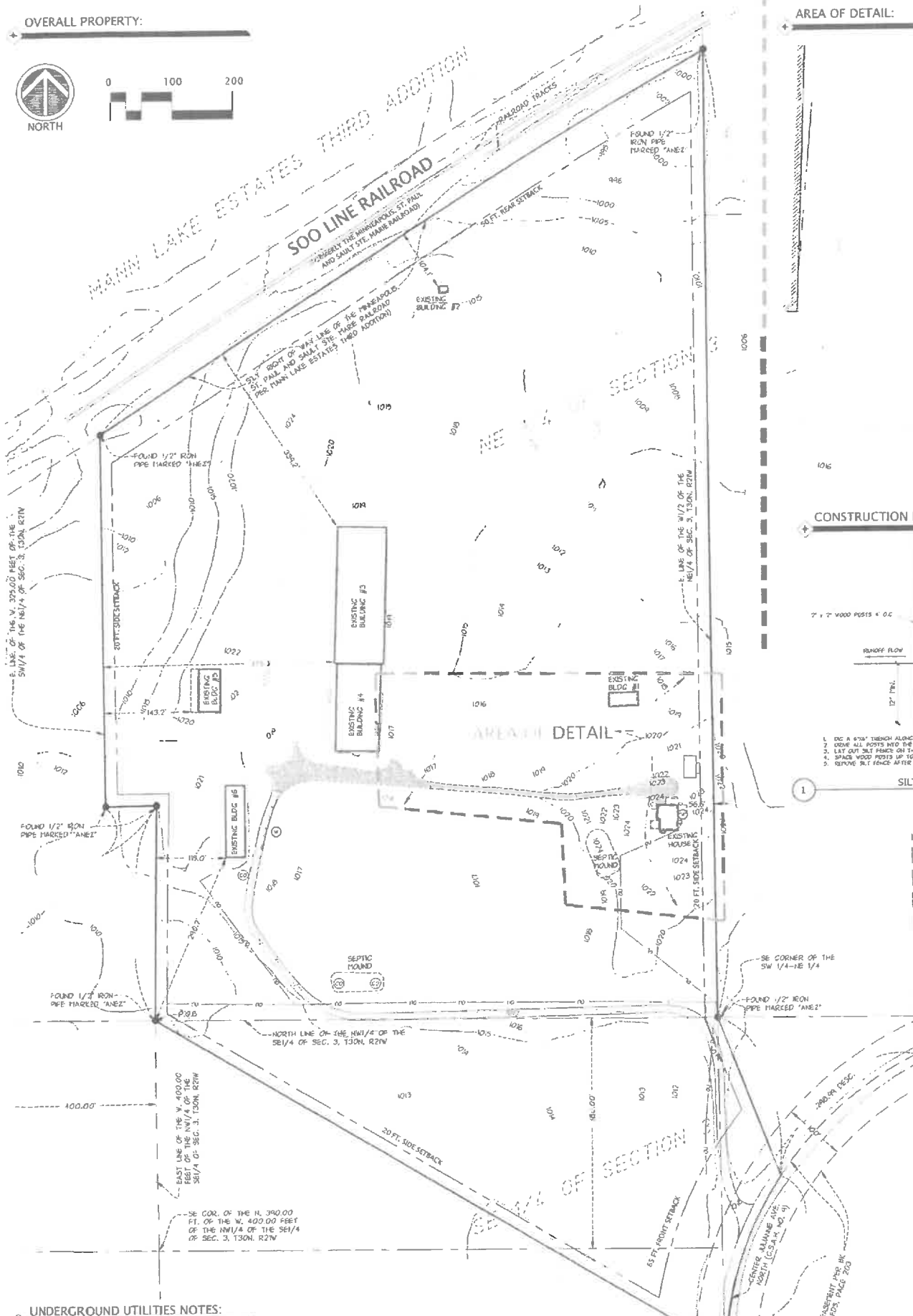
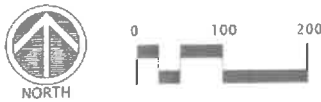


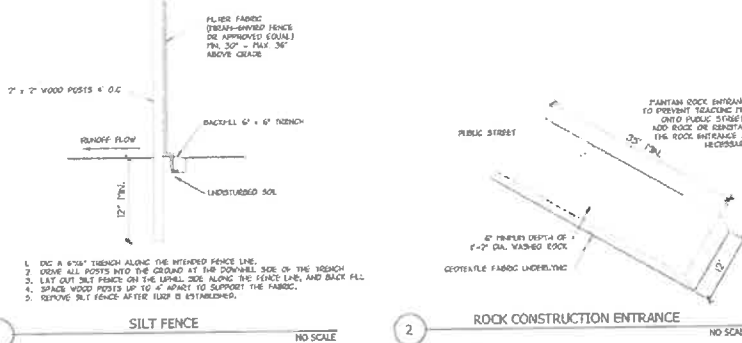
OVERALL PROPERTY:



AREA OF DETAIL:



CONSTRUCTION DETAILS:



EXISTING LEGAL DESCRIPTION:

(LEGAL DESCRIPTION PER LIMITED WARRANTY DEED DOC. NO. 3859080)
 All that part of the Northeast Quarter and the Southeast Quarter of Section 3, Township 30 North, Range 21 West, Grant Township, Washington County, Minnesota, described as follows:
 Commencing at the Southeast corner of the North 380.00 feet of the West 400.00 feet of the Northwest Quarter of said Southeast Quarter; thence North 01 degrees 30 minutes 59 seconds West, assumed bearing, along the East line of said West 400.00 feet, a distance of 380.05 feet to its intersection with the North line of said Northwest Quarter of the Southeast Quarter and to the point of beginning of the parcel to be described; thence South 59 degrees 50 minutes 35 seconds East, a distance of 1074.20 feet to its intersection with the centerline of Julianne Avenue North (also known as Washington County Road No. 9); thence Northeasterly, along said centerline of Julianne Avenue North, a distance of 300.00 feet to its intersection with a line that bears South 21 degrees 49 minutes 41 seconds East from the Southeast corner of the Southwest Quarter of said Northeast Quarter, thence North 01 degrees 29 minutes 33 seconds West, along the East line of the West 1/4 of said Northeast Quarter, a distance of 1609.34 feet to its intersection with the Southerly right of way line of the Minneapolis, St. Paul and Sault Ste. Marie Railroad Company; thence South 55 degrees 58 minutes 10 seconds West, along said Southerly right of way line, a distance of 1171.49 feet to its intersection with the East line of the West 325.00 feet of said Southwest Quarter of the Northeast Quarter; thence South 01 degrees 30 minutes 59 seconds East, along said East line of the West 325.00 feet, a distance of 611.10 feet; thence North 88 degrees 09 minutes 42 seconds East, a distance of 353.49 feet to the point of beginning.

TITLE NOTES:

NO TITLEWORK WAS PROVIDED FOR OUR REVIEW. EASEMENTS OF WHICH WE ARE UNAWARE (AND HENCE HAVE NOT BEEN LOCATED/SHOWN) MAY EXIST.

SURVEY NOTES:

- BEARINGS ARE BASED ON COORDINATES SUPPLIED BY THE WASHINGTON COUNTY SURVEYORS OFFICE (NAD 83)
- UNDERGROUND UTILITIES NOT SHOWN.
- FIELD TOPOGRAPHY HAS BEEN CONDUCTED IN AREAS SHOWING SPOT ELEVATIONS AND THE LOCATION OF THE IMPROVED ROADS LOCATED WITH SURVEY FIELD METHODS. ADDITIONAL CONTOURS ON THE SITE IS SHOWN PER LIDAR DATA FROM THE MINNESOTA DNR MNTPO DATASET.
- THE PURPOSE OF THIS SURVEY IS TO DETAIL THE AREA AROUND THE HOME SITE FOR PLANNING PURPOSES. THE BOUNDARY AND SUPPLEMENTAL INFORMATION HAS BEEN PROVIDED FOR FUTURE PLAN REVIEW. ALL EXISTING BUILDINGS ON THE SITE HAVE BEEN LOCATED AND THE MORE FORMAL ROADS (BITUMINOUS OR CLEARLY GRAVEL COVERED) HAVE ALSO BEEN INCLUDED WITH IMPERVIOUS SURFACE CALCULATIONS FOR FUTURE SITE REVIEW INFORMATION.

ZONING/SETBACKS:

(ZONING AND SETBACK INFORMATION FROM THE CITY OF GRANT WEBSITE 06/23/2022).

ZONING: A-1 (AGRICULTURAL LARGE SCALE)
 SETBACKS:
 FRONT: 65 FEET
 SIDE: 20 FEET
 REAR: 50 FEET
 MAXIMUM HEIGHT: 35 FEET
 *VERIFY ALL SETBACKS WITH CITY ZONING ADMINISTRATOR.

EXISTING IMPROVEMENTS:

HOUSE	= 1405
DECKS/STEPS	= 423
CELLAR DOOR	= 38
EXPANDED FNFT	= 11
GRAVEL DRIVE (AS SHOWN)	= 14373
BITUMINOUS DRIVE	= 18618
BUILDING #1	= 1135
BUILDING #2	= 185
BUILDING #3	= 18076
BUILDING #4	= 10455
BUILDING #5/LEANTO	= 3478
TOTAL IMPROVED AREA	= 68197
% IMPROVED	= 4.6%

PROPOSED IMPROVEMENTS:

HOUSE	= 1405
NEW BUILDING	= 720
DECKS/STEPS	= 423
CELLAR DOOR	= 38
EXPANDED FNFT	= 11
GRAVEL DRIVE (AS SHOWN)	= 14373
BITUMINOUS DRIVE	= 18618
BUILDING #1	= 1135
BUILDING #2	= 185
BUILDING #3	= 18076
BUILDING #4	= 10455
BUILDING #5/LEANTO	= 3478
TOTAL IMPROVED AREA	= 68917
% IMPROVED	= 4.6%

PROPOSED ELEVATIONS:

MAIN FLOOR	1024.50	*ELEVATIONS PER GARY HITTLE, HITTLE STUDIO 3/14/2023
BASEMENT FLOOR	1015.73	
TOP FOUNDATION	1023.40	

LEGEND:



AREAS:

TOTAL PARCEL AREA	= 1,510,003 SF / 34.66 ACRES
ROW OF JULIANNE AVENUE	= 16,121 SF / 0.37 ACRES
PARCEL AREA MINUS ROW	= 1,493,882 SF / 34.29 ACRES

IDYLWOOD EQUESTRIAN CENTER

CONTACT:
 Jamie Benner/Jur Strobos
 11490 Julianne Avenue North
 Grant, Minnesota 55082
 Phone: 763-285-9280
 Email: jurstrobos@icloud.com

COUNTY/CITY:
 WASHINGTON COUNTY
 CITY OF GRANT

REVISIONS:
 DATE REVISION
 06-24-2022 INITIAL ISSUE
 03-15-2023 PROF. BUILDING

CERTIFICATION:
 I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota.
 Daniel L. Thomas Registration Number: 25718
 Date: 06-24-2022

PROJECT LOCATION:
11490
JULIANNE AVE. N.
PID#0303021130003

Suite #200
 1970 Northwestern Ave.
 Stillwater, MN 55082
 Phone 651.275.8959
 dan@cornerstone.net
 cissurvey.net

CORNERSTONE LAND SURVEYING, INC.

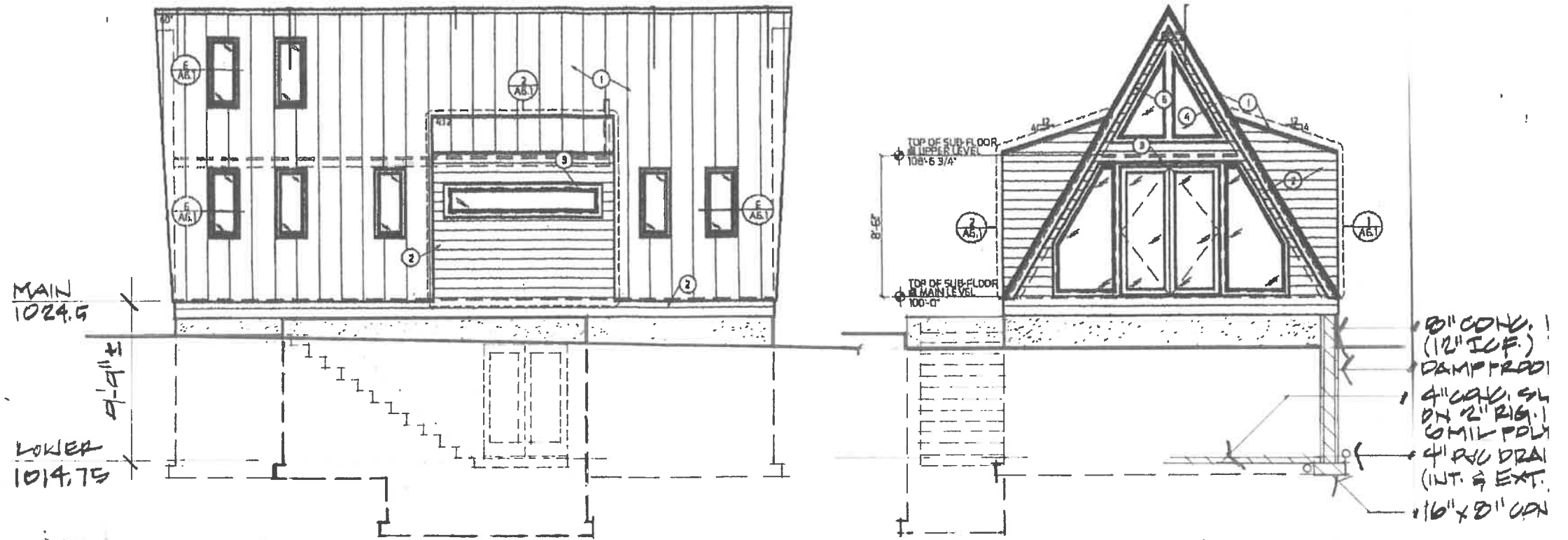
FILE NAME SURV2246RA
 PROJECT NO. 2217468A

BOUNDARY/TOPOGRAPHIC SURVEY

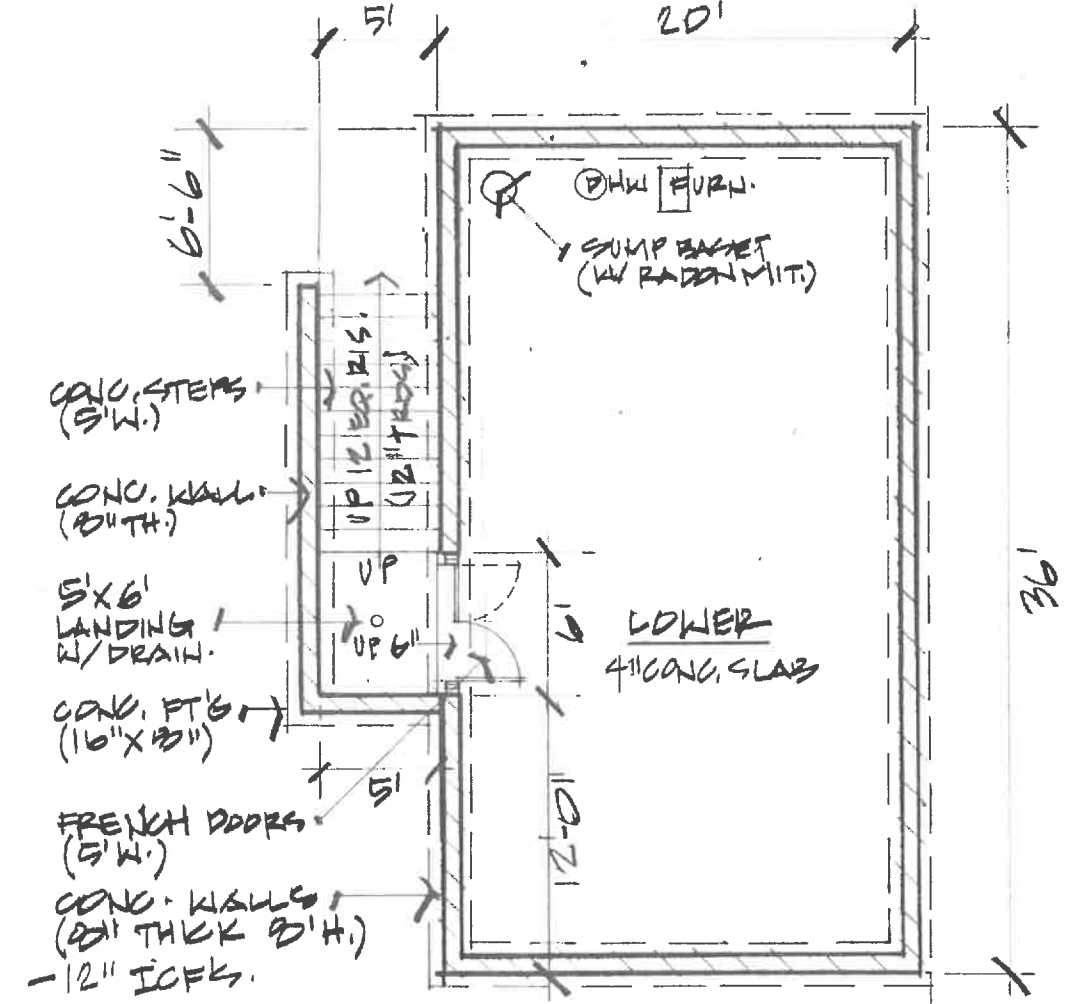
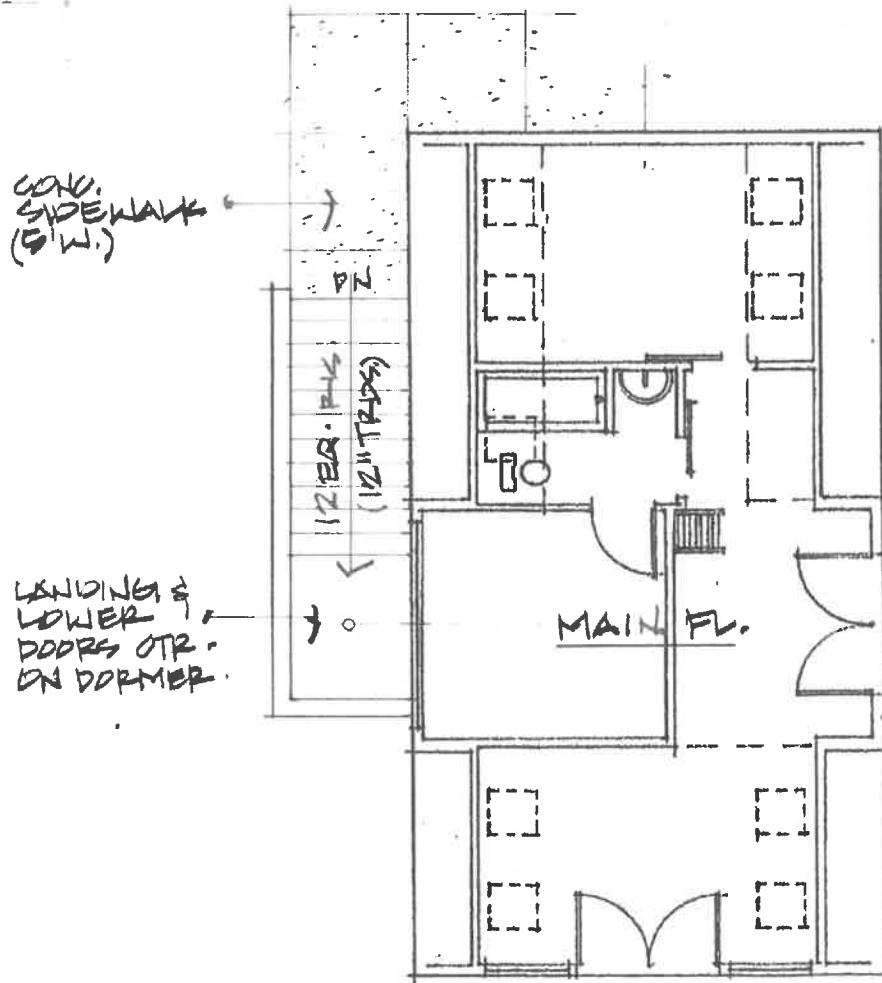
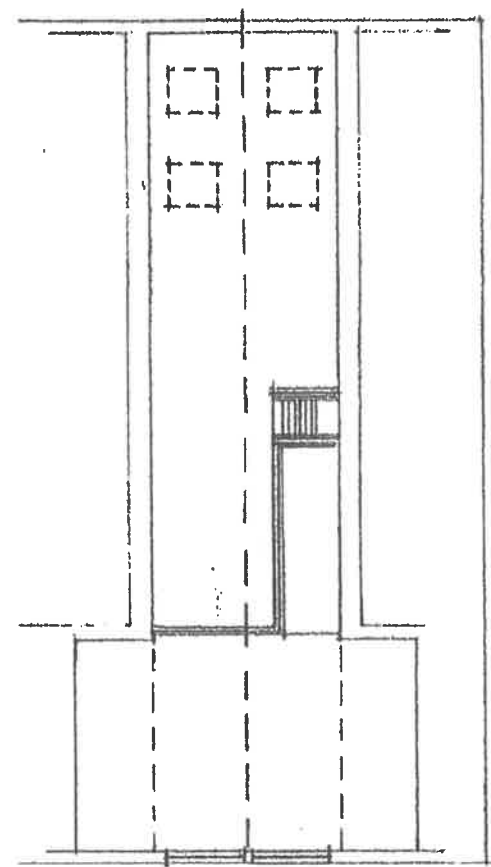
UNDERGROUND UTILITIES NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH FACILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. ADDITIONAL UTILITIES OF WHICH WE ARE UNAWARE MAY EXIST.

