

# STILLWATER OAKS

## RESIDENTIAL DEVELOPMENT PROJECT

### CITY OF GRANT, MN

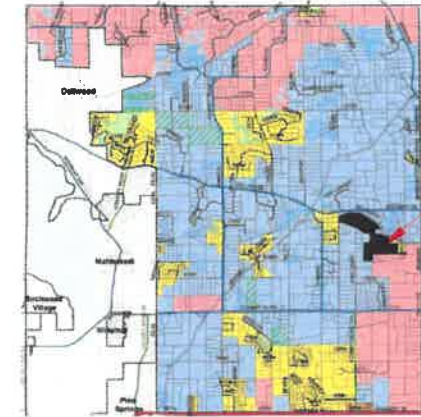
OWNER:  
**FAIRWAY ESTATES OF GRANT, LLC**  
 Jason Palmby  
 612-220-6641  
 jason@palmby.com



MINNESOTA



WASHINGTON COUNTY



CITY OF GRANT, MN



PROJECT LOCATION



**INDEX OF CIVIL SITE DRAWINGS:**

- C0 PROJECT LOCATION PLAN
- C1.1-C1.3 PRELIMINARY PLAT
- C2.1-C2.3 GRADING & DRAINAGE PLAN
- C3.1-C3.3 STORM SEWER PLAN
- C4.1-C4.4 SWPPP
- C5.1-C5.3 EXISTING CONDITIONS & REMOVAL PLAN
- C6.1 STREET PROFILES
- C7.1 DETAILS

**STILLWATER OAKS**  
 RESIDENTIAL DEVELOPMENT PROJECT  
 CITY OF GRANT  
 WASHINGTON COUNTY, MN  
 PROJECT LOCATION PLAN

I hereby certify that this plan, specification, or report and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Date: 09/22/22 Reg. No. 24348  
 PREPARED BY: CIVIL ENGINEERING SITE DESIGN  
 118 East Broadway St.  
 PO Box 866  
 Phone: 763-314-0929  
 www.civildesign.com

REVISIONS		VERTICAL SCALE 1 inch = _____ feet
09/21/22 STORM WATER DESIGN MODIFICATIONS		
09/22/22 LOT LAYOUT		HORIZONTAL SCALE 1 inch = _____ feet (SEE SHEET 24.1.3)
DATE 07/28/22	DRAWN BY SD	
	DESIGNED BY SD	
	CHECKED BY SD	

FILE NO. 00835

**CO**

Project Location Plan

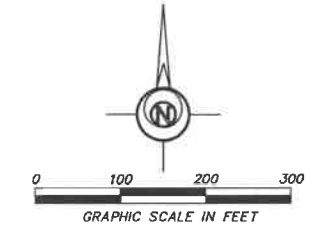
**SITE DATA:**

AREA OF PROJECT: 148.0 AC  
 PROPOSED NEW IMPERVIOUS AREA: 91,247 SF (2.10 AC)  
 PERCENT NEW IMPERVIOUS AREA: 1.4%  
 (91,247 SF / 6,448,880 SF)  
 PERCENT TOTAL IMPERVIOUS AREA: 1.4%  
 (91,247 SF / 6,448,880 SF)