CALL BEFORE YOU DIG!
Gopher State One Call
 TWIN CITY AREA: 651-454-0902
 TOLL FREE: 1-800-252-1168



8" CONG. (12" ICF)
 DAMP PROOF
 4" CONG. SLAB ON 2" RIG.
 6 MIL POLY
 4" PVC DRAIN (INT. & EXT.)
 16" x 8" CON.



STROBIS. A-FRAME FOUNDATION PLAN
 MARCH 2023



THE GRAPHIC MATERIAL AND DESIGN ON ALL SHEETS IN THIS PROJECT ARE THE SOLE PROPERTY OF AVRAME USA. REPRODUCTION OR REUSE OF THE MATERIAL AND DESIGN CONTAINED HEREIN IS THE WRITTEN CONSENT OF AVRAME U.S.A. VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. AVRAME U.S.A. ALL RIGHTS RESERVED.

IDYLWOOD OFFICE
 11490 JULIANNE AVENUE NORTH
 GRANT, MN 55082

DUO 100 PROJECT (020)

DRAWN FOR ONE-TIME USE FOR
AVRAME U.S.A.

ISSUE DATE 10/14/2021

REVISIONS
 REVISION DELTA

A0.1
 COVER SHEET

GENERAL NOTES

- A. EXCAVATION, BACKFILL, AND GRADING**
 1. All excavations for footings shall be placed on natural, undisturbed soil.
 2. All excavations for footings shall be placed on undisturbed soil and below frost depth (30 Min). Tops of foundation shall be placed a minimum of 6" above finished grade.
 3. Finish grading shall be done so as to provide positive drainage away from all building foundations. grade shall slope away 6" minimum for the first 10' of building, no negative slope driveways.
- B. WEATHER PROTECTION**
 1. Install roof underlayment per IRC R905.1.1
 2. Install water and resistive barrier at all exterior walls per IRC R703.1 and R703.2
- C. CONCRETE**
 1. Install foundation and footing reinforcement as per Foundation Wall and Footing Schedule.
- D. WINDOWS**
 1. All window tops shall be at door header height, i.e. 6'-8" (unless otherwise noted on plans).
 2. Windows located 24" or closer to any exterior door must be tempered.
 3. All windows in sleeping rooms shall be measured to the opening of the window and not be more than 44" above the finished floor with an operable opening no less than 5.7 sq.ft. the window height shall not be less than 24", with a net clear width of no less than 20".
- E. VENTILATION**
 1. Ventilation shall be provided in all crawl spaces by means of screened vents placed to provide cross ventilation.
 2. Enclosed attics and spaces between rafters shall have clear ventilation to outside.
 3. There shall be no gas connections allowed in any rooms used for sleeping or any corridors leading to or through any sleeping room.
- F. FIRE PROTECTION AND WARNING**
 1. Fireplace chimneys shall extend 24" min. above any roof within a 10' radius.
 2. Smoke/ Carbon Monoxide detectors are required to meet local codes. Wire all smoke/C.M. detectors in series with battery backup.
 3. Walls/ wall coverings are subject to local codes and regulations under the county where the Avrame home lot is located and must be met.
- G. STAIRWAYS**
 1. Max rise = 7-³/₄" and min. tread depth= 11" shall apply with current national and local building codes.
 2. Min. headroom= 6'-8" and min. width= 36"
 3. Every landing should be 36" min. in width and length
 4. Any door opening at the top of any interior flight of stairs must swing away from stairs.
 5. Landings shall have a 36" min. depth and width and clear min. head height of 80"
- H. RAILINGS**
 1. Handrails are required at all stairways that have more than 3 risers.
 2. Handrails should be placed between 34" and 38" above stair nosing
 3. Handrails deeper than 2-¹/₂" shall have finger grooves ³/₄" x ¹/₄" deep, the full length of one side of the rail. Return handrails to end.
 4. Balusters for handrails and guardrails shall be spaced so that a 4" sphere cannot pass through.
- I. PLUMBING**
 1. Toilets shall be 16 gallon flush type.
 2. All work performed by a licensed plumber.
 3. Provide pressure regulator and shut off valve.
 4. Interior waste and vent lines shall be ABS
 5. Back water valves should only be used on the drains for plumbing fixtures that are below the level of the nearest upstream manhole. The fixtures that are above the nearest upstream manhole should not discharge through the back water valve.
 6. It shall be the sole responsibility of the Contractor/Builder to follow all codes & regulations pertaining the type of water heater to be used in the specific State and County where the building site is located.
 7. All showers, & Kitchen faucets shall be 1.75 GPM or less. Lavatory faucets shall be 1.0 GPM or less.

FRAMING NOTES

1. All dimensions on floor plans are to rough framing. walls calculated to be 3-¹/₂" wide for dimensioning
2. All structural sheathing shall be APA rated and shall not exceed maximum span rating. Floor sheathing shall be 1-¹/₂" tongue and groove. Gap all waferboard sheathing.
3. Spike together all 2 x laminated built up beams using at least 16d nails at no less than 7" O.C. staggered.
4. Trusses are to be engineered, designed and constructed by manufacturer to meet all local loads and codes.
5. Truss anchors shall be provided at each end of all the trusses. (install to meet local requirements).
6. Bi-pass doors shall be framed one inch smaller in width than door. Example: A 5'-0" slider shall have a 59" rough opening. Also, bi-fold doors shall be framed one inch wider than door and 62" in height. Bi-pass doors shall be 83" in height.
7. Interior framing that is non-bearing shall be provided where required
8. Framing will include all furr downs, ceiling joists, and plantselves as per architectural drawings.
9. All hangers (joist, rafter, and beam) shall be installed as per manufacturers specs.
10. Multiple plates and ledgers shall be nailed with 16d nails at 8" O.C.
11. Block all horizontal edges of plywood wall sheathing with 2" nominal blocking.
12. All ledger bolts shall have plate washers with a minimum diameter equal to three times the bolt diameter unless shown otherwise in plans.
13. Minimum nailing shall be 6" O.C. at panel edges & 12" O.C. in the field.
14. Walk-in closet shelves 16" in depth. All other closets shall be 7" deep. Space saver closets shall have an upper shelf at 84" A.F.F. and a lower shelf at 42" A.F.F. Located shelves in single shelf closets at 72" A.F.F.
15. Wood beams made of two or more pieces shall have the pieces securely bolted or nailed together to prevent separation and to insure mutual load sharing. Each interconnected piece shall be continuous between supports shall have the same width as the composite beam. U.N.O.
16. All framing studs shall be 16" O.C. Max. All floor sheathing with face grain at right angles to framing and glue. Glue must comply with APA specs. Floor joists shall be blocked at all bearing points. Block all horizontal edges of wall sheathing with 2x4 blocking.
17. All roof sheathing shall be ⁵/₈" (typ.) rated CDX sheathing nailed with 8d nail at 6" O.C. at panel edges, supported edges, and all blocking with 8d nails.
18. All wood that is connected to concrete, steel, and wood to wood (except stud to plate) shall be connected with Simpson (or equivalent) connectors. Sheathing shall be placed no less than ³/₄" from edge of panel and driven flush but shall not fracture the surface of the sheathing.
19. These shall be the member grades used on this structure: Glue-Lam beams (simple span) 24F-V4 DF/DF (cantilevered) 24F-V8 DF/DF

Joists	DF 2# (or better)
Headers	DF 2# (or better)
Posts	DF 2# (or better)
Studs	DF stud grade (or better) U.N.O
Sill plates in contact w/ concrete	DF #2 (pressure treated)
Pre-Fab trusses or joists	As per manufacturers spec's

PROJECT INFORMATION

SCOPE OF WORK
 SINGLE FAMILY RESIDENCE

STRUCTURAL ENGINEER
 McNEIL ENGINEERING
 8610 SOUTH SANDY PARKWAY
 SANDY, UT 84070
 801-255-7700
 mcneilengineer.com

JURISDICTION
 GRANT, MN 55082

CODES
 2018 IBC (CHAPTERS 2 - 35)
 2018 IRC (EXCLUDING CHAPTERS 11 - 43)
 2018 INTERNATIONAL MECHANICAL CODE
 2018 INTERNATIONAL FUEL GAS CODE
 ANSI/ASHRAE STANDARD 62.2-2016 NS
 ANSI/ASHRAE STANDARD 154-2016
 2015 MINNESOTA PLUMBING CODE (APMO)
 2020 MINNESOTA FIRE CODE (BASED ON 2018 INTER. FIRE CODE)
 MINNESOTA ELECTRICAL CODE. REFERENCES 2020 NEC AND NFPA 70

CONSTRUCTION

TYPE OF CONSTRUCTION	VB
OCCUPANCY CLASSIFICATION	R3
NUMBER OF STORIES	1 W/O BASEMENT
BUILDING HEIGHT	19'-8"

BUILDING AREAS

MAIN LEVEL	526 SQ. FT.
STORAGE AREA	0 SQ. FT.
FINISHED AREA	526 SQ. FT.
UNFINISHED AREA	0 SQ. FT.
TOTAL AREA	526 SQ. FT.

AVRAME U.S.A. HAS DESIGNED THIS STRUCTURE IN CONJUNCTION WITH A LICENSED ENGINEER TO MEET OR EXCEED LOCAL BUILDING CODES. AVRAME ASSUMES NO LIABILITY FOR THE ACCURACY AND CRAFTSMANSHIP OF THE OWNER/BUILDER IN FOLLOWING THE PLANS.

IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO PERFORM BUILDING REVIEWS BEFORE BEGINNING CONSTRUCTION.

- THESE INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
1. VERIFY ALL DIMENSIONS
 2. REVIEW ALL STAIR REQUIREMENTS
 3. VERIFY COMPLIANCE WITH LOCAL CODES
 4. VERIFY ALL FOUNDATION HOLDOWN LOCATIONS
 5. VERIFY ACTUAL SITE CONDITIONS

ANY DISCREPANCIES ON THE PLANS MUST BE RESOLVED BY THE BUILDER PRIOR TO CONSTRUCTION

TRUSS DESIGN AND LAYOUT IS THE RESPONSIBILITY OF THE TRUSS MANUFACTURER.

CONSTRUCTION USING THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A BUILDING PROFESSIONAL.

INDEX OF DRAWINGS

GENERAL	
A0.1	COVER SHEET
A0.2	SITE PLAN
ARCHITECTURAL	
A1.1	FLOOR PLANS
A2.1	EXTERIOR ELEVATIONS
A3.1	BUILDING SECTIONS & DETAILS
ELECTRICAL	
M1.1	ELECTRICAL PLANS
STRUCTURAL	
S001	GENERAL STRUCTURAL NOTES
S101	FOOTING & FOUNDATION PLAN

WINDOW SCHEDULE

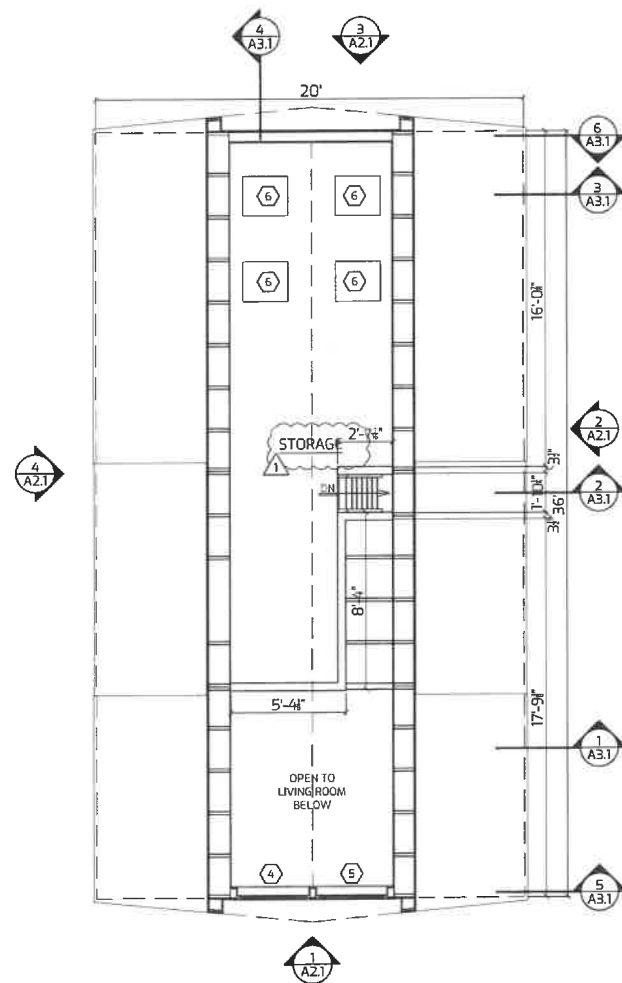
QTY.	WIDTH	HEIGHT	HEAD	U-FACTOR	SHGC	TYPE	REMARKS
1	3'-7"	7'-8"	7'-11"	-	-	PICTURE	TRAPEZOID PICTURE - SEE ELEVATIONS
2	3'-7"	7'-8"	7'-11"	-	-	PICTURE	TRAPEZOID PICTURE - SEE ELEVATIONS
3	9'-0"	1'-6"	6'-8"	-	-	PICTURE	
4	3'-0 1/2"	5'-3"	6'-3"	-	-	PICTURE	TRIANGLE PICTURE - SEE ELEVATIONS
5	3'-0 1/2"	5'-3"	6'-3"	-	-	PICTURE	TRIANGLE PICTURE - SEE ELEVATIONS
6	1'-9"	4'-6 7/16"	*	-	-	SKYLIGHT	VELUX V5E - MANUAL OPENING SKYLIGHT - COB - OWNER TO DETERMINE HEAD HEIGHT

DOOR SCHEDULE

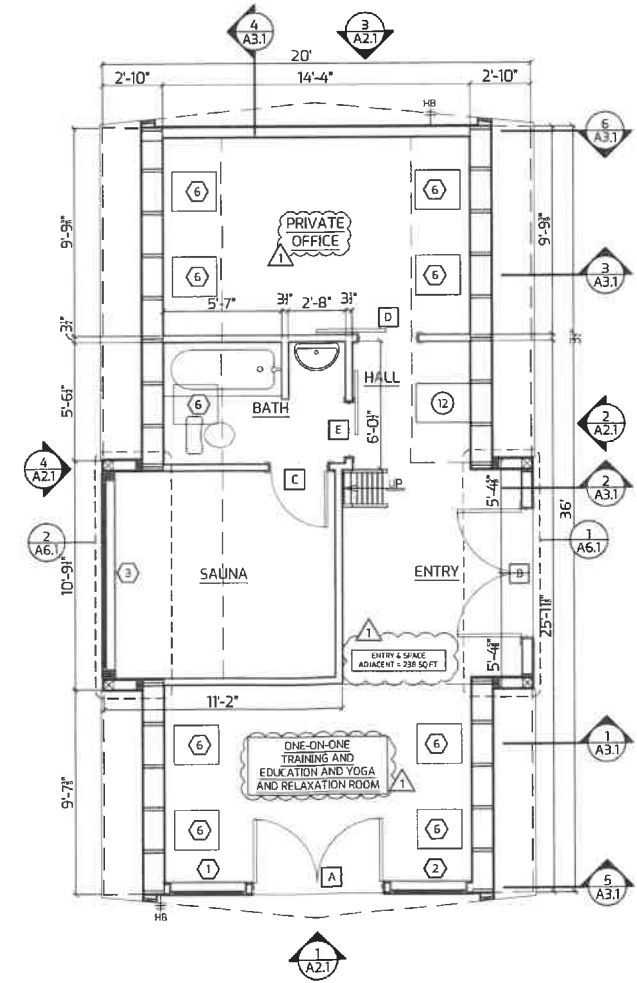
QTY.	WIDTH	HEIGHT	THICK	U-FACTOR	SHGC	TYPE	REMARKS
A	6'-0"	6'-8"	1 3/4"	-	-	EXT. FRENCH	EXTERIOR FRENCH, FULL LITE, INSULATED, LOW E, WEATHER STRIP, THRESHOLD, LOCKSET
B	6'-0"	7'-10"	1 3/4"	-	-	EXT. FRENCH	EXTERIOR FRENCH, FULL LITE, INSULATED, LOW E, WEATHER STRIP, THRESHOLD, LOCKSET
B	1	2'-8"	6'-8"	1 3/4"	-	INT. SWING	
B	1	2'-8"	6'-8"	1 3/4"	-	INT. BARN	
C	1	2'-6"	6'-8"	1 3/4"	-	INT. BARN	

KEYED NOTES

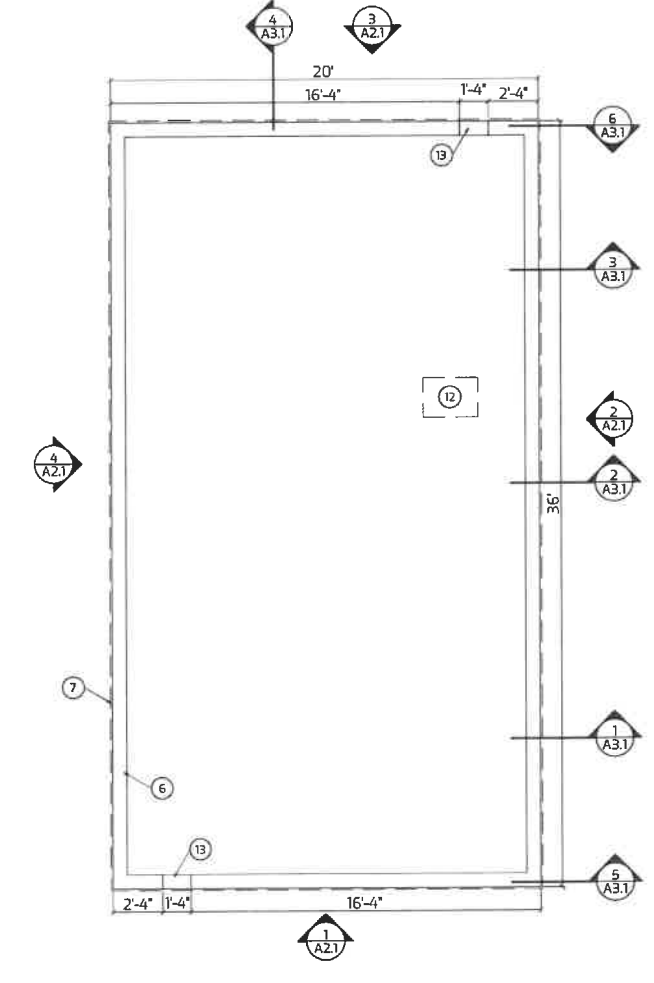
- STANDING SEAM METAL ROOF WITH SEAMS @ 16" O.C. INSTALLED PER MANUFACTURERS SPECIFICATIONS OVER ICE AND WATER MEMBRANE OVER ENTIRE ROOF SURFACE UP TO 24" DOWN FROM RIDGE TYP. DOUBLE UNDERLAMENT REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS.
- SIDING AND TRIM PER OWNER ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C.
- 2" CONT. METAL FLASHING ABOVE ALL NEW DOORS, WINDOWS, AND HORIZ. TRIM
- FASCIA PER OWNER
- SOFFIT PER OWNER
- CONCRETE FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING.
- VERTICAL DRAIN BOARD OR SPRAY APPLIED FOUNDATION DAMP PROOFING TO DRAIN TO 4% CONTINUOUS FOUNDATION DRAIN SET IN GRAVEL, DRAIN TO SUMP. ALL SIDES OF FOUNDATION BACKFILL FOUNDATION WITH GRANULAR FILL @ 95% COMPACTION.
- NON-VENTED ROOF PER REScheck REPORT AND IRC R806.5
- INSULATION PER REScheck REPORT. INSTALL MIN. 4-MIL. POLYETHYLENE VAPOR RETARDER OVER THE INSULATION ON THE INSIDE (WARM SIDE). IRC R702.7
- TUBS AND SHOWERS WITH TILED WALLS REQUIRE A PORTLAND CEMENT APPLICATION, FIBER-CEMENT OR GLASS MAT GYPSUM BACKER; GREEN BOARD IS NO LONGER ALLOWED IN THIS APPLICATION.
- GUARDRAIL AT STAIRWAY TO BE 36" TALL W/ NO OPENINGS ALLOWING THE PASSAGE OF A SPHERE 4" IN DIAMETER.
- CRAWL SPACE ACCESS. SEE FLOOR FRAMING PLANS FOR DETAILS.
- VENTILATION TO BE COMPLIANT AT ALL CRAWL SPACE AREAS. SEE ELEVATIONS FOR SIZE AND LOCATIONS OF VENTS. INSULATION TO BE HELD BACK TO MAINTAIN CLEARANCE AROUND VENTS. 720 SQ. FT. CRAWL SPACE AREA / 1500 = 0.48 SQ. FT. MIN. REQ. VENT AREA.
- PELLET STOVE - INSTALL PER MANUFACTURER INSTRUCTIONS. TRIPLE WALL MANUFACTURED CHIMNEY SYSTEM. SIZED PER MECHANICAL SPEC.



3 LOFT LEVEL FLOOR PLAN
1/4" = 1'-0"



2 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"



1 LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"



THE GRAPHIC MATERIAL AND DESIGN ON ALL SHEETS IN THIS PROJECT IS THE PROPERTY OF AVRAME USA. REPRODUCTION OR REUSE OF THE MATERIAL AND DESIGN CONTAINED HEREIN IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AVRAME USA. VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. ALL RIGHTS RESERVED.

IDYLLWOOD OFFICE
11490 JULIANNE AVENUE NORTH
GRANT, MN 55082

DUO 100 PROJECT (020)
DRAWN FOR ONE-TIME USE FOR
AVRAME U.S.A.
ISSUE DATE 10/14/2021
REVISIONS
REVISION DELTA Δ

A1.1
FLOOR PLANS

THE GRAPHIC MATERIAL AND DESIGN SHALL REMAIN THE PROPERTY OF AVRAME U.S.A. REPRODUCTION OR REUSE OF THE MATERIAL AND DESIGN WITHOUT THE WRITTEN CONSENT OF AVRAME U.S.A. VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. COPYRIGHT AVRAME U.S.A. ALL RIGHTS RESERVED.

IDYLVOOD OFFICE
 11490 JULIANNE AVENUE NORTH
 GRANT, MN 55082

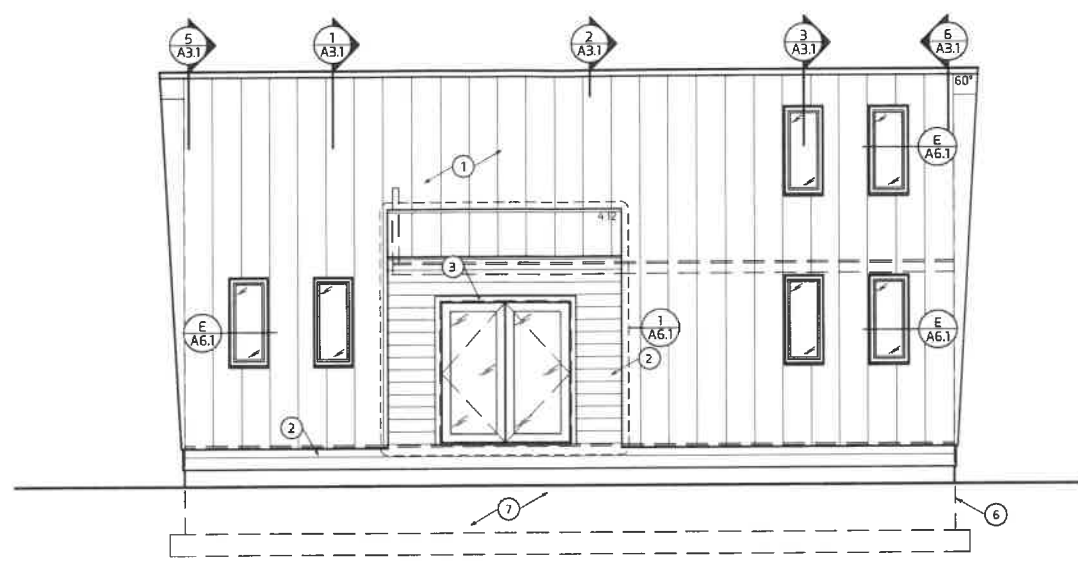
DUO 100 PROJECT (020)

DRAWN FOR ONE-TIME USE FOR AVRAME U.S.A.

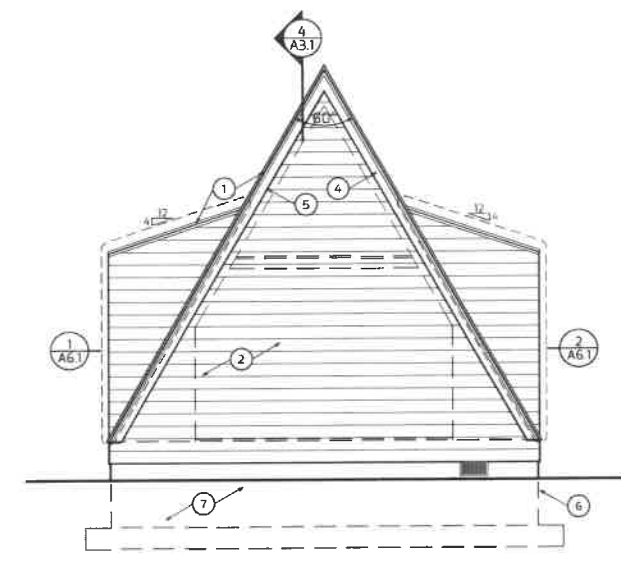
ISSUE DATE 10/14/2021

REVISIONS
 REVISION DELTA Δ

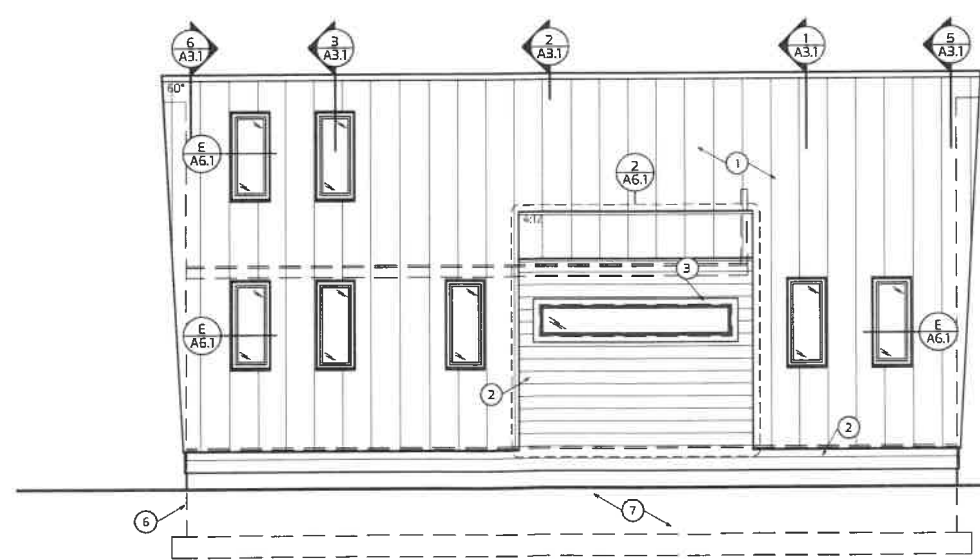
A2.1
 EXTERIOR ELEVATIONS



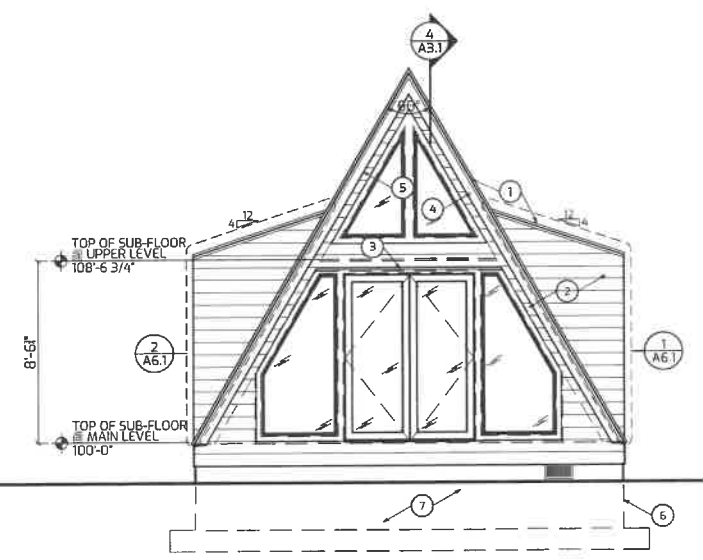
4 RIGHT ELEVATION
 $1/4" = 1'-0"$



3 REAR ELEVATION
 $1/4" = 1'-0"$



2 LEFT ELEVATION
 $1/4" = 1'-0"$



1 FRONT ELEVATION
 $1/4" = 1'-0"$

THE GRAPHIC MATERIAL AND DESIGN ON ALL SHEETS IN THIS PROJECT ARE THE PROPERTY OF AVRAME U.S.A. REPRODUCTION OR REUSE OF THE MATERIAL AND DESIGN CONTAINED HEREIN WITHOUT THE WRITTEN CONSENT OF AVRAME U.S.A. VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. COPYRIGHT AVRAME U.S.A. ALL RIGHTS RESERVED.

IDYLWOOD OFFICE
 11490 JULIANNE AVENUE NORTH
 GRANT, MN 55082

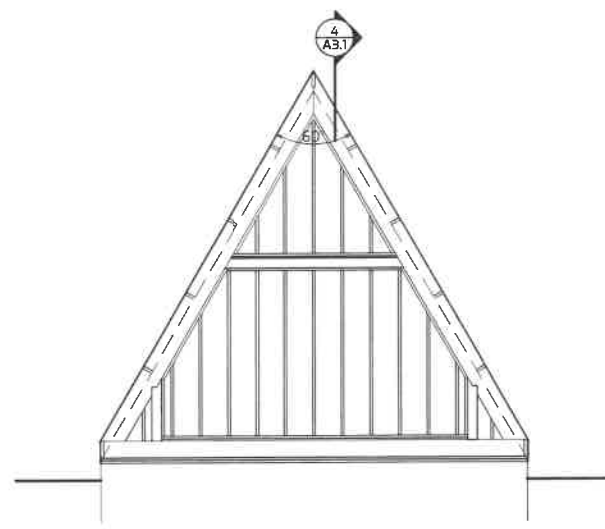
DUO 100 PROJECT (020)

DRAWN FOR ONE-TIME USE FOR
AVRAME U.S.A.

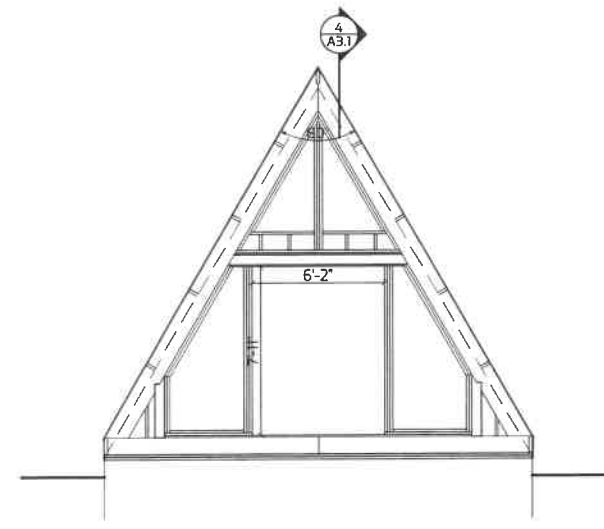
ISSUE DATE 10/14/2021

REVISIONS
 REVISION DELTA

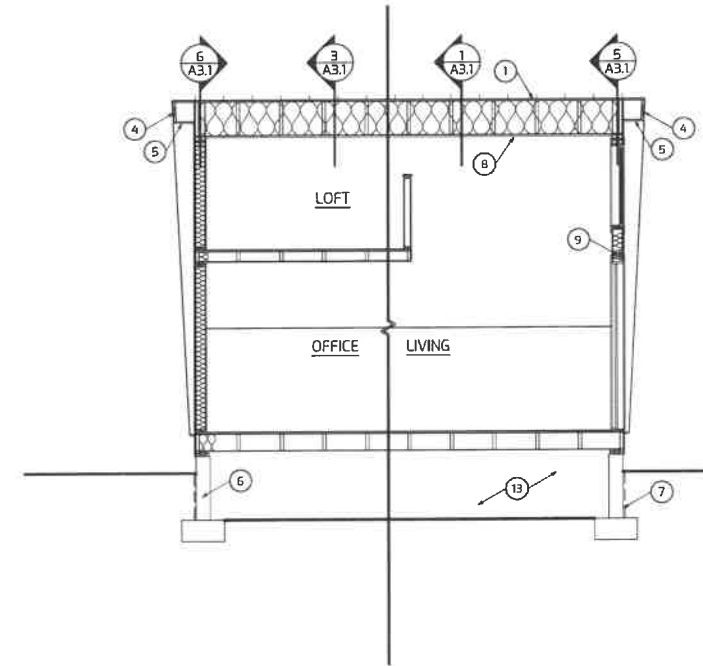
A3.1
 BUILDING SECTIONS
 DETAILS



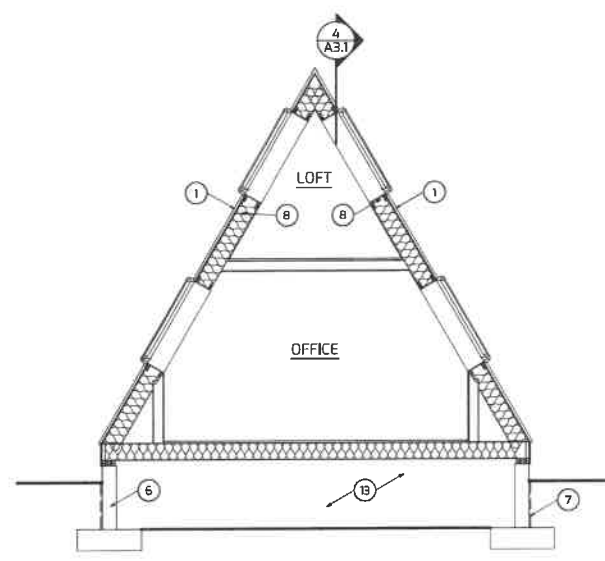
6 REAR GABLE FRAMING SECTION
 1/4" = 1'-0"



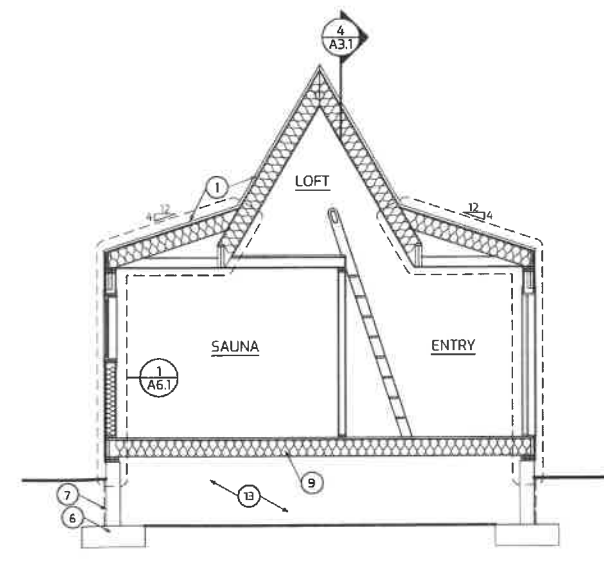
5 FRONT GABLE FRAMING SECTION
 1/4" = 1'-0"



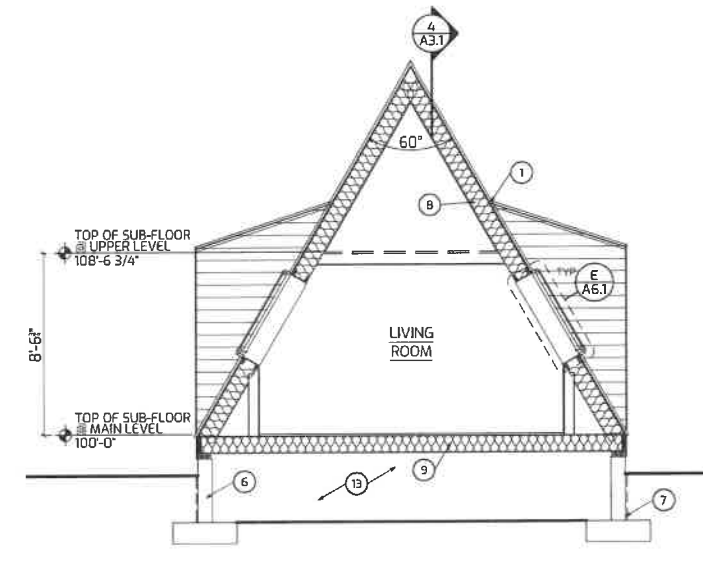
4 BUILDING LONGITUDINAL SECTION
 1/4" = 1'-0"



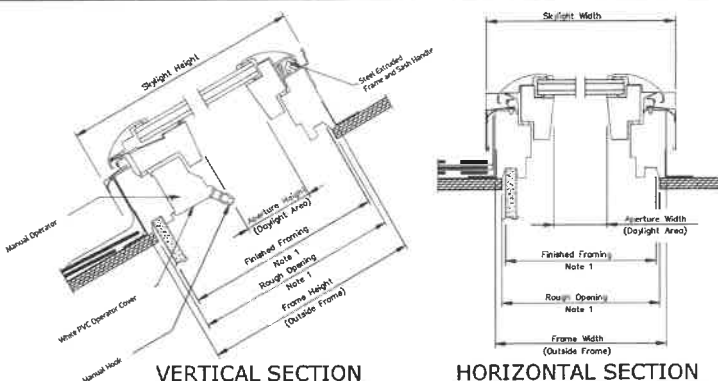
3 BUILDING CROSS SECTION
 1/4" = 1'-0"



2 BUILDING CROSS SECTION
 1/4" = 1'-0"

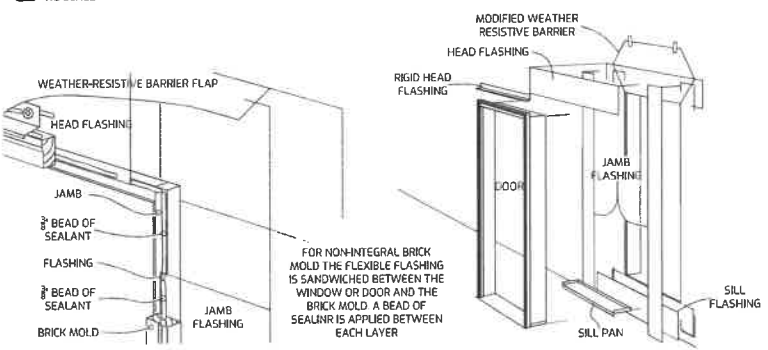


1 BUILDING CROSS SECTION
 1/4" = 1'-0"

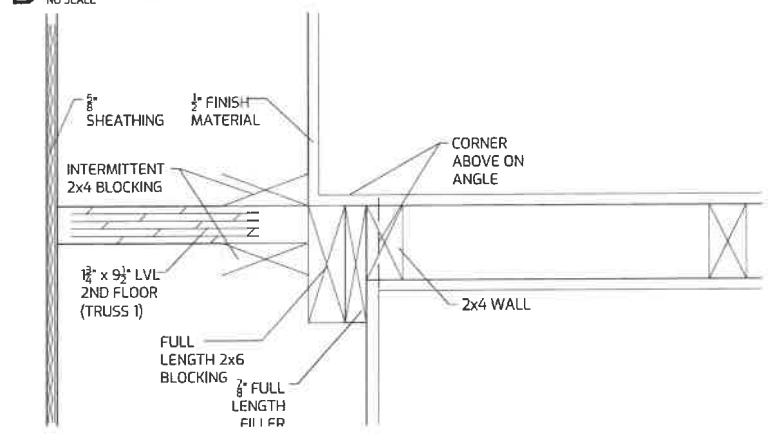


Model	Style	Size	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Aperture Height	Skylight Height	Daylight Area (Sq. Feet)
FS	Solar Fresh Air	CO1	21	21 1/2	15	22 5/8	26 7/8	27 3/8	20 7/8	29 3/8	2.27
VS	Electric Fresh Air	CO4	21	21 1/2	15	22 5/8	37 7/8	38 1/8	31 7/8	39 3/8	3.59
VSE	Manual Fresh Air	CO6	21	21 1/2	15	22 5/8	45 3/4	46 1/4	38 1/4	47 1/4	4.38
VSS	Fixed	CO8	21	21 1/2	15	22 5/8	54 7/8	54 15/16	48	55 15/16	5.34