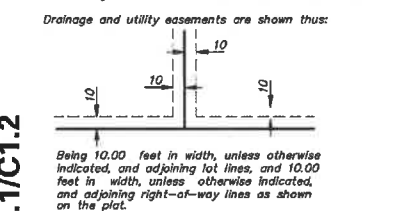
**TYPICAL HOUSE PADS**

929.7 SUGGESTED GARAGE FLOOR ELEVATION  
 FWO SUGGESTED BUILDING TYPE  
 921.7 LOWEST OPENING ELEVATION

FB = FULL BASEMENT  
 FBLO = FULL BASEMENT LOOKOUT  
 FWO = FULL BASEMENT WALKOUT  
 MLWO = MULTI-LEVEL WALKOUT



- LEGEND:**
- Existing Contours
  - x-x- Existing Storm Sewer
  - o Existing Spot Elevation
  - >->- Existing Storm Sewer
  - >->- Existing Sanitary Sewer
  - >->- Existing Watermain Sewer
  - >->- Existing Underground Telephone
  - >->- Existing Underground Electric
  - >->- Existing Tree Line
  - >->- Existing R/W Line
  - >->- Existing Easement
  - >->- Existing Boundary Line
  - >->- Existing Catch Basin
  - >->- Existing Manhole
  - >->- Existing Hydrant
  - >->- Existing Flared end Section
  - >->- Proposed Street R/W
  - >->- Proposed Lot Line
  - >->- Proposed Setback
  - >->- Proposed D&U Easement
  - >->- Proposed Driveway
  - >->- Delineated Wetland by Kjolhaug Environmental Services March 16, 2021
  - >->- Proposed Septic Field
  - >->- Proposed Wetland Buffer
  - >->- Proposed Wetland Buffer Sign



Being 10.00 feet in width, unless otherwise indicated, and adjoining lot lines, and 10.00 feet in width, unless otherwise indicated, and adjoining right-of-way lines as shown on the plat.

**SURVEY DATA**  
 SURVEY INFORMATION PROVIDED BY:  
 NORTHWESTERN SURVEYING & ENGINEERING, INC.  
 P.O. BOX 3087  
 BEMIDJI, MN 56601  
 DATED: SEPT 23, 2021

**PROJECT LOCATION**  
 THE NW 1/4 AND SW 1/4 OF SECTION 23 TOWNSHIP 24, RANGE 21,  
 WASH. COUNTY, MINNESOTA.

**EXISTING LEGAL DESCRIPTION**  
 SEE SURVEY

**EXISTING ZONING**  
 A2 AG. SMALL SCALE

**GROSS AREA**  
 141.64 ACRES.

**WETLAND DELINEATION**  
 KJOLHAUG ENVIRONMENTAL SERVICES CO., INC  
 2500 SHADYWOOD RD. STE 130  
 ORONO, MN 55331

**MINIMUM LOT REQUIREMENTS**  
 A2 LOT MINIMUMS:  
 LOT AREA 5.00AC  
 LOT WIDTH-CUL-DE-SAC 180 FT.  
 LOT WIDTH-CORNER 300 FT.  
 LOT DEPTH 300 FT.  
 MAX BUILDING COVERAGE 30%  
 A2 MINIMUMS FRONTAGE:  
 FRONTAGE ON A IMPROVED PUBLIC RD. 300 FT.  
 FRONTAGE ON A CUL-DE-SAC 60 FT.

**SETBACKS**  
 A2 LOT MINIMUMS  
 FRONT YARD 85'  
 FRONT YARD ARTERIALS (FROM CENTERLINE) 150'  
 INTERIOR R/W 85'  
 INTERIOR SIDE 20'  
 REAR YARD 50'

**INDEX OF CIVIL SITE DRAWINGS:**

CD	PROJECT LOCATION PLAN
C1.1-C1.3	PRELIMINARY PLAT
C2.1-C2.3	GRADING & DRAINAGE PLAN
C3.1-C3.3	STORM SEWER PLAN
C4.1-C4.4	SWPPP
C5.1-C5.3	EXISTING CONDITIONS & REMOVAL PLAN
C6.1	STREET PROFILES
C7.1	DETAILS

OWNER:  
**FAIRWAY ESTATES  
 OF GRANT, LLC**

Jason Palmby  
 612-220-6641  
 jason@palmby.com

**STILLWATER OAKS**  
 RESIDENTIAL DEVELOPMENT PROJECT  
 CITY OF GRANT  
 WASHINGTON COUNTY, MN  
 PRELIMINARY PLAT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