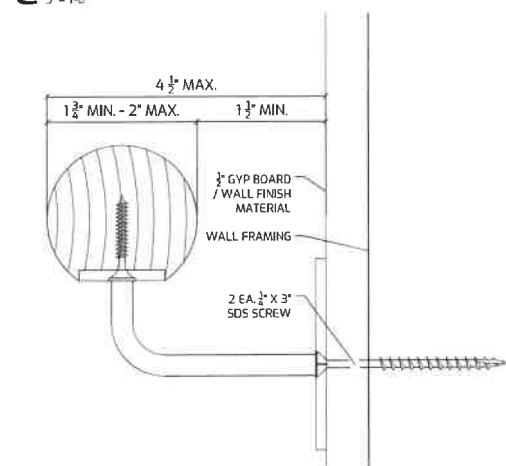
E VELUX SKYLIGHT DETAILS
NO SCALE



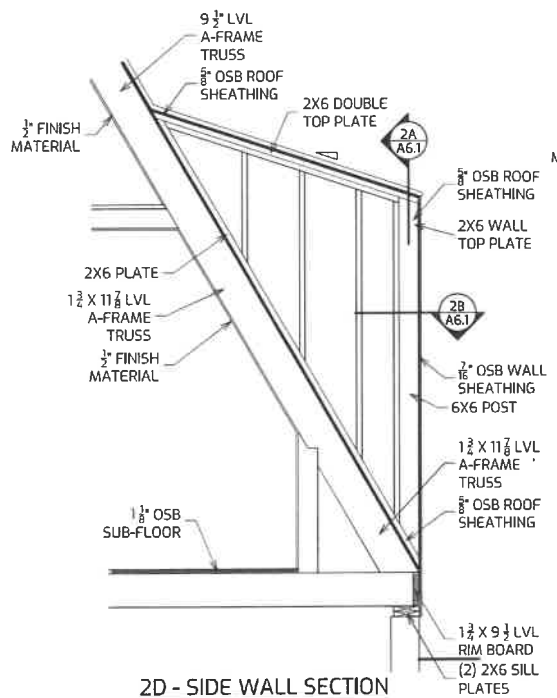
D DOOR FLASHING DETAILS
NO SCALE



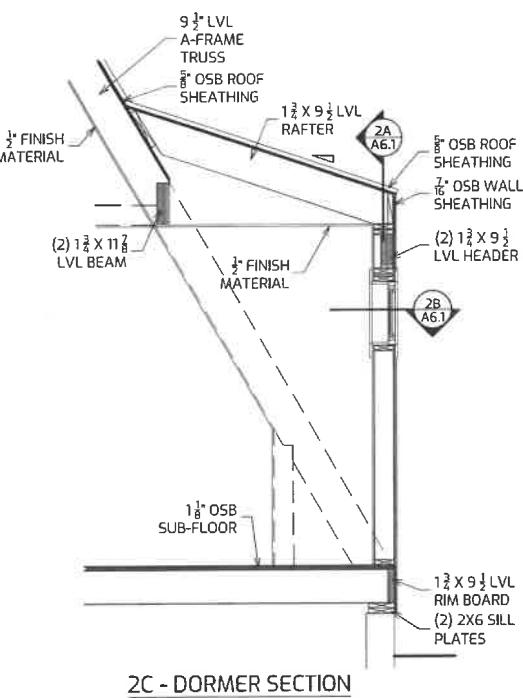
C LOFT PONY WALL SECTION
3" = 1'-0"



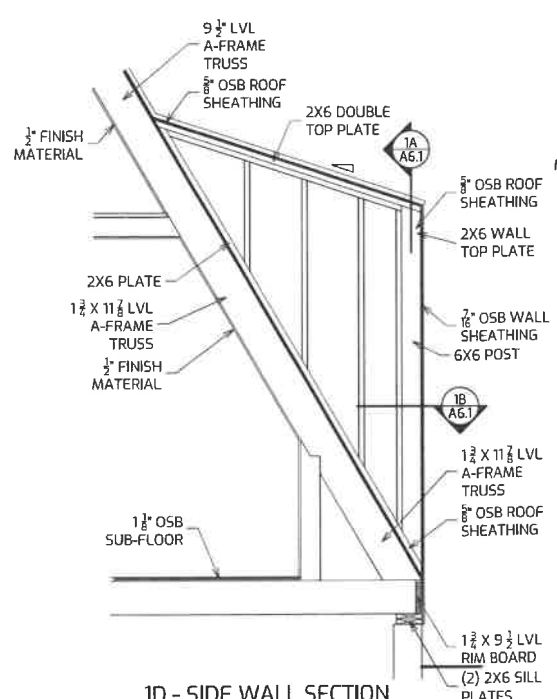
B HANDRAIL SECTION
FULL SCALE



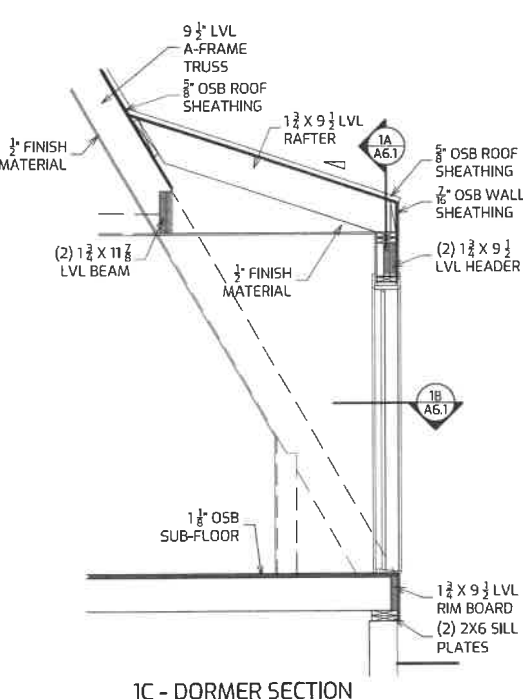
2D - SIDE WALL SECTION
2 DORMER FRAMING
1/2" = 1'-0"



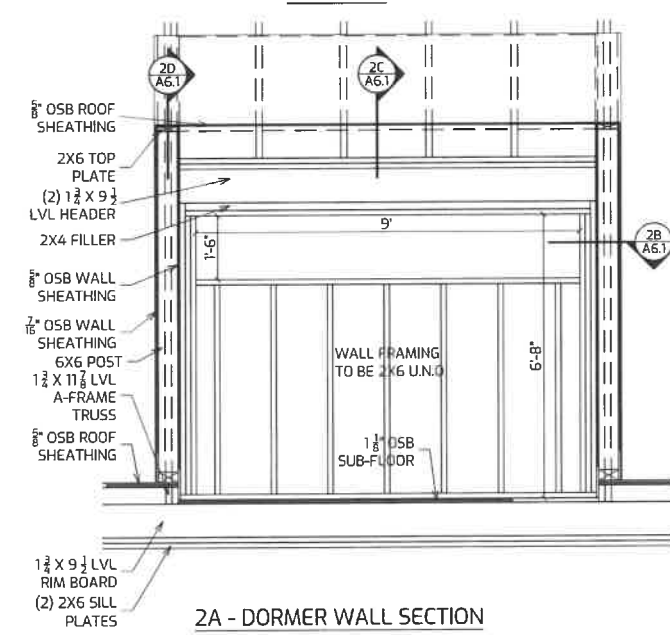
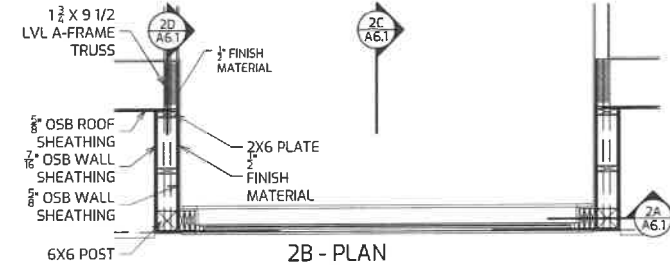
2C - DORMER SECTION



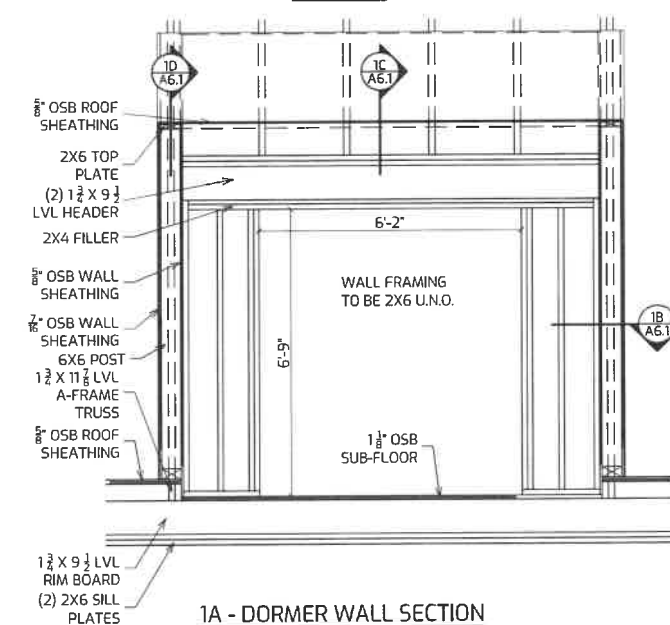
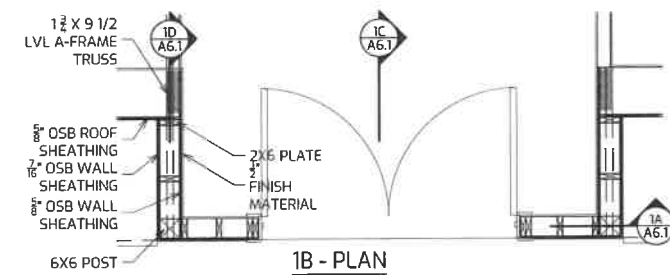
1D - SIDE WALL SECTION
1 DORMER FRAMING
1/2" = 1'-0"



1C - DORMER SECTION



2A - DORMER WALL SECTION



1A - DORMER WALL SECTION

Avrame USA
 6222 WEST DOUBLE EAGLE CIRCLE
 SUITE 100
 P.O. BOX 287
 GRANT, MN 55024
 PHONE: 612-728-2332
 FAX: 612-728-2333
 EMAIL: SALES@AVRAMEUSA.COM

THE GRAPHIC MATERIAL AND DESIGN ON ALL SHEETS IN THIS DESIGN IS THE PROPERTY OF AVRAME USA. REPRODUCTION OR REUSE OF THE MATERIAL AND DESIGN WITHOUT THE WRITTEN CONSENT OF AVRAME USA IS PROHIBITED. ALL RIGHTS RESERVED.

IDYLLWOOD OFFICE
 11490 JULIANNE AVENUE NORTH
 GRANT, MN 55082

DUO 100 PROJECT (020)

DRAWN FOR ONE-TIME USE FOR
AVRAME U.S.A.

ISSUE DATE 10/14/2021

REVISIONS
 REVISION DELTA

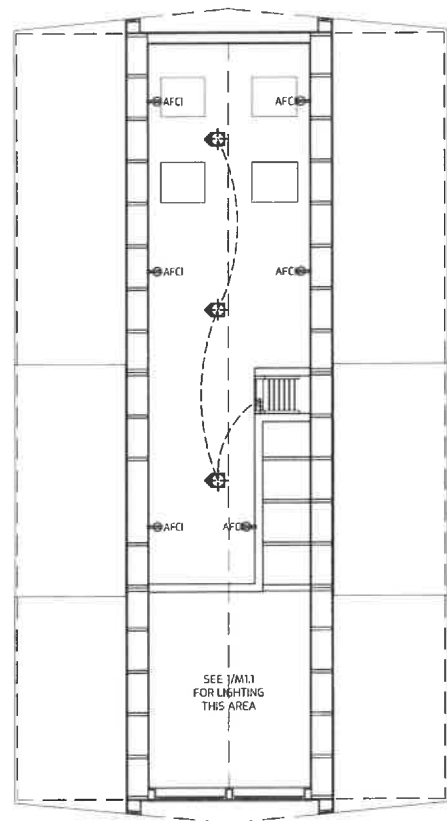
A6.1
 ARCHITECTURAL DETAILS

MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

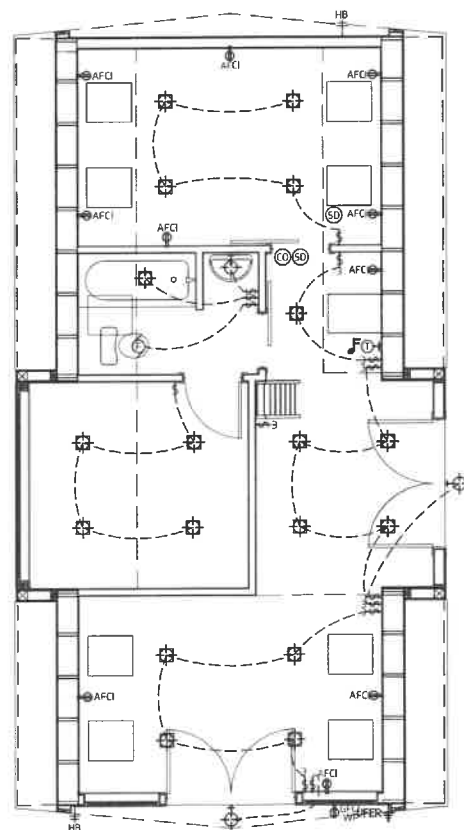
- ALL ELECTRICAL INSTALLATIONS SHALL COMPLY W/ 2016 CRC & 2014 NEC
- INSTALL OUTLETS SO NO POINT ALONG ANY WALL IS MORE THAN 6' FROM AN OUTLET.
- INSTALL RECEPTACLES ALONG KITCHEN COUNTERTOPS SO NO POINT ALONG ANY WALL IS MORE THAN 2' FROM AN OUTLET.
- ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN GARAGES, UNFINISHED BASEMENTS AND OUTSIDE OUTLETS TO BE GFCI PROTECTED.
- FUEL FIRED WATER HEATERS SHALL NOT BE INSTALLED IN A ROOM USED AS A STORAGE CLOSET. NON-DIRECT-VENT WATER HEATERS LOCATED IN A SEALED ENCLOSURE SO THAT COMBUSTION AIR WILL NOT BE TAKEN FROM THE LIVING SPACE.
- PROVIDE A MIN. OF 30" OF CLEARANCE SPACE IN FRONT OF THE FURNACE AND A MIN. OF 3' ALONG SIDE AND BACK
- ELECTRICAL PANEL MUST HAVE 30" WIDTH, 36" DEPTH AND 6'-6" HEADROOM CLEARANCE
- UFER GROUND REQUIRED
- ALL 15- AND 20- AMPERE RECEPTACLES IN EVERY KITCHEN, FAMILY, LIVING, DINING, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION, OR SIMILAR ROOM OR AREA OF DWELLING UNITS SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES. -E40D2.14 AND -E3901.1
- WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM.
- A MIN. OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL SERVE ALL WALL AND FLOOR RECEPTACLES OUTLETS IN THE KITCHEN
- PROVIDE APPROVED BOXES OF SUPPORT FOR FAN/LIGHT COMBOS
- PROVIDE ALL BEDROOM OUTLETS, LIGHTS, SWITCHES, AND SMOKE DETECTORS W/ ARC-FAULT PROTECTION
- ALL EXTERIOR OUTLETS TO BE GFCI WETHER PROOF.
- ALL EXTERIOR OUTLETS SHALL HAVE BUBBLE COVERS & 110V OUTLET WITH 25' OF AC UNIT.
- SMOKE DETECTORS AND CARBON MONOX. DETECTORS ARE REQUIRED TO BE INTERCONNECTED SO IF ONE SOUND, ALL SOUND.
- ALSO ALL DETECTORS ARE TO BE WIRED WITH PRIMARY POWER, AND BATTERY BACKUP.
- CARBON MONOXIDE DETECTORS REQUIRED ON ALL HABITABLE LEVELS INCLUDING ANY 'BONUS ROOMS'.
- ALL ELECTRICAL RECEPTACLES AND SWITCHES ARE UP A MIN. 18" ABOVE THE FLOOR, IN THE GARAGE OR ANY ROOM WITH ACCESS FROM GARAGE.
- A 125-VOLT, SINGLE PHASE, 15-OR 20-AMP RATED GFCI RECEPTACLE OUTLET SHALL BE INSTALLED WITHIN 25' OF MECHANICAL EQUIPMENT AND NOT BE CONNECTED TO THE LOAD SIDE OF THE DISCONNECTING MEANS.
- ALL ELECTRICAL BOXES IN GARAGE TO BE 2-HOUR RATED.

SYMBOLS LEGEND

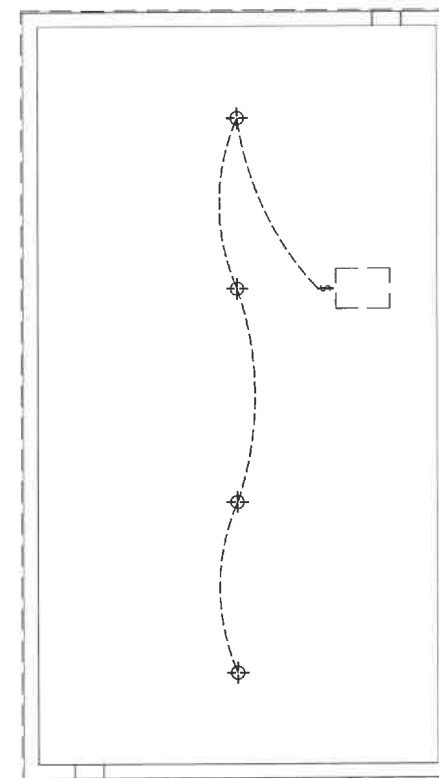
UFER CONCRETE ENCASED GROUNDING ELECTRODE	220V DISCONNECT BOX FOR AC COMPRESSOR PER NEC 422.26	110V DUPLEX CONV. OUTLET	THERMOSTAT CONTROL
SURFACE MOUNT LIGHT FIXTURE	PUSH BUTTON AT 48" A.F.F.	110V FOURPLEX CONV. OUTLET	RETURN AIR GRILLE
WALL HUNG FIXTURE	CHIMES	1/2 HOT OUTLET	SUPPLY AIR GRILLE
RECESSED LIGHT FIXTURE	SMOKE DETECTOR (WIRED IN SERIES)	220V OUTLET	'FROST FREE' HOSE BIB
RECESSED SLOPED LIGHT	CARBON MONOXIDE DETECTOR	AFCI DUPLEX OUTLET	GAS LINE
VAPOR PROOF RECESSED	GARBAGE DISPOSAL	GFCI DUPLEX OUTLET	CEILING FAN WITH LIGHT KIT
SINGLE POLE SWITCH	EXHAUST FAN (MIN. 5 AIR CHANGES PER HOUR)	WEATHERPROOF DUPLEX OUTLET	
3-WAY SWITCH	TELEPHONE JACK AT 14" A.F.F. TYP IN CONDUIT UN.D.	GARAGE DOOR OPENER RECEPTACLE	



3 LOFT LEVEL MECHANICAL, ELECTRICAL, AND PLUMBING PLAN
1/4" = 1'-0"



2 MAIN LEVEL MECHANICAL, ELECTRICAL, AND PLUMBING PLAN
1/4" = 1'-0"



1 LOWER LEVEL MECHANICAL, ELECTRICAL, AND PLUMBING PLAN
1/4" = 1'-0"



THE GRAPHIC MATERIAL AND DESIGN ON ALL SHEETS IN THIS PROJECT ARE THE PROPERTY OF AVRAME U.S.A. NO REPRODUCTION OR REUSE OF THE MATERIAL AND DESIGN CONTAINED HEREIN IS THE WRITTEN CONSENT OF AVRAME U.S.A. VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. ALL RIGHTS RESERVED.

IDYLLWOOD OFFICE
11490 JULIANNE AVENUE NORTH
GRANT, MN 55082

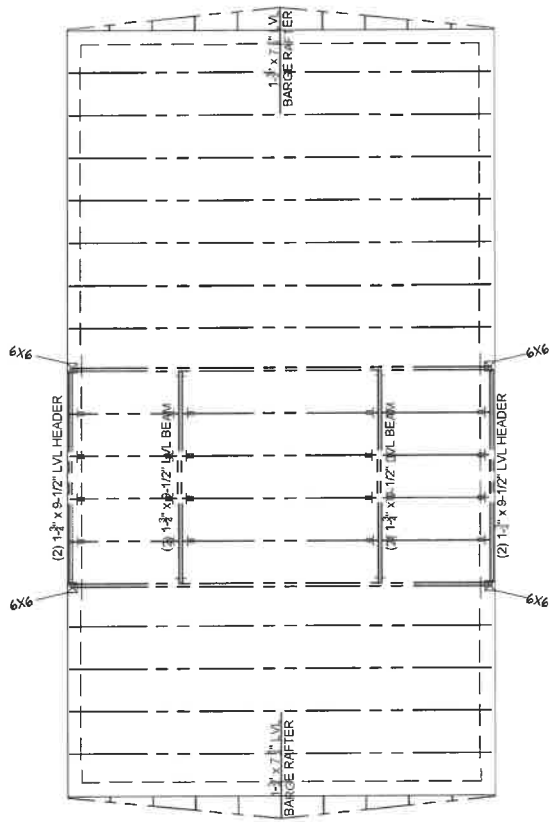
DUO 100 PROJECT (020)

DRAWN FOR ONE-TIME USE FOR
AVRAME U.S.A.

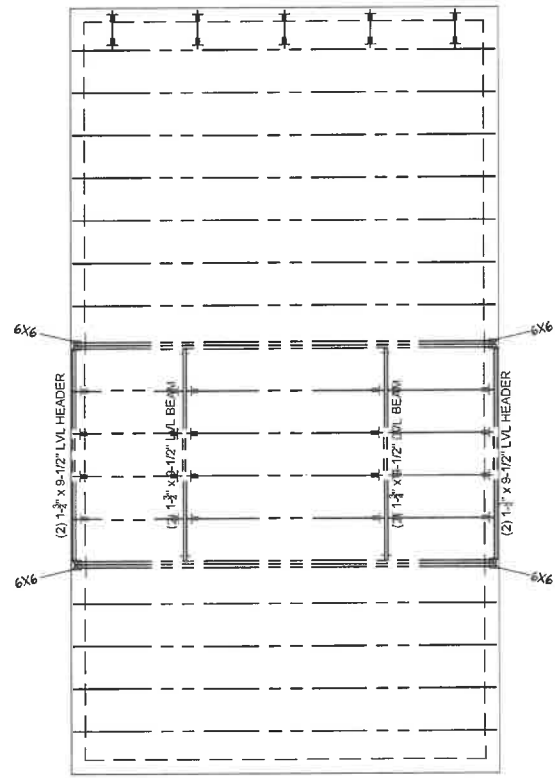
ISSUE DATE 10/14/2021

REVISIONS
REVISION DELTA

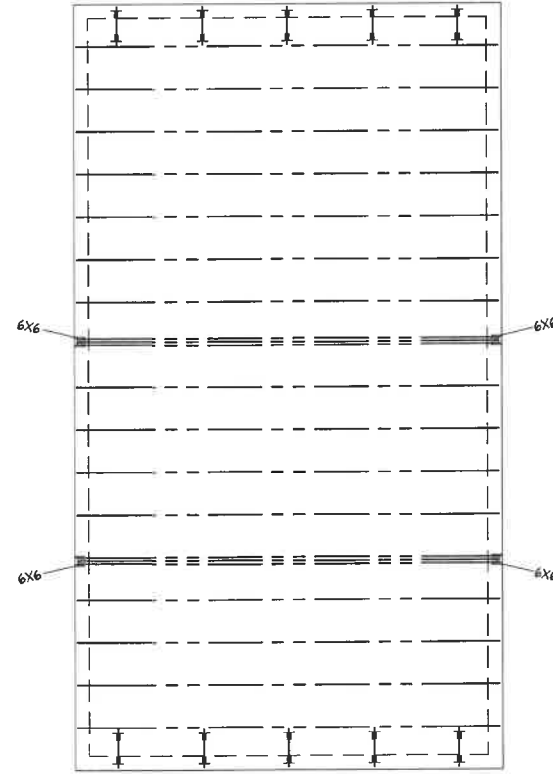
M1.1
M.E.P. PLANS



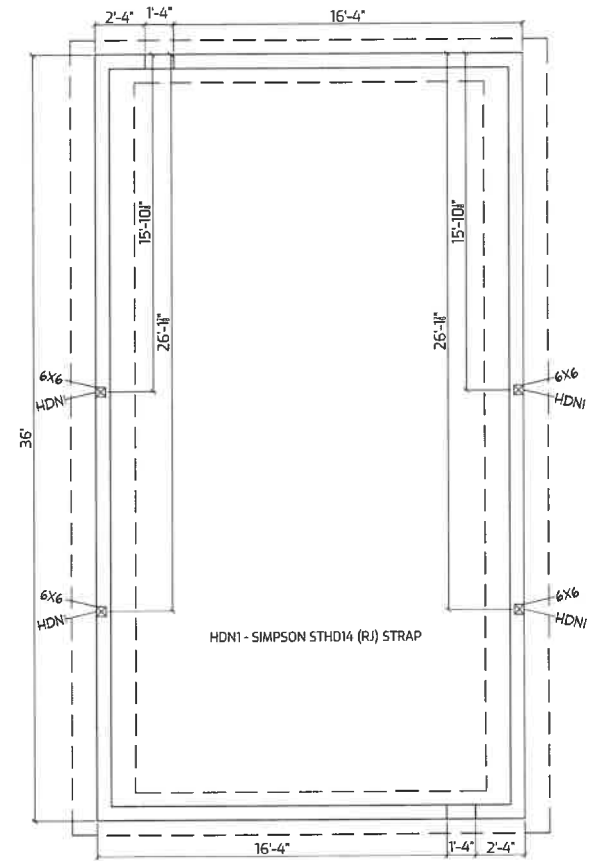
4 TRUSS PLAN
1/4" = 1'-0"



3 LOFT LEVEL FRAMING PLAN
1/4" = 1'-0"



2 MAIN LEVEL FRAMING PLAN
1/4" = 1'-0"



1 FOOTING AND FOUNDATION PLAN
1/4" = 1'-0"

IDYLVOOD OFFICE
 11490 JULIANNE AVENUE NORTH
 GRANT, MN 55082

DUO 100
PROJECT (020)

DRAWN FOR ONE-TIME USE FOR
AVRAME U.S.A.

ISSUE DATE 10/14/2021

REVISIONS
 REVISION DELTA

S1.1
 STRUCTURAL PLANS

THE GRAPHIC MATERIAL AND DESIGN ON ALL SHEETS IN THIS PROJECT ARE THE PROPERTY OF AVRAME U.S.A. ANY REPRODUCTION OR REUSE OF THE MATERIAL AND DESIGN CONTAINED HEREIN IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF AVRAME U.S.A. VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.
 COPYRIGHT AVRAME U.S.A.
 ALL RIGHTS RESERVED

Avrame USA
 6223 WEST DOUBLE EAGLE CIRCLE,
 SUITE 200, ST. LOUIS, MO 63112
 WWW.AVRAMEUSA.COM
 EMAIL: SALES@AVRAMEUSA.COM

GENERAL
UNLESS NOTED OTHERWISE, ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST BUILDING CODE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE, AND TO FULLY CORRELATE ALL DIMENSIONS AND CONDITIONS OF DETAILS WITH OTHER DISCIPLINES. ANY FIELD CONDITIONS REQUIRING CONSTRUCTION THAT IS DIFFERENT FROM THAT SHOWN ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ANY CONFLICTING DETAILS SHOWN IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE CONSTRUCTION OF SAID DETAILS. DO NOT SCALE DRAWINGS. ANY QUESTIONS REGARDING THE CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT IN THE FORM OF A WRITTEN REQUEST FOR INFORMATION (RFI).

ALL SUPPORT OF CONSTRUCTION LOADS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL SHORING AND BRACING REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION PROCESS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK SHALL BE DONE IN ACCORDANCE WITH OSHA REQUIREMENTS. POTENTIAL CONFLICTS BETWEEN THESE DOCUMENTS AND OSHA REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE WORK. ALL PROCEDURES OF SOIL EXCAVATION, BACKFILL, AND SUPPORT OF ADJACENT PROPERTY DURING EARTHWORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL DIMENSIONS INDICATED ON PLANS SHALL BE TO FACE OF STUDS, FACE OF CONCRETE BLOCK, FACE OF ROUGH CONCRETE, CENTERLINE OF COLUMNS, BOTTOM OF METAL DECK, AND TOP OF SLAB, UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT INDICATED ON STRUCTURAL DRAWINGS. THE FOLLOWING DESIGN CRITERIA SHALL BE ENFORCED:

GOVERNING BUILDING CODE: 2020 MINNESOTA BUILDING CODE
RISK CATEGORY: II (IBC TABLE 604.5)

LOADING

ROOF LOAD

1 ROOF DEAD LOAD: 16 PSF
2 ROOF LIVE LOAD: 20 PSF (NON-CONCURRENT WITH ROOF SNOW LOAD)
3 ROOF SNOW LOAD
A GROUND SNOW LOAD $P_g = 100$ PSF USED IN CALCUS
B FLAT ROOF SNOW LOAD $P_f = 84$ PSF (SNOW DRIFT PER ASCE 7)
C SLOPED ROOF SNOW LOAD $P_s = 24$ PSF
D SNOW EXPOSURE FACTOR $C_e = 1.2$
E SNOW LOAD IMPORTANCE FACTOR $I_s = 1.0$
F THERMAL FACTOR $C_t = 1.0$

FLOOR LOAD

1 DEAD: 12 PSF
2 LIVE: 50 PSF (OFFICE)

WIND LOAD

1 BASIC WIND SPEED: 139 MPH (USED IN CALCUS)
2 WIND EXPOSURE TYPE: C
3 WIND IMPORTANCE FACTOR: $I_w = 1.0$
4 INTERNAL PRESSURE COEFFICIENT: $±0.18$

SEISMIC LOAD

1 SEISMIC IMPORTANCE FACTOR $I_p = 1.0$
2 SITE COEFFICIENTS
A $S_{DS} = 1.0g$ (USED IN CALCUS)
B $S_{D1} = 0.5g$
C $C_i = 0.8$
D SOIL SITE CLASS: D
E SEISMIC DESIGN CATEGORY: D

4 BASIC FLOOR - LIGHT FRAMED WALL WITH SHEAR WALLS (LONGITUDINAL DIR.)
A RESPONSE MODIFICATION COEFFICIENT R = 6.5
B W WEIGHT OF STRUCTURE
C DESIGN BASE SHEAR = 0.154W (ULTIMATE) 0.110W (SERVICE)
D DESIGN PROCEDURE: EQUIVALENT LATERAL FORCE

5 BASIC FLOOR - LIGHT FRAMED WALL WITH SHEAR WALLS (TRANSVERSE DIR.)
A RESPONSE MODIFICATION COEFFICIENT R = 2
B W WEIGHT OF STRUCTURE
C DESIGN BASE SHEAR = 0.5W (ULTIMATE) 0.337W (SERVICE)
D DESIGN PROCEDURE: EQUIVALENT LATERAL FORCE

ALTERNATES
ALTERNATE PRODUCTS OF SIMILAR STRENGTH, NATURE, AND FORM FOR SPECIFIED ITEMS MAY BE SUBMITTED WITH ADEQUATE TECHNICAL DOCUMENTATION TO THE ARCHITECT/ENGINEER FOR REVIEW. ALTERNATE MATERIALS THAT ARE SUBMITTED WITHOUT ADEQUATE TECHNICAL DOCUMENTATION THAT SIGNIFICANTLY DEVIATE FROM THE DESIGN INTENT OF MATERIALS SPECIFIED MAY BE RETURNED WITHOUT REVIEW. ALTERNATES THAT REQUIRE SUBSTANTIAL EFFORT TO REVIEW WILL NOT BE REVIEWED UNLESS AUTHORIZED BY THE OWNER.

DISCREPANCIES
IN CASE OF DISCREPANCIES BETWEEN THE GENERAL NOTES, SPECIFICATIONS, PLANS/DETAILS OR REFERENCE STANDARDS, THE ARCHITECT/ENGINEER SHALL DETERMINE WHICH SHALL GOVERN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK. SHOULD ANY DISCREPANCY BE FOUND IN THE CONTRACT DOCUMENTS, THE CONTRACTOR WILL BE DEEMED TO HAVE INCLUDED IN THE PRICE THE MOST EXPENSIVE WAY OF COMPLETING THE WORK. UNLESS PRIOR TO THE SUBMISSION OF THE PRICE, THE CONTRACTOR ASKS FOR A DECISION FROM THE ARCHITECT AS TO WHICH SHALL GOVERN ACCORDINGLY. ANY CONFLICT IN OR BETWEEN THE CONTRACT DOCUMENTS SHALL NOT BE A BASIS FOR ADJUSTMENT IN THE CONTRACT PRICE.

SITE VERIFICATION
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. CONFLICTS BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

MEANS, METHODS AND SAFETY REQUIREMENTS
THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND ALL JOB RELATED SAFETY STANDARDS SUCH AS OSHA AND DOSH (DEPARTMENT OF OCCUPATIONAL SAFETY AND HEALTH). CONTRACTOR IS RESPONSIBLE TO ADHERE TO OSHA REGULATIONS REGARDING STEEL ERECTION ITEMS SPECIFICALLY ADDRESSED ON THE LATEST OSHA REGULATIONS, BOLTING AND FIELD WELDING AT ALL MEMBER CONNECTIONS IS TO BE COMPLETED PRIOR TO THE RELEASE OF THE MEMBER FROM THE HOISTING MECHANISM UNLESS REVIEWED AND APPROVED BY THE GENERAL CONTRACTOR'S TEMPORARY BRACING AND SHORING DESIGN ENGINEER.

BRACING/SHORING DESIGN ENGINEER
THE CONTRACTOR SHALL AT HIS DISCRETION EMPLOY AN SEE, A REGISTERED PROFESSIONAL ENGINEER FOR THE DESIGN OF ANY TEMPORARY BRACING AND SHORING.

TEMPORARY SHORING/BRACING
THE CONTRACTOR IS RESPONSIBLE FOR THE STRENGTH AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING, BRACING AND OTHER ELEMENTS REQUIRED TO MAINTAIN STABILITY UNTIL THE STRUCTURE IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE WORK REQUIRED IN THE CONSTRUCTION DOCUMENTS AND THE REQUIREMENTS FOR EXECUTING IT PROPERLY.

CONSTRUCTION LOADS
LOADS ON THE STRUCTURE DURING CONSTRUCTION SHALL NOT EXCEED THE DESIGN LOADS AS NOTED IN DESIGN CRITERIA & LOADS BELOW OR THE CAPACITY OF PARTIALLY COMPLETED CONSTRUCTION AS DETERMINED BY THE CONTRACTOR'S SEE FOR BRACING/SHORING.

CHANGES IN LOADING
THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY THE SEE OF ANY ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING LOAD IMPOSED ONTO THE STRUCTURE THAT DEVIATES FROM OR THAT IS NOT DOCUMENTED ON THE ORIGINAL CONTRACT DOCUMENTS (ARCHITECTURAL/STRUCTURAL/MECHANICAL/ELECTRICAL OR PLUMBING DRAWINGS) PROVIDE DOCUMENTATION OF LOCATION, LOAD, SIZE, AND ANCHORAGE OF ALL UNDOCUMENTED LOADS IN EXCESS OF 400 POUNDS PROVIDE MARKED UP STRUCTURAL PLAN INDICATING LOCATIONS OF ANY NEW EQUIPMENT OR LOADS. REFER PLANS TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO INSTALLATION.

NOTE PRIORITIES
PLAN AND DETAIL NOTES AND SPECIFIC LOADING DATA PROVIDED ON THE INDIVIDUAL GENERAL AND DETAIL DRAWINGS SUPPLEMENTS INFORMATION IN THE STRUCTURAL GENERAL NOTES.

PLAN INFORMATION
DIMENSIONS ARE FOR REFERENCE. CONTRACTOR TO VERIFY ALL DIMENSIONS DIMENSIONS ARE PROVIDED BY THE ARCHITECT'S ELECTRONIC FILE. ALWAYS VERIFY THESE PLANS AND DIMENSIONS WITH THE ARCHITECT. PLANS UNDER NO CIRCUMSTANCES WILL ACCEPT ENGINEERING. ITS EMPLOYEES OR AGENTS BE LIABLE FOR ANY DIRECT, INDIRECT, PUNITIVE OR CONSEQUENTIAL DAMAGES THAT MAY RESULT IN ANY WAY FROM YOUR USE, MISUSE, REFERENCE TO OR RELIANCE ON ANY OF THE INFORMATION PROVIDED OR THAT RESULT FROM MISTAKES, ERRORS, OMISSIONS, INTERPRETATIONS OR DEFECTS. MCNEIL ENGINEERING EXPRESSLY DISCLAIMS ALL WARRANTIES, INCLUDING ANY EXPRESS OR IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE WITH RESPECT TO THE INFORMATION HEREIN.

WHILE MCNEIL ENGINEERING MAKES EVERY EFFORT TO PRESENT ACCURATE AND RELIABLE INFORMATION, MCNEIL ENGINEERING DOES NOT ENDORSE, APPROVE OR CERTIFY THE INFORMATION PROVIDED BY OTHERS, NOR DOES MCNEIL ENGINEERING GUARANTEE ITS ACCURACY, COMPLETENESS OR TIMELINESS. USE OF THIS INFORMATION IS VOLUNTARY AND RELIANCE ON IT SHOULD ONLY BE UNDERTAKEN AFTER YOU HAVE INDEPENDENTLY VERIFIED ITS ACCURACY, COMPLETENESS AND TIMELINESS.

CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY DIMENSIONS AGAINST THE CORRESPONDING OFFICIAL CONSTRUCTION DRAWINGS. DIMENSIONS SHOWN ON THE CONSTRUCTION DOCUMENTS MUST BE VERIFIED WITH ARCHITECTURAL PLANS. IF ANY DISCREPANCIES ARE FOUND THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. MCNEIL ENGINEERING DOES NOT GUARANTEE THAT THIS ELECTRONIC MEDIA HAS NOT BEEN DAMAGED, ALTERED, OR MODIFIED DURING TRANSMISSION AND/OR STORAGE. MCNEIL ENGINEERING DOES NOT GUARANTEE CHANGES ON THE ARCHITECTURAL PLANS HAVE BEEN FULLY CONVEYED AND THE CONSTRUCTION DOCUMENTS UPDATED. ANYONE RECEIVING ELECTRONIC MEDIA MUST VERIFY ALL INFORMATION WITH THE CORRESPONDING OFFICIAL CONSTRUCTION DRAWINGS. ANY USE OR RELIANCE OF THIS INFORMATION SHALL BE THE FULL RESPONSIBILITY OF THE USER.

FOUNDATIONS
SOIL TO BE OBSERVED PRIOR TO PLACEMENT OF FOOTINGS. ALL FOOTING DEPTHS INDICATED ON PLANS ARE MINIMUM DEPTHS. FOOTINGS MUST BE PLACED IN AT LEAST ELEVATED TRENCHES. TRENCH SHALL BE APPROVED BY INSPECTOR PRIOR TO PLACEMENT OF CONCRETE. AT LOCATIONS WHERE STRUCTURAL FILL IS REQUIRED, FILL SHALL BE PLACED IN 6" LIFTS & COMPACTED AT OPTIMUM MOISTURE CONTENT.

1 MAXIMUM NET BEARING PRESSURE = 1.50 PSF (NET ALLOWABLE) - ASSUMED PER IBC
2 FROST DEPTH - VERIFY W/ LOCAL JURISDICTION - FOOTINGS TO BE PLACED 36" MIN DEPTH FROM GRADE TO BOTTOM OF FOOTING
3 INTERIOR FOOTINGS = 12" (BOTTOM OF FOOTING) TO TOP OF SOIL OR SLAB
4 LATERAL SOIL PRESSURE - ACTIVE = 40 PCF, AT REST = 55 PCF, PASSIVE = 250 PCF (ASSUMED)
5 FRICTION COEFFICIENT: 0.45

CONCRETE
ALL CONCRETE MATERIALS SHALL COMPLY WITH THE STANDARDS SPECIFIED IN THE LATEST EDITION OF THE ACI 318 BUILDING CODE. EACH MIX DESIGN SHALL BE REVIEWED BY AN APPROVED INDEPENDENT LABORATORY.

LOCATION	EXPOSURE CLASS	SLUMP (MAX)	AGGREGATE (MAX SIZE)	AIR CONTENT	COMPRESSIVE STRENGTH (PSI)
FOOTINGS (INTERIOR)	FO, SO, PG, CO	5"	1" DIA.	1.5%	3,500 PSI
FOOTINGS (EXTERIOR)	FO, SO, PG, CO	5"	1" DIA.	1.5%	3,500 PSI
CONCRETE WALLS	F1, SO, PG, C1	4"	3/4" DIA.	5%	4,500 PSI
INTERIOR SLAB ON GRADE	FO, SO, PG, CO	5"	3/4" DIA.	1.5%	4,000 PSI
SLAB ON CONCRETE (UNREIN)	F3, SO, PG, CO	4"	3/4" DIA.	6%	4,500 PSI

2500 PSI USED IN DESIGN

SITE CONCRETS (UNLESS SPECIFIED OTHER BY CIVIL ENGINEER)
CONCRETE TYPE: TYPE I, MAX FLASH 25%

AIR CONTENT ± 1.5% MEASURED AT POINT OF FINAL PLACEMENT. AIR-ENTRAINING ADMIXTURES SHALL COMPLY WITH ASTM C266 (WHEN USED). CALCIUM CHLORIDE SHALL NOT BE ADDED TO THE CONCRETE MIX. UNREINFORCED CONCRETE SLABS ON GRADE MAY HAVE CALCIUM CHLORIDE NOT EXCEEDING ONE PERCENT. AIR ENTRAINMENT SHALL BE ADJUSTED FOR THE USE OF ADMIXTURES AND FLY ASH.