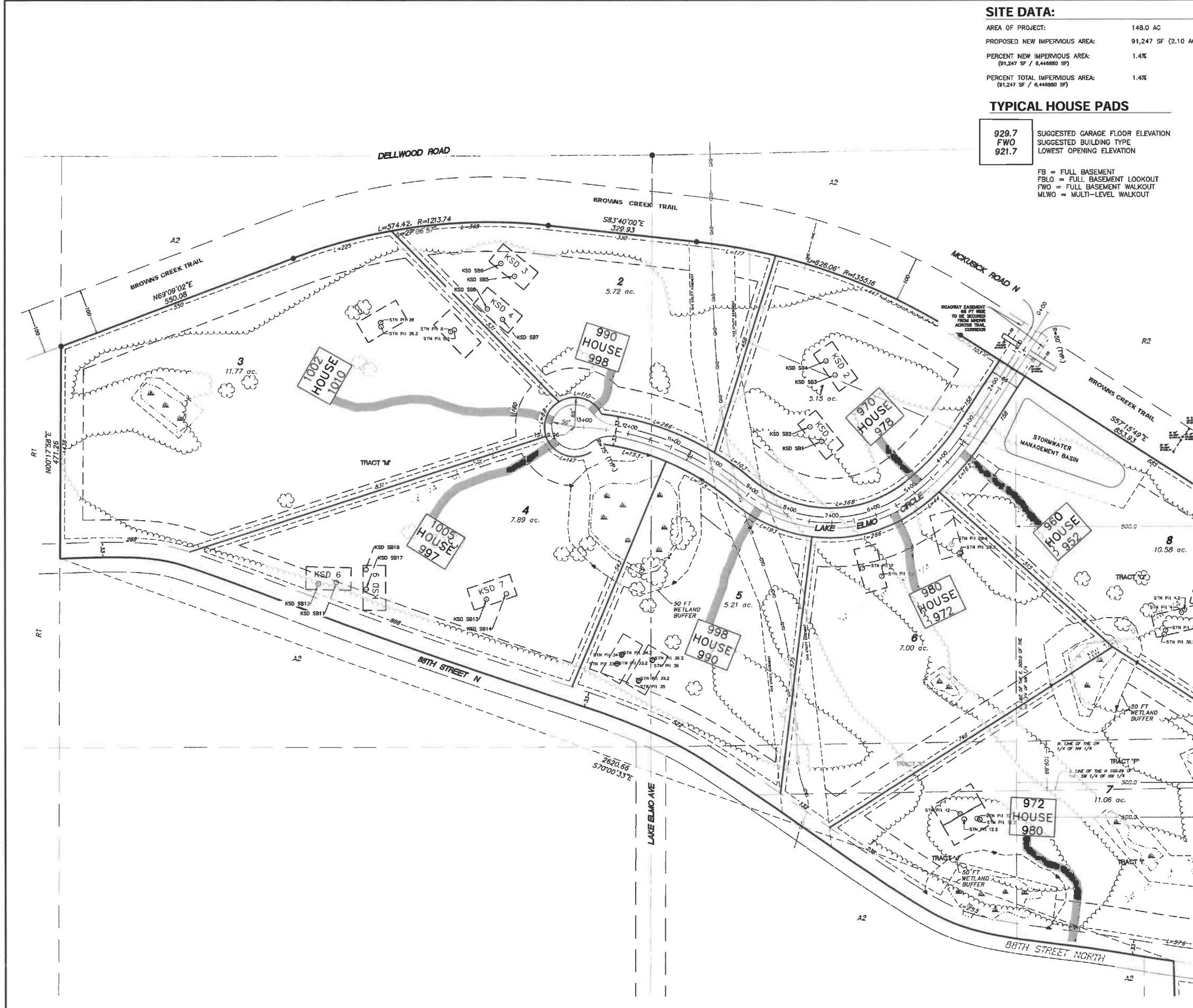
Date: 09/22/22 Reg. No. 24348  
 PREPARED BY: CIVIL ENGINEERING  
 SITE DESIGN  
 118 East Broadway St.  
 PO Box 566  
 Moorhead, MN 56501  
 Phone: 763-314-0928  
 www.civillead.com