ANY CONCRETE THAT FAILS TO MEET SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION DESIGN, PLACEMENT, AND REMOVAL OF ALL FORMWORK. ALL SHORING DURING PLACEMENT OF CONCRETE IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

SEE CIVIL DRAWINGS FOR SITE CONCRETE REQUIREMENTS. IN ABSENCE OF INFORMATION, USE VALUES LISTED.

CAST-IN-PLACE CONCRETE COVER
CONFORM TO THE FOLLOWING COVER AND CORROSION PROTECTION REQUIREMENTS UNLESS NOTED OTHERWISE IN THE DRAWINGS.

REINFORCEMENT LOCATION	MIN COVER
FOOTING BOTTOM REINFORCEMENT	3"
FOOTING TOP REINFORCEMENT	2"
SLAB ON GRADE REINFORCEMENT	2" FROM TOP
WALLS IN CONTACT WITH EARTH	2"
WALLS NOT IN CONTACT WITH EARTH	3/4"

POST-INSTALLED ANCHORS AS PER ICC EFCI.

ANCHOR LOCATION, TYPE, DIAMETER AND EMBEDMENT SHALL BE AS INDICATED ON DRAWINGS. REFERENCE THE "POST-INSTALLED ANCHORS" SECTION FOR APPLICABLE POST-INSTALLED ANCHOR ADHESIVES. ANCHORS SHALL BE INSTALLED AND INSPECTED IN STRICT ACCORDANCE WITH THE APPLICABLE ICC.

CONCRETE REINFORCING
ALL REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 60, F_y = 60,000 PSI MIN. UNLESS NOTED OTHERWISE. BARS SHALL BE TIED SECURE PRIOR TO PLACEMENT OF CONCRETE TO MAINTAIN PROPER PLACEMENT AFTER CONCRETE IS IN PLACE. LAP ALL BARS 40 DIAMETERS UNLESS NOTED OTHERWISE. SPLICE BARS ONLY WHERE SHOWN ON PLANS.

NORMAL WEIGHT CONCRETE SHALL HAVE A UNIT WEIGHT OF POUNDS PER CUBIC FOOT USE OF CALCIUM CHLORIDE IS NOT PERMITTED IN ANY CONCRETE MIXES. ALL OTHER ADITIVES AND ADMIXTURES MUST HAVE THE WRITTEN APPROVAL OF THE ENGINEER. THE ENGINEER SHALL HAVE 10 BUSINESS DAYS TO REVIEW SHOP DRAWINGS.

STRUCTURAL STEEL
ALL STRUCTURAL STEEL COMPONENTS SHALL BE FABRICATED AND ERECTED ACCORDING TO THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS," WITH "COMMENTARY," AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" AS WELL AS THE FOLLOWING STANDARDS:

• AISC "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A-325 OR A-490 BOLTS" APPROVED BY THE RESEARCH COUNCIL ON SHEAR AND BOLTED STRUCTURAL JOINTS OF THE ENGINEERING FOUNDATION.
• AWS D1.1 "STRUCTURAL WELDING CODE"
• ASTM A4 "GENERAL REQUIREMENTS FOR DELIVERY OF ROLLED STEEL PLATES, SHAPES, SHEET PILING AND BARS FOR STRUCTURAL USE"

ALL STEEL SECTIONS SHALL CONFORM TO THE FOLLOWING:
WIDE FLANGE SHAPES: ASTM A572 GRADE 50 OR ASTM A992 GRADE 50
HOLLOW STRUCTURAL SECTIONS: ASTM A595 GRADE B
FY MIN = 46 KSI
ANGLES, CHANNELS, PLATES & BARS: ASTM A36

MASONRY
CONCRETE MASONRY UNITS: ALL CONCRETE MASONRY UNITS SHALL BE MEDIUM WEIGHT CONCRETE UNITS GRADE "N" PER ASTM C-90 AND C-311. PA1 = 1500 PSI. MINIMUM UNIT STRENGTH OF CONCRETE UNITS TO BE 1900 PSI. MORTAR SHALL BE TYPE "S" 1800 PSI AT 28 DAYS. GROUT SHALL BE OF FLUID CONSISTENCY WITH A SLUMP OF 8" MIN. AND SHALL DEVELOP A COMPRESSIVE STRESS AT 28 DAYS OF 2000 PSI MIN. MINIMUM WALL REINFORCING SHALL NOT BE OTHERWISER THAN: 8" @ 32" O.C. VERTICAL AND 8" @ 48" O.C. HORIZONTAL. PROVIDE ONE #5 VERTICAL BAR @ CORNERS. PROVIDE 2#4 VERTICAL BARS @ JAMBS. LAP ALL MASONRY WALL REINFORCING 40 DIAMETERS MIN. UNLESS NOTED OTHERWISE. REINFORCING SHALL BE PLACED IN FULLY GROUTED CELLS.

JOINT REINFORCEMENT SHALL HAVE NOT LESS THAN 54" MORTAR COVERAGE FROM THE EXPOSED FACE. OTHER REINFORCEMENT SHALL HAVE A MINIMUM COVERAGE OF ONE BAR DIAMETER OVER THE BARS, BUT NOT LESS THAN 3/4". WHEN MASONRY IS EXPOSED TO SOIL, MINIMUM COVERAGE SHALL BE 1 1/2".

WHERE WALLS ARE NOT GROUTED SOLID, EACH GROUT POOR SHALL TERMINATE FLUSH WITH THE TOP OF THE UPPERMOST UNIT EXCEPT AT CELLS WITH VERTICAL REINFORCEMENT WHERE GROUT SHALL BE 1 1/2" BELOW TOP OF UNIT TO PROVIDE CONSTRUCTION KEY. GROUT POKERS SHALL BE LIMITED TO 4-6" UNLESS HIGH LIFT GROUTING PROCEDURES ARE FOLLOWED. ALL MASONRY BELOW GRADE SHALL BE SOLID GROUTED. VERTICAL CELLS TO BE FILLED WITH GROUT SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAR UNOBSTRUCTED AND VERTICAL CELL MEASURING NOT LESS THAN 2" BY 5". ALL STEEL REINFORCEMENT SHALL BE SECURED AGAINST DISPLACEMENT PRIOR TO GROUTING BY WIRE POSTIONS OR OTHER SUITABLE DEVICES. AT POINTS ALL NOT EXCEEDING 200 BAR DIAMETER OR 10-1/2" MAXIMUM, OR AT BAR SPACELocations, VERTICAL REINFORCEMENT SHALL BE LOCATED AT THE CENTER OF THE WALL. UNLESS NOTED OTHERWISE, REINFORCEMENT SHALL NOT BE WELDED UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS. IN SUCH CASES, USE ONLY AWS STANDARDS. DO NOT SUBSTITUTE REINFORCEMENT BARS FOR DSA OR HAS.

CONTROL JOINT SPACING SHALL NOT EXCEED 20'-0" SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS. GROUT ALL BEAMS AND JOIST POCKETS SOLID AFTER INSTALLATION OF BEAMS AND JOISTS. EMBED CHANNELS AND PLATES SHALL BE PLACED SO AS TO CREATE A FLUSH SURFACE WITH THE FACE OF THE WALL.

ANCHOR BOLTS AND HEADED STUD ANCHORS SHALL BE SET IN A GROUTED CELL. ANCHOR BOLTS AND HEADED STUD ANCHORS SHALL HAVE 1/2" GROUT SURROUNDING THE SHANK AT ITS PENETRATION. GROUT SHALL BE FLUSH WITH THE FACE OR TOP OF THE MASONRY.

ALL VERTICAL REINFORCEMENT SHALL BE DOWELED IN TO THE FOUNDATION, FOOTING AND THE STRUCTURE BELOW WITH THE SAME SIZE DOWEL SPACING AND IN THE SAME CORE AS THE VERTICAL WALL REINFORCING ABOVE.

WALL OPENINGS 24" WIDE AND WIDER FOR UNSCHEDULED OPENINGS PROVIDE REINFORCING ON ALL SIDES PER DETAILS. ALSO, FOR ALL OPENINGS, PROVIDE HORIZONTAL BAR AT BOTTOM OF OPENING PER DETAILS. VERTICAL BARS SHALL EXTEND FROM FLOOR LEVEL BELOW TO THE FLOOR OR ROOF LEVEL ABOVE. HORIZONTAL BARS FOR ALL OPENINGS SHALL EXTEND A MINIMUM OF 4 BAR DIAMETERS BEYOND THE CORNERS OF THE OPENING WHERE A 48 BAR DIAMETER IS NOT POSSIBLE. EXTEND BARS AS FAR BEYOND THE OPENING AS POSSIBLE AND TERMINATE THE BARS) WITH A 90 DEGREE STANDARD HOOK.

HORIZONTAL WALL REINFORCING SHALL BE CONTINUED THROUGH JOINING CONCRETE WALLS, MASONRY WALLS, COLUMNS, AND PILASTERS PROVIDE A KEY BETWEEN THE WALL AND THE COLUMN OR PILASTER. HORIZONTAL WALL REINFORCING SHALL BE PLACED INSIDE THE COLUMN. VERTICAL REINFORCING HORIZONTAL REINFORCING SHALL TERMINATE WITH A STANDARD HOOK AT EDGE OF OPENING, AND ENDS OF WALLS WITHOUT CORNER BARS AS SHOWN IN DETAILS. ALL MASONRY CORNERS SHALL TERMINATE WITH 135 DEG HOOKS PLUS A 6 BAR EXTENSION (4" MIN).

MASONRY SHALL BE SPECIALLY INSPECTED PER THE LATEST EDITION OF IBC, LEVEL 1, TABS 402 AC1 530 ACES 5 AND TAB 602 AC1 570 / ACES 6.

LAMINATED VENEER LUMBER
ALL LAMINATED VENEER LUMBER SHALL CONFORM TO THE SPECIFICATIONS OF BOISE CASCADE CORPORATION FOR VENEER LUMBER, OR ENGINEER APPROVED EQUIVALENT DESIGN VALUES SHALL MEET OR EXCEED THOSE PUBLISHED VALUES IN THE BOISE CASCADE PRODUCT GUIDE, LATEST EDITION.

SHEATHING
SHEATHING SHALL BE A P-A RATED, SEE PLAN FOR SPAN RATING AND THICKNESS SHEATHING INSTALLATION.

ROOF AND FLOOR SHEATHING SHALL BE LAID WITH THE FACE GRAIN PERPENDICULAR TO THE FRAMING MEMBERS UNO. END AND JOINTS SHALL BE STAGGERED. WALL SHEATHING MAY BE APPLIED HORIZONTALLY OR VERTICALLY.

ALL NAILS SHALL BE COMMON WIRE NAILS UNO EQUIVALENT PNEUMATIC DRIVEN NAILS MAY BE USED IF FASTENER MANUFACTURER HAS CURRENT I.C.C. APPROVAL. FASTENERS TO BE USED SHALL BE EQUIVALENT IN LATERAL AND WITHDRAWAL STRENGTH TO THE SIZE COMMON NAIL SPECIFIED.

USE EXTERIOR GRADE SHEATHING AT DECKS AND CORRIDORS.

ROOF SHEATHING:
EDGE BLOCKING OF UNSUPPORTED EDGES OF SHEATHING AS NOTED ON PLANS. PLY CLIPS OR APPROVED EQUAL CONNECTOR SHALL BE INSTALLED AT MID SPAN BETWEEN EACH SUPPORT WHEN RAFTER SPACING EXCEEDS 16" AND EDGE BLOCKING IS NOT SPECIFIED.

TYPICAL NAILING SHALL BE 8 @ 6" O.C. AT SUPPORTED EDGES AND OVER SHEAR WALLS AND 8 @ 12" O.C. AT INTERMEDIATE SUPPORTS UNO.

FLOOR SHEATHING:
EDGE BLOCKING OF UNSUPPORTED EDGES OF SHEATHING AS NOTED ON PLANS.

TYPICAL NAILING SHALL BE 10 @ 6" O.C. ALL SUPPORTED EDGES AND OVER SHEAR WALLS, AND 10 @ 12" O.C. ALL INTERMEDIATE SUPPORTS UNO. USE RING SHANK NAILS.

ALL FLOOR SHEATHING SHALL BE GLED TO JOISTS THE FIELD-GLED FLOOR SYSTEM SHALL BE INSTALLED ACCORDING TO THE RECOMMENDATION OF THE AMERICAN PLYWOOD ASSOCIATION. GLUE SHALL BE APPLIED TO THE JOISTS AND TO THE GROOVES AT THE EDGE OF THE T & G PANELS. GLUE SHALL MEET THE REQUIREMENTS OF THE AMERICAN PLYWOOD ASSOCIATION ADHESIVE SPEC. AFG-D1 AND SHALL BE APPLIED AS DIRECTED BY THE GLUE MANUFACTURER. GLUE MAY BE APPLIED MANUALLY OR WITH PNEUMATIC OR ELECTRIC EQUIPMENT.

ROUGH CARPENTRY
FRAMING LUMBER SHALL BE KILN DRIED AND SHALL MEET THE FOLLOWING MINIMUM STANDARD UNO:
USE: SILL PLATES 2 x 4
2 x 6 x 2 x 8
ALL SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY, SHALL BE PRESSURE TREATED OR CALIFORNIA REDWOOD.

HORIZONTAL FRAMING LUMBER (TPO):
4x4 AND SMALLER
2x ROOF JOISTS & RAFTERS
2x FLOOR JOISTS
3x LEDGERS
4x HEADERS & BEAMS
6x & LARGER BEAMS

VERTICAL FRAMING LUMBER (UNO)
ALL STUDS
ALL POSTS
ALL OTHER LUMBER UNO

D F STANDARD OR BETTER
D F NO. 2 OR BETTER
D F NO. 2
D F NO. 1
D F NO. 1
D F STUD GRADE OR #2 (SEE PLAN)
D F NO. 1
D F STANDARD OR BETTER

FINGER-JOINTED LUMBER MAY BE USED EXCEPT AT SHEARWALL, HOLD/DOWNS LOCATIONS AT EXTERIOR LOCATIONS, DECKS, EXPOSED CORRIDORS, USE APA RATED SHEATHING EXTERIOR, WHERE CONSTRUCTION JOBS ARE EXPECTED PRIOR TO FINISHING PROTECTION. USE APA RATED SHEATHING (COMMONLY KNOWN AS "CIDX" PROVIDE A MINIMUM OF (3) STUDS UNDER ALL GIRDER TRUSS BEARING LOCATIONS UNO. WHERE POSTS OR MULTIPLE STUDS UNDER BEAMS OR HEADERS ARE IDENTIFIED ON DRAWINGS, THOSE POSTS OR MULTIPLE STUDS SHALL BE CARRIED TO THE FOUNDATION BLOCK. JOISTS AT ALL SUPPORTS DOUBLE JOIST UNDER PARALLEL PARTITIONS, BLOCK UNDER PERPENDICULAR PARTITIONS AT 32" O.C.

JOISTS HANGERS AND OTHER METAL FRAMING ACCESSORIES ARE REFERRED TO ON PLANS BY PARTICULAR TYPE AS MANUFACTURED BY SIMPSON COMPANY, SAN LEANDRO CALIFORNIA. ACCESSORIES OF OTHER MANUFACTURER WITH EQUIVALENT LOAD CARRYING CHARACTERISTICS MAY BE USED, WHEN APPROVED BY ENGINEER.

BOLTS - HOLES IN WOOD 1/16" OVERSIZE MAX. USE WASHERS AGAINST WOOD. RE-TIGHTEN ALL BOLTS BEFORE CLOSING IN PRE-BILL HOLES FOR LAG BOLTS AND TURN-BOLTS INTO HOLES. DO NOT DRIVE-IN FIRE STOPPING BACKING FOR INTERIOR FINISHES. NON-BEARING WALLS AND OTHER NON-STRUCTURAL FRAMING IS NOT NECESSARILY SHOWN ON THE STRUCTURAL DRAWINGS. SEE FASTENING SCHEDULE (UNO) PER IBC CHAPTER 23.

FASTENERS IN PRESERVATIVE-TREATED AND FIRE-RETARDANT-TREATED WOOD FASTENERS SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. THE COATING WEIGHTS FOR ZINC-COATED STEEL WITH COATING WEIGHTS IS ACCORDANCE WITH ASTM A 153 PER IBC CHAPTER 23.

POST INSTALLED ANCHORS:
FOLLOW ALL ICC REPORT AND MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS FOR POST INSTALLED ANCHORS INSTALLATION. WHERE CONFLICT MAY EXIST, THE MOST STRINGENT REQUIREMENTS APPLIES.

FOLLOW MANUFACTURER AND ICC EVALUATION REPORT REQUIREMENTS FOR INSTALLATION TEMPERATURE OF ADHESIVE ANCHORS. ADHESIVE ANCHORS SHALL NOT BE INSTALLED OR CURED OUTSIDE OF APPROVED TEMPERATURE RANGES.

ADHESIVE ANCHORS IN CONCRETE SHALL BE: HILTI HIT-RE-500 SD (ESR-3322), SIMPSON SET-XP (ESR-2568), OR DEWALT PURE-110 (ESR-3294).

ADHESIVE ANCHORS IN GROUTED MASONRY SHALL BE: HILTI HIT-150 (ESR-1967), SIMPSON SET (ESR-1773) OR DEWALT AC108+ GOLD (ESR-3290).

SPECIAL INSPECTION AND TESTING SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS OF THE ICC EVALUATION REPORT, PER SECTION 1704.13 OF THE IBC. PERIODIC INSPECTION IS ALLOWED FOR MECHANICAL ANCHORS PER SECTION 6.6 OF ICC-ES AC109.

ADDITIONAL SUGGESTED NOTES RELATED TO ADHESIVE INSTALLATION:
PER ACT 518-2011 (SECTION D.2.2) ADHESIVE ANCHORS SHALL BE INSTALLED IN CONCRETE HAVING A MINIMUM AGE OF 21 DAYS AT TIME OF ANCHOR INSTALLATION FOR INSTALLATIONS SOONER THAN 21 DAYS CONSULT ADHESIVE MANUFACTURER.

IF TEMPERATURE OF BASE MATERIAL AT TIME OF ADHESIVE INSTALLATION IS AT 45 DEGREES (FAHRENHEIT) OR LESS, AN "ACRYLIC" ADHESIVE IS REQUIRED.

Avrame USA

ATTENTION
THESE PLANS, DRAWINGS AND SPECIFICATIONS ARE PREPARED BY AVRAMI & COMPANY OF AVRAMI U.S.A. ALL RIGHTS ARE RESERVED AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN CONSENT OF AVRAMI & COMPANY. THESE PLANS ARE RELEASED FOR ONE TIME USE FOR THE CONSTRUCTION OF THE SITE BELOW.

KEYNOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL MATERIALS SHALL BE OF GRADE UNLESS OTHERWISE NOTED.
3. ALL MATERIALS SHALL BE SUPPLIED BY THE MANUFACTURER.
4. ALL MATERIALS SHALL BE TESTED AND APPROVED BY THE ENGINEER.
5. ALL MATERIALS SHALL BE STORED PROPERLY.
6. ALL MATERIALS SHALL BE PROTECTED FROM DAMAGE.
7. ALL MATERIALS SHALL BE DELIVERED TO THE SITE.
8. ALL MATERIALS SHALL BE INSTALLED AS SHOWN.
9. ALL MATERIALS SHALL BE MAINTAINED AS SHOWN.
10. ALL MATERIALS SHALL BE REPLACED AS SHOWN.

08/28/23
Cody R Palmer
58454

#	DESCRIPTION	DATE
△	CHANGE OCCUPANCY	08/28/23
△	CHANGED LSL TO LVL	08/28/23

CITY REVIEW

IDYLLWOOD OFFICE
11490 JULIANNE AVENUE NORTH
GRANT, MN 55082

PLAN: 21003.050 DATE: 08/28/23
SHEET: S001 OF
DRAWN FOR ONE TIME USE FOR

BASEMENT LEVEL
MAIN LEVEL
UPPER LEVEL
TOTAL FINISHED

AVRAMI U.S.A.

ATTENTION
 THESE PLANS, DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF AVRAMER USA. ALL RIGHTS ARE RESERVED, AND SHALL NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT WRITTEN CONSENT OF AVRAMER USA. THESE PLANS ARE RELEASED FOR A ONE TIME USE FOR THE CONSTRUCTION OF THIS PROJECT ONLY.

KEYNOTES

1. *[Signature]*
 Cody R. Palmer
 06/29/2023 55454

REVISIONS

#	DESCRIPTION	DATE

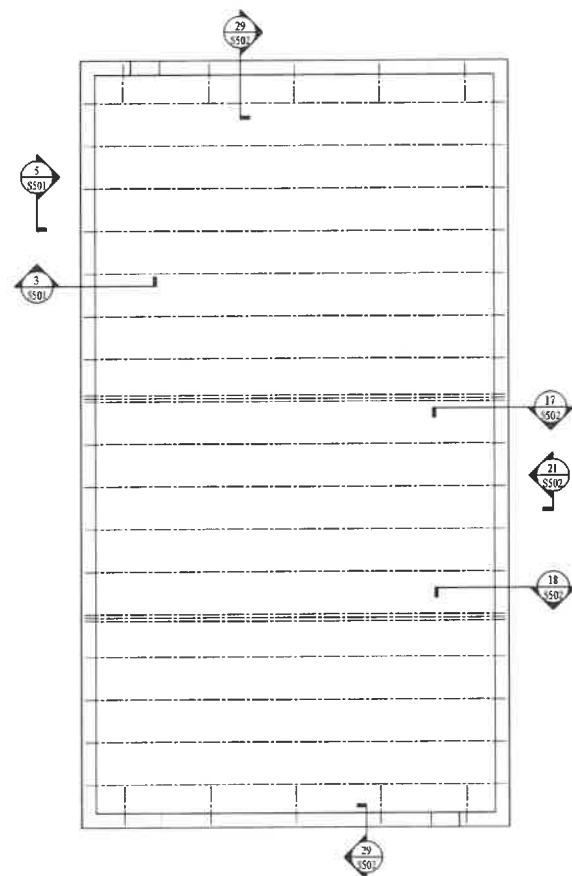
CITY REVIEW

IDYWOOD OFFICE
 11490 JULIANNE AVENUE NORTH
 GRANT, MN 55082

AVRAMER U.S.A.
DRAWN FOR ONE TIME USE FOR

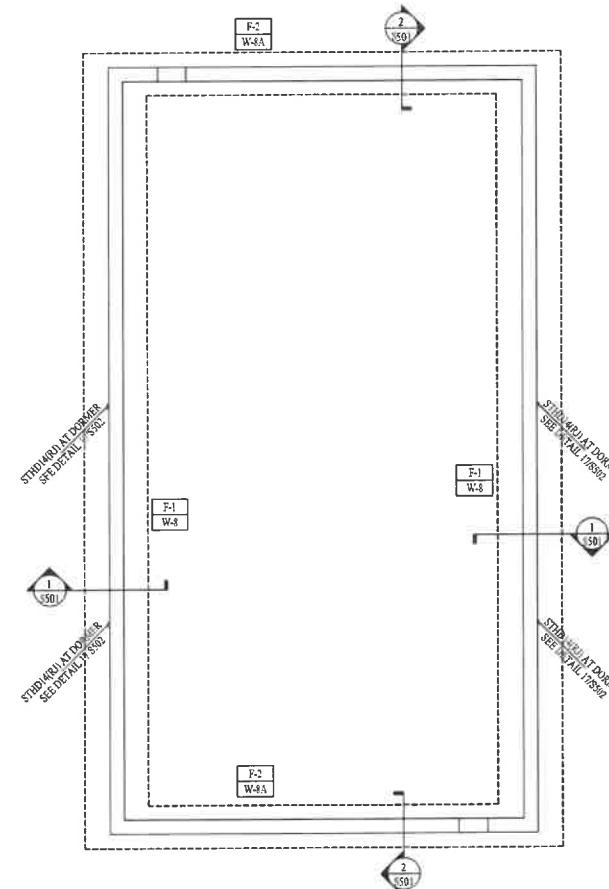
PLAN: 21003.05 DATE: 08/28/23

SHEET: **S101**
 OF:
 BASEMENT LEVEL
 MAIN LEVEL
 UPPER LEVEL
 TOTAL FINISHED



FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"
 NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY. VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS.



FOOTING AND FOUNDATION PLAN

SCALE: 1/4"=1'-0"
 NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY. VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS.

FOOTING/FND NOTES

- ALL FOOTINGS ADJACENT TO AREAS EXPOSED TO FREEZING TEMPERATURE SHALL BE AT OR BELOW FROST DEPTH - VERIFY WITH LOCAL BUILDING DEPARTMENT
- DIMENSIONS IF ANY, ARE FOR REFERENCE ONLY. DO NOT SCALE PLANS. VERIFY ALL DIMENSIONS WITH ARCH PLANS
- ALL BOLT HOLES SHALL BE DRILLED 1/8" TO 1/4" OVERSIZED

FOUNDATION WALL SCHEDULE

MARK	THICKNESS	VERT. REINFORCEMENT		HORIZ. REINFORCEMENT		REMARKS
		SIZE	SPACING	SIZE	SPACING	
W-4	8"	#4	12"	#4	12"	TYP FOUNDATION WALL
W-4A	8"	#4	18"	#4	18"	TYP FOUNDATION WALL - ENDWALL

FOOTING SCHEDULE

MARK	WIDTH	LENGTH	DEPTH	REINFORCING CROSSWISE			REINFORCING LENGTHWISE			REMARKS
				NO.	SIZE	LENGTH	NO.	SIZE	LENGTH	
F-1	30"	CONT.	12"	-	-	-	3	#5	CONT.	CONTINUOUS FOOTING
F-2	20"	CONT.	12"	-	-	-	2	#5	CONT.	CONTINUOUS FOOTING

INTERMEDIATE BEARING WALL BEAM SCHEDULE

BEAM LENGTH	BEAM SIZE	TRIM/REINFORCING
3-FT	(2) 2X6	1 TRIM/6 REINFORCING
4-FT	(2) 2X8	1 TRIM/6 REINFORCING
5-FT	(2) 2X10	1 TRIM/6 REINFORCING
7-FT	(2) 1-3/4" X 7-1/4" VL (2 @)	2 TRIM/6 REINFORCING
8-FT	(2) 1-3/4" X 9-1/2" VL (2 @)	2 TRIM/6 REINFORCING
> 9-FT	ADDL. ENGINEERING REQUIRED	

TABLE VALID FOR HEADS IN CENTER CRAWLSPACE/BASIMENT BEARING WALL ONLY. BASED ON RESIDENTIAL 40 PSF LIVE LOAD AND 15 PSF DEAD LOAD.

ROOF/FLOOR SHEATHING SCHEDULE

MARK	TYPE	THICKNESS	SPAN RATING	NAILING				REMARKS	
				SIZE	BLOCKED	EDGE	BOUNDARY		
FLOOR	T&G	3/4"	4B/24	10d	NO	6"	6"	12"	GLUE AND NAIL
ROOF	CDX/OSB	5/8"	4B/24	14	NO	6"	6"	12"	

ATTENTION:
 THESE PLANS, DRAWINGS, AND SPECIFICATIONS ARE THE PROPERTY OF AVrame U.S.A. ALL RIGHTS ARE RESERVED, AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN CONSENT. THESE PLANS ARE RELEASED FOR A ONE TIME USE FOR CONSTRUCTION OF SITE BELOW.

KEYNOTES

1. All work shall be in accordance with the latest editions of the Minnesota Building Code and applicable codes and standards.
 2. All materials shall be of the highest quality and shall be approved by the local building department.
 3. All work shall be completed within the specified time frame.
 4. All work shall be done in a professional and workmanlike manner.
 5. All work shall be done in accordance with the manufacturer's instructions.
 6. All work shall be done in accordance with the applicable codes and standards.
 7. All work shall be done in accordance with the applicable codes and standards.
 8. All work shall be done in accordance with the applicable codes and standards.
 9. All work shall be done in accordance with the applicable codes and standards.
 10. All work shall be done in accordance with the applicable codes and standards.
 11. All work shall be done in accordance with the applicable codes and standards.
 12. All work shall be done in accordance with the applicable codes and standards.

REVISIONS

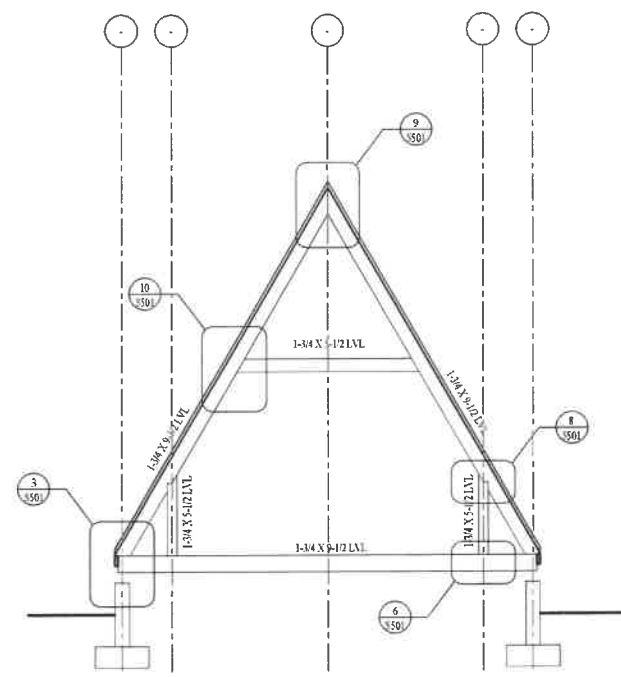
#	DESCRIPTION	DATE

CITY REVIEW

IDYLLWOOD OFFICE
 11480 JULIANNE AVENUE NORTH
 GRANT, MN 55082

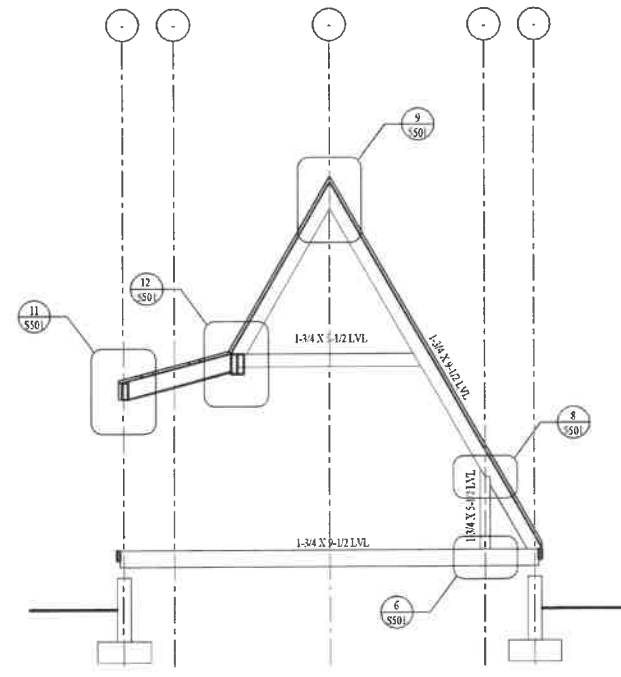
DRAWN FOR ONE TIME USE FOR:
AVrame U.S.A.

PLAN: 21003.05	DATE: 08/28/23
SHEET: S301	BASEMENT LEVEL: -
OF:	MAIN LEVEL: +
	UPPER LEVEL: -
	TOTAL FINISHED: -



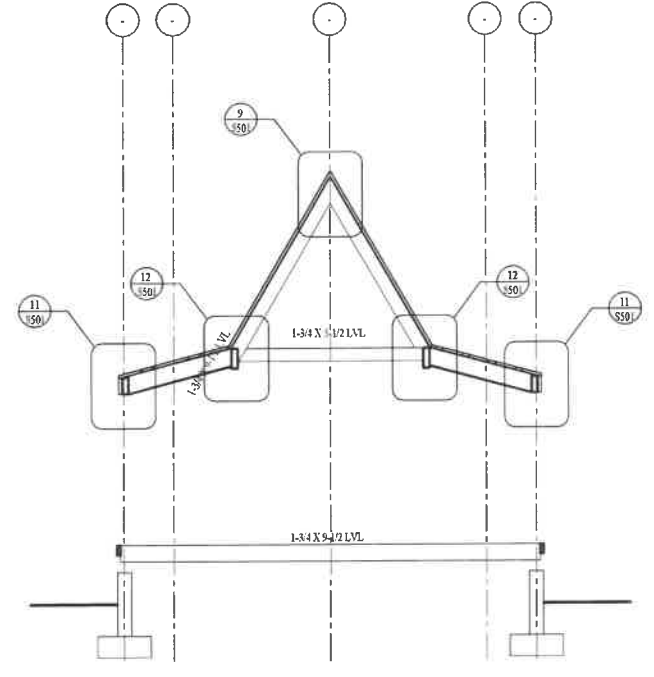
TRUSS 1 ELEVATION

SCALE 1/4"=1'-0"
 NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY.
 VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS.



TRUSS 2 ELEVATION

SCALE 1/4"=1'-0"
 NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY.
 VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS.



TRUSS 3 ELEVATION

SCALE 1/4"=1'-0"
 NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY.
 VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS.

ATTENTION
 THESE PLANS, DRAWINGS, AND SPECIFICATIONS ARE THE PROPERTY OF AVRAME U.S.A. ALL RIGHTS ARE RESERVED, AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN CONSENT. PLANS ARE RELEASED FOR A ONE TIME USE FOR CONSTRUCTION OF SITE BELOW.

KEYNOTES

1. The drawings shall be read in accordance with the specifications and notes.
 2. All dimensions shall be in feet and inches, unless otherwise noted.
 3. All materials shall be as specified in the specifications.
 4. All work shall be in accordance with the applicable building codes.
 5. The contractor shall be responsible for obtaining all necessary permits.
 6. The contractor shall be responsible for the accuracy of the field measurements.
 7. The contractor shall be responsible for the quality of the workmanship.
 8. The contractor shall be responsible for the safety of the construction site.
 9. The contractor shall be responsible for the protection of the existing structures.
 10. The contractor shall be responsible for the removal of all debris.
 11. The contractor shall be responsible for the final cleanup of the site.
 12. The contractor shall be responsible for the final inspection of the work.
 13. The contractor shall be responsible for the final payment of the project.
 14. The contractor shall be responsible for the final completion of the project.
 15. The contractor shall be responsible for the final handover of the project.
 16. The contractor shall be responsible for the final documentation of the project.
 17. The contractor shall be responsible for the final archiving of the project.
 18. The contractor shall be responsible for the final disposal of the project.
 19. The contractor shall be responsible for the final closure of the project.
 20. The contractor shall be responsible for the final termination of the project.

1. *Cody R. Palmer*
 08/28/2023 59454

REVISIONS

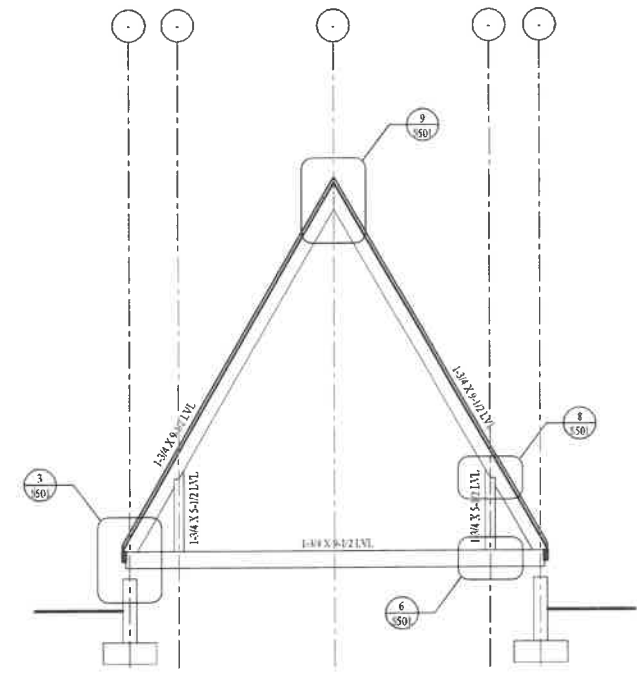
#	DESCRIPTION	DATE

CITY REVIEW

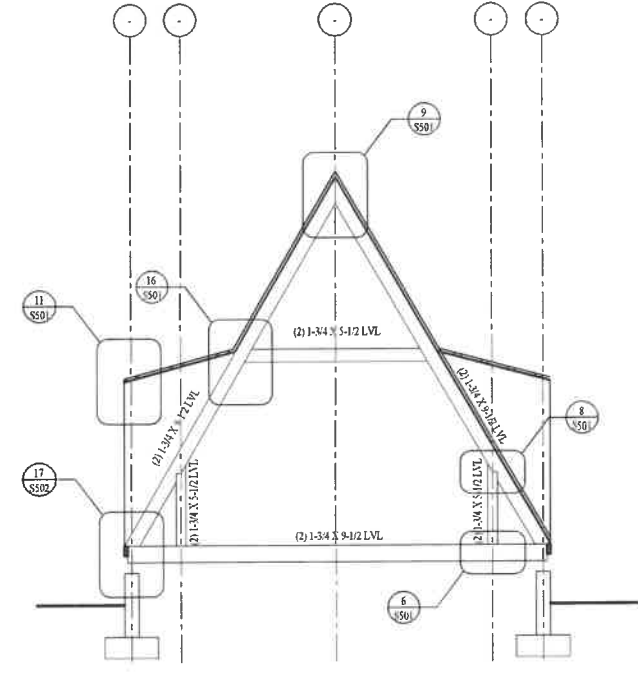
IDYLLWOOD OFFICE
 11490 JULIANNE AVENUE NORTH
 GRANT, MN 55082

DRAWN FOR ONE TIME USE FOR:
AVRAME U.S.A.

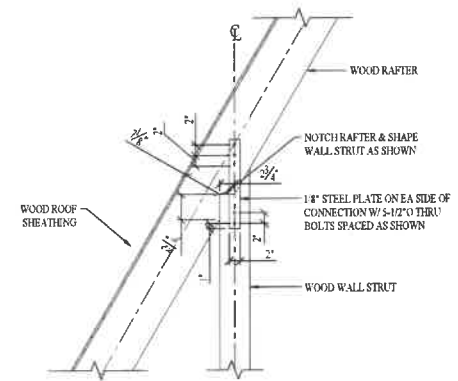
PLAN: 21003.05	DATE: 08/28/23
SHEET: S302	BASEMENT LEVEL
OF:	MAIN LEVEL
	UPPER LEVEL
	TOTAL FINISHED



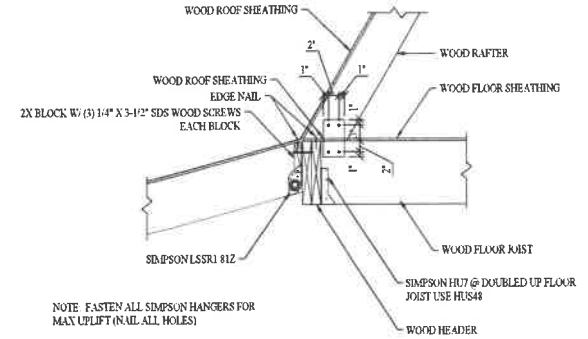
TRUSS 5 ELEVATION
 SCALE 1/4"=1'-0"
 NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY. VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS.



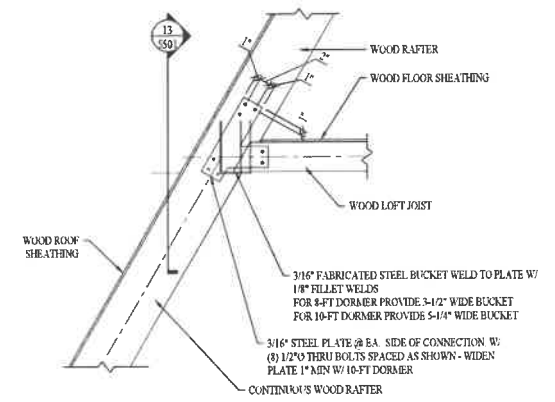
TRUSS 6 ELEVATION
 SCALE 1/4"=1'-0"
 NOTE: DO NOT SCALE PLAN. USE AS REFERENCE ONLY. VERIFY ALL DIMENSIONS ON ARCHITECTURAL PLANS.