REVISIONS	DATE	BY	DESCRIPTION
08/14/22	SD	SD	STILLWATER DESIGN MODIFICATIONS
08/22/22	SD	SD	LOT LAYOUT

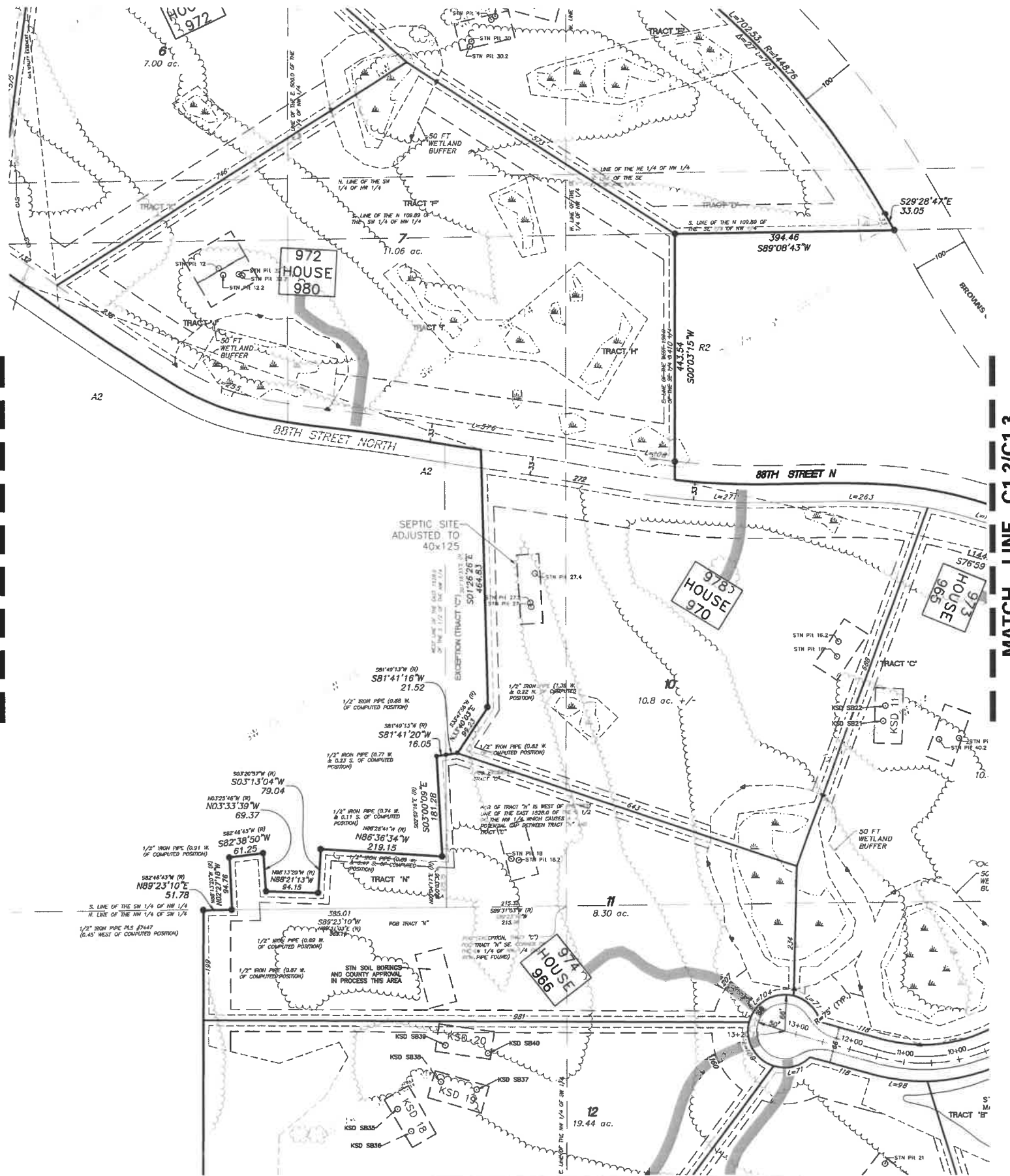
DATE	07/28/22
DRAWN BY	SD
DESIGNED BY	SD
CHECKED BY	SD