8 WOOD RAFTER CONNECTION AT WOOD STRUT
3/4" x 1'-0"

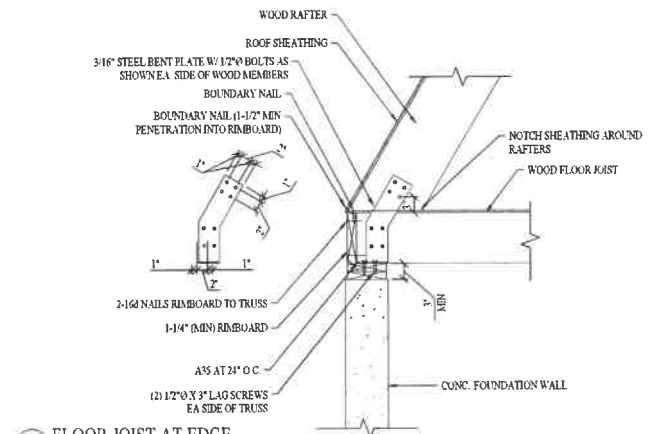


12 SECTION THROUGH DORMER FRAMING
3/4" x 1'-0"

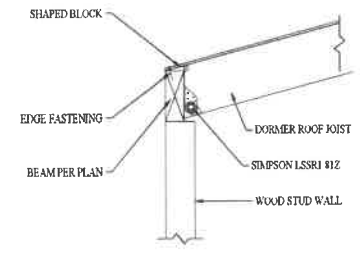


16 LOFT FRAMING CONNECTION AT DORMER
3/4" x 1'-0"

4 NOT USED
3/4" x 1'-0"



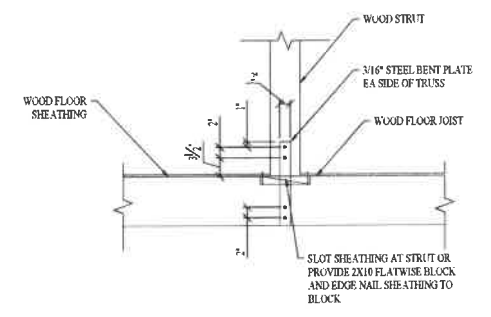
3 FLOOR JOIST AT EDGE
3/4" x 1'-0"



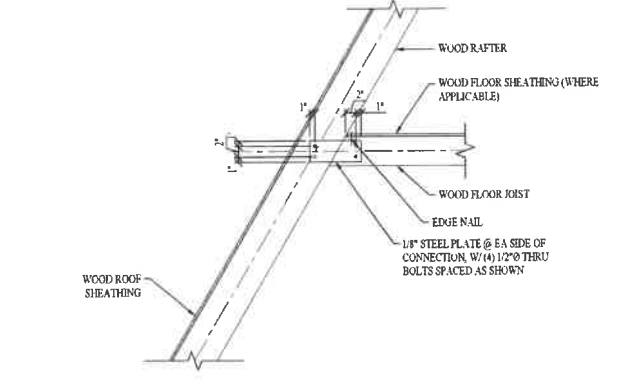
11 SECTION THROUGH DORMER FRAMING
3/4" x 1'-0"

15 NOT USED
3/4" x 1'-0"

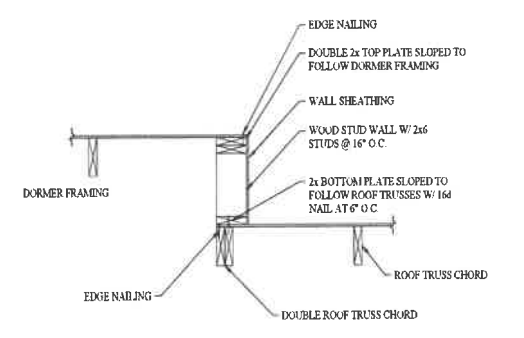
7 NOT USED
3/4" x 1'-0"



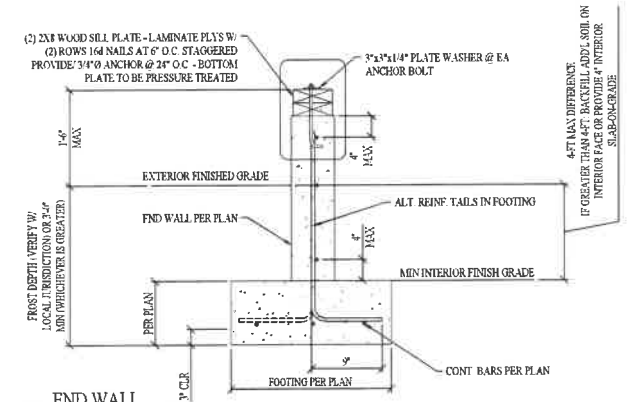
6 STRUT TO FLOOR JOIST
3/4" x 1'-0"



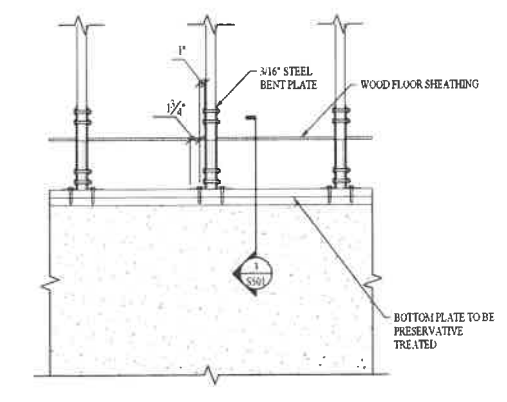
10 LOFT FRAMING CONNECTION AT RAFTERS
3/4" x 1'-0"



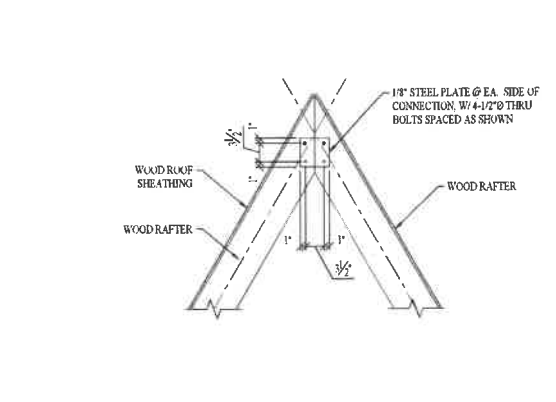
14 SLOPED WOOD STUD PONY WALL AT DORMER
3/4" x 1'-0"



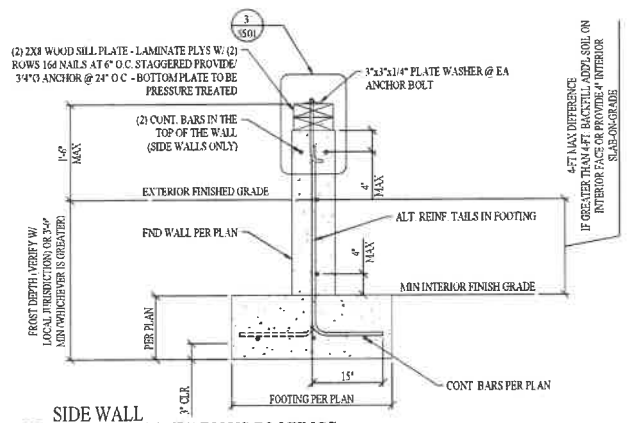
2 END WALL EXTERIOR CONTINUOUS FOOTINGS
3/4" x 1'-0"



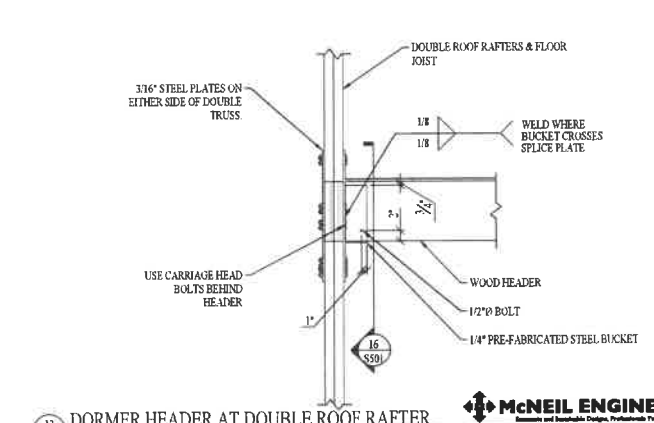
5 STRUT HOLDOWN
3/4" x 1'-0"



9 CONNECTION OF WOOD RAFTERS AT A-FRAME DECK
3/4" x 1'-0"



1 SIDE WALL EXTERIOR CONTINUOUS FOOTINGS
3/4" x 1'-0"



13 DORMER HEADER AT DOUBLE ROOF RAFTER
3/4" x 1'-0"

Avrame
USA

ATTENTION:
THESE PLANS, DRAWINGS, AND DESIGNS ARE THE PROPERTY OF AVRAME U.S.A. ALL RIGHTS ARE RESERVED, AND SHALL BE PROTECTED BY PATENT AND COPYRIGHT LAWS. NO PART OF THESE PLANS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT WRITTEN CONSENT OF AVRAME U.S.A. THESE PLANS ARE RELEASED FOR A LIMITED TIME PERIOD FOR THE CONSTRUCTION OF ONE PROJECT ONLY.

KEYNOTES

08/28/23
Cody R. Palmer
51454

REVISIONS

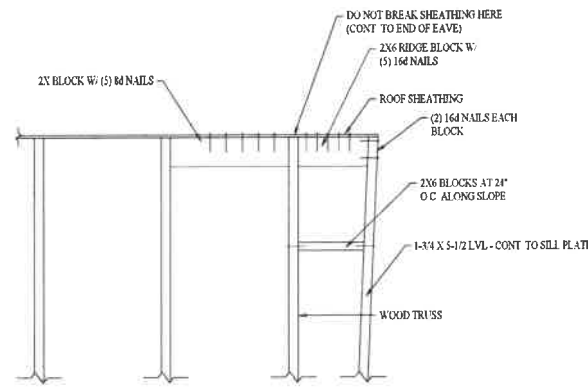
#	DESCRIPTION	DATE

CITY REVIEW

IDYWOOD OFFICE
11480 JULIANNE AVENUE NORTH
GRANT, MN 55082
DRAWN FOR ONE
TIME USE FOR
AVRAME U.S.A.

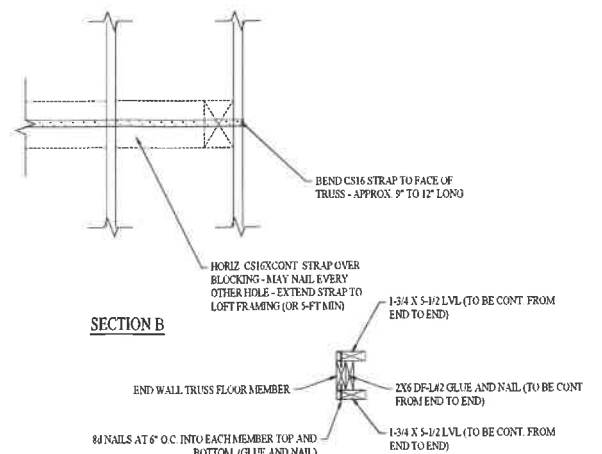
PLAN: 21003.05	DATE: 08/28/23
SHEET: S501	BASEMENT LEVEL: -
OF:	MAIN LEVEL: -
	UPPER LEVEL: -
	TOTAL FINISHED: -

McNEIL ENGINEERING
Structural and Foundation Design, Professional, Site Work and Tree
2100 1st Avenue North, Suite 200, St. Paul, MN 55104 (612) 291-7700
Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & I&D

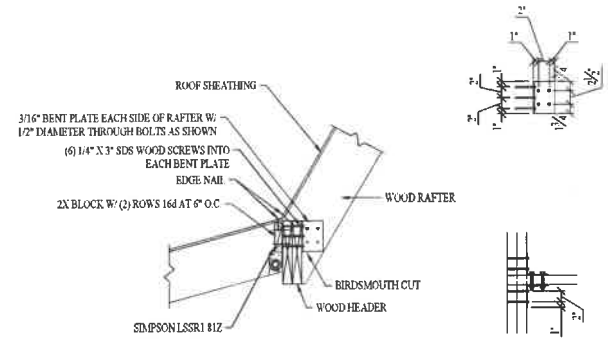


20 NOT USED
S502 3/4\"/>

24 NOT USED
S502 3/4\"/>

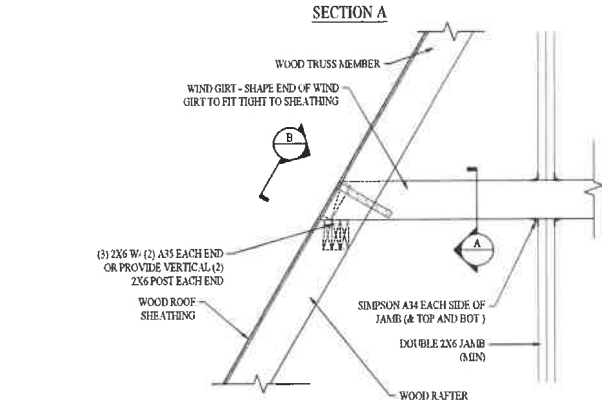


22 NOT USED
S502 3/4\"/>

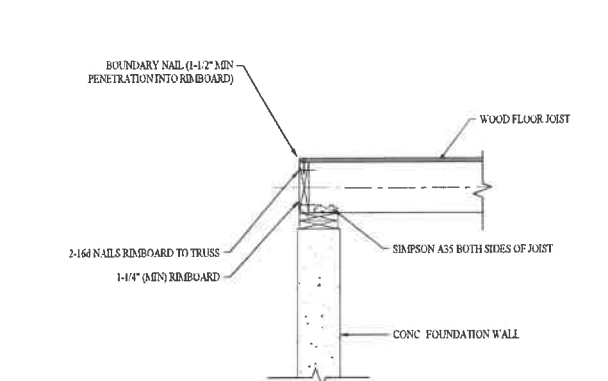


19 SECTION AT DORMER AND STAIRWAY
S502 3/4\"/>

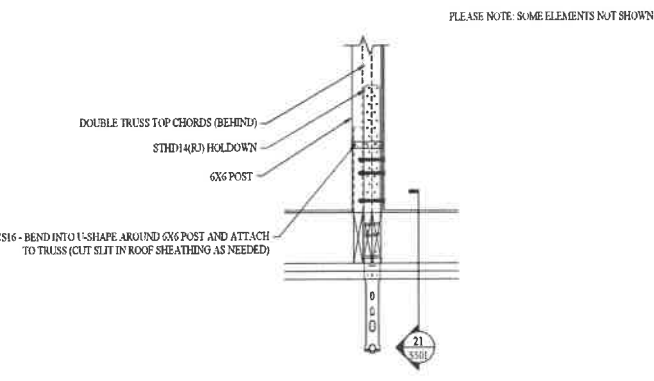
23 NOT USED
S502 3/4\"/>



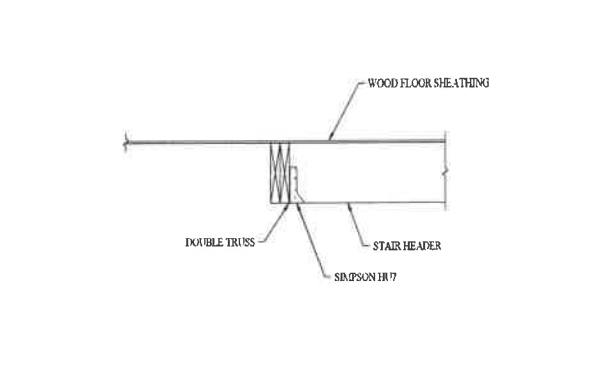
27 WIND GIRTS AT END WALL
S502 3/4\"/>



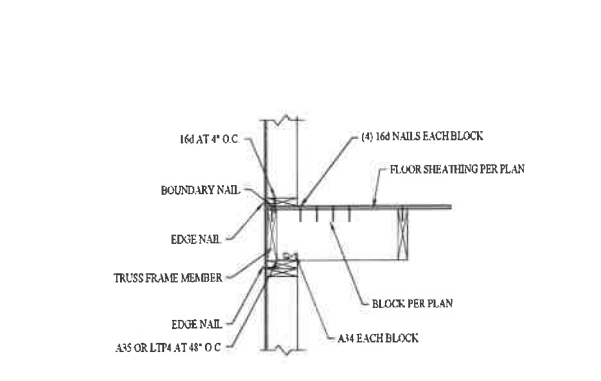
18 FLOOR JOIST AT DORMER
S502 3/4\"/>



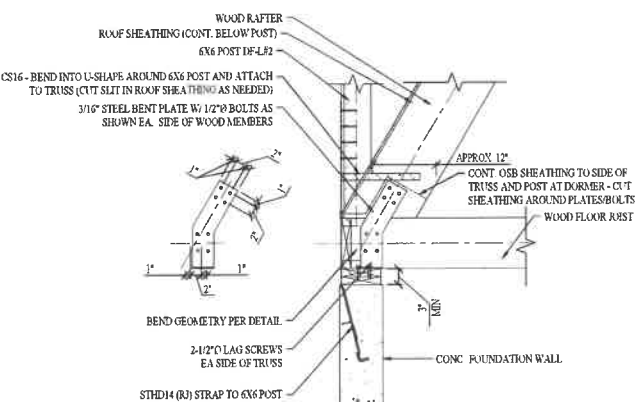
22 DOUBLE TRUSS HOLDDOWN AT DORMER
S502 3/4\"/>



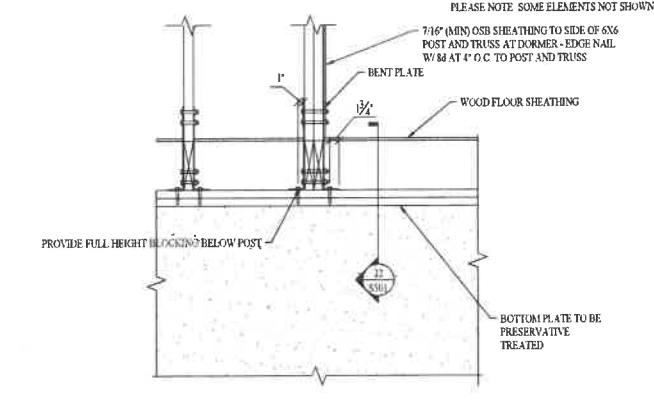
26 STAIR HEADER AT TRUSS
S502 3/4\"/>



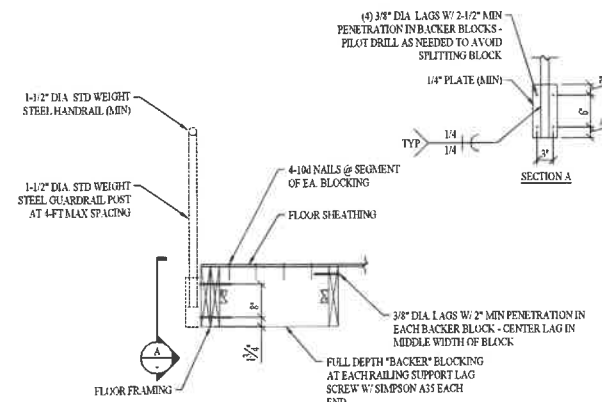
30 LOFT BLOCKING
S502 3/4\"/>



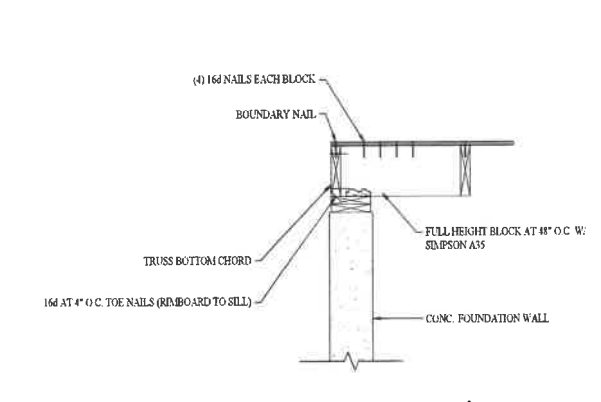
17 FLOOR JOIST AT EDGE AT DOUBLE TRUSS
S502 3/4\"/>



21 DOUBLE TRUSS AT SILL
S502 3/4\"/>



25 GUARDRAIL ATTACHMENT AT BALCONY
S502 3/4\"/>



28 ENDWALL CONNECTION
S502 3/4\"/>

Avrame
USA

ATTENTION
THESE PLANS, SPECIFICATIONS, AND DETAILS ARE THE PROPERTY OF AVrame U.S.A. ALL RIGHTS ARE RESERVED, AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF AVrame U.S.A. THESE PLANS ARE RELEASED FOR A ONE TIME USE FOR THE CONSTRUCTION OF THIS PROJECT.

KEYNOTES

06/25/2023
Cody R. Palmer
59454

REVISIONS

#	DESCRIPTION	DATE

CITY REVIEW

IDYLLWOOD OFFICE
11490 JULIANNE AVENUE NORTH
GRANT, MN 55928
DRAWN FOR ONE TIME USE FOR:
AVrame U.S.A.

PLAN	21003.05	DATE	08/28/23
SHEET	S502	BASEMENT LEVEL	
OF		MAIN LEVEL	
		UPPER LEVEL	
		TOTAL FINISHED	

McNEIL ENGINEERING
Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & GIS