FILE NO. 00835

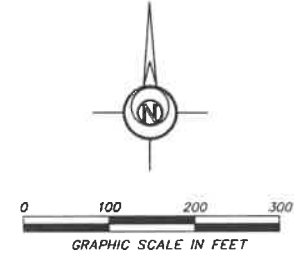
**C1.1**  
 Preliminary Plat



MATCH LINE C1.1/C1.2



MATCH LINE C1.2/C1.3



- LEGEND:**
- 908 Existing Contours
  - Existing Storm Sewer
  - Existing Spot Elevation
  - Existing Storm Sewer
  - Existing Sanitary Sewer
  - Existing Watermain Sewer
  - Existing Underground Telephone
  - Existing Underground Electric
  - Existing Tree Line
  - Existing R/W Line
  - Existing Easement
  - Existing Boundary Line
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  - Existing Manhole
  - Existing Hydrant
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  - Proposed Street R/W
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  - Delineated Wetland by Kjalhaug Environmental Services March 16, 2021
  - Proposed Septic Field
  - Proposed Wetland Buffer
  - Proposed Wetland Buffer Sign

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 jason@palmby.com

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 RESIDENTIAL DEVELOPMENT PROJECT  
 CITY OF GRANT  
 WASHINGTON COUNTY, MN  
 PRELIMINARY PLAT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Date: 09/22/22 Reg. No. 24348  
 PREPARED BY: CIVIL ENGINEERING SITE DESIGN  
 118 East Broadway St.  
 PO Box 566  
 Monticello, MN 56124  
 Phone: 763-314-0025  
 www.chivhead.com

REVISIONS

NO.	DATE	DESCRIPTION
1	09/22/22	98/14/22 STORM WATER DESIGN MODIFICATIONS
2	09/22/22	LOT LAYOUT

HORIZONTAL SCALE 1 inch = 100 feet  
 VERTICAL SCALE 1 inch = 5 feet

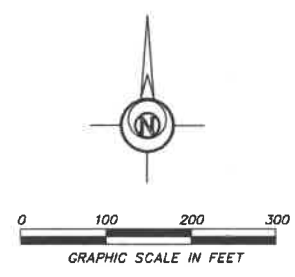
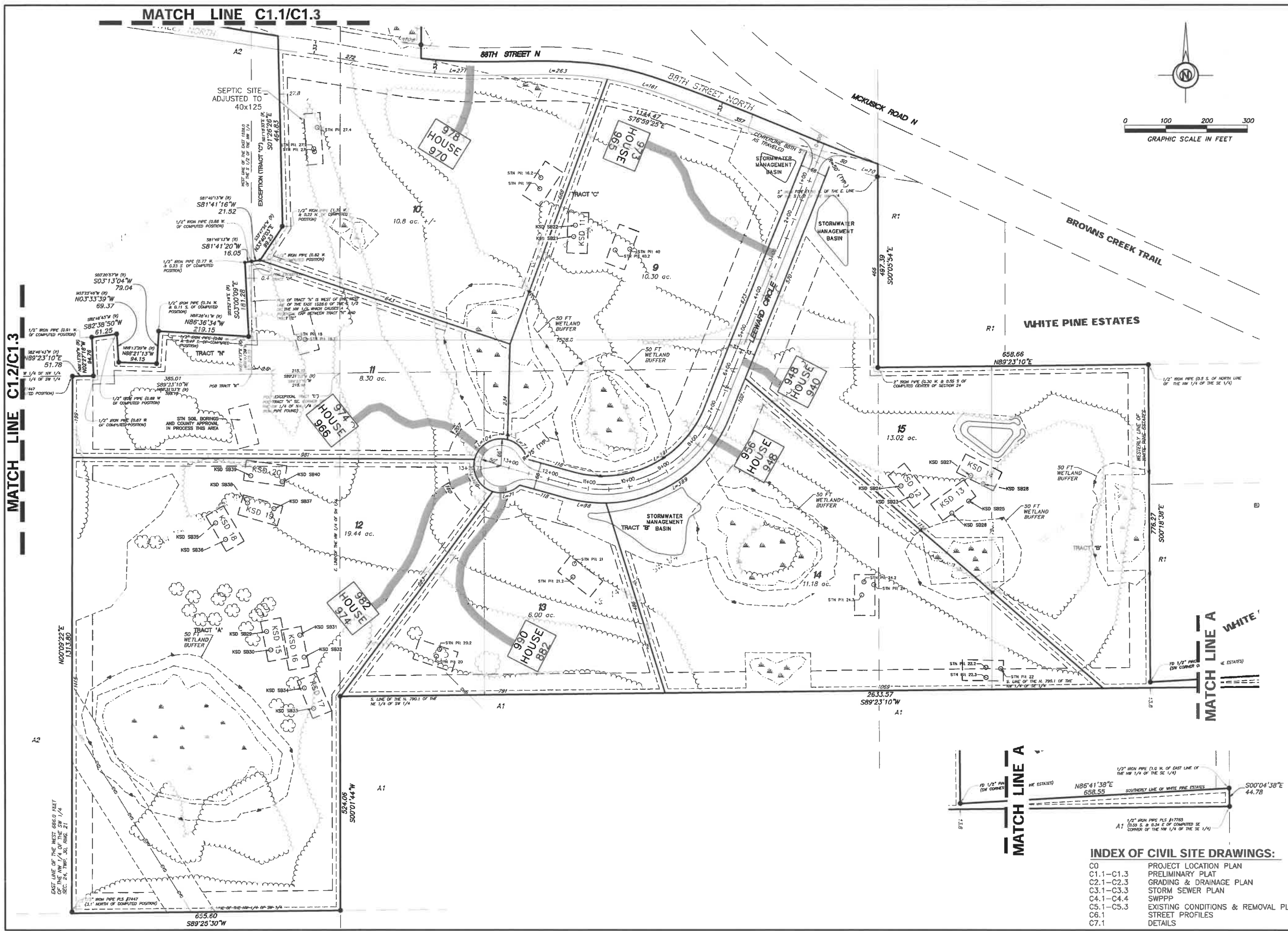
DATE 07/28/22

DATE	DRAWN BY	DESIGNED BY	CHECKED BY
07/28/22	SD	SD	SD

FILE NO. 00835

- INDEX OF CIVIL SITE DRAWINGS:**
- C0 PROJECT LOCATION PLAN
  - C1.1-C1.3 PRELIMINARY PLAT
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  - C3.1-C3.3 STORM SEWER PLAN
  - C4.1-C4.4 SWPPP
  - C5.1-C5.3 EXISTING CONDITIONS & REMOVAL PLAN
  - C6.1 STREET PROFILES
  - C7.1 DETAILS

**C1.2**  
 Preliminary Plat



OWNER:  
**FAIRWAY ESTATES  
 OF GRANT, LLC**

Jason Palmby  
 612-220-6641  
 jason@palmby.com

**STILLWATER OAKS**  
 RESIDENTIAL DEVELOPMENT PROJECT  
 CITY OF GRANT  
 WASHINGTON COUNTY, MN  
**PRELIMINARY PLAT**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Sarah Dahl*  
 Date: 09/22/22 Reg. No. 24348  
 PREPARED BY: CIVIL ENGINEERING  
 SITE DESIGN  
 118 East Broadway St.  
 Minneapolis, MN 55402  
 Phone: 763-314-0929  
 www.civiland.com

REVISIONS				
08/24/22	STORM WATER DESIGN MODIFICATIONS			
09/22/22	LOT LAYOUT			
DATE	DESCRIPTION	BY	SD	SCALE
07/28/22				
DRAWN BY	SD	DESIGNED BY	SD	HORIZONTAL SCALE
				1 inch = 20 feet
				VERTICAL SCALE
				1 inch = 10 feet

DATE	07/28/22
DRAWN BY	SD
DESIGNED BY	SD
CHECKED BY	SD

FILE NO. 00835

**C1.3**  
 Preliminary Plat

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  - C7.1 DETAILS

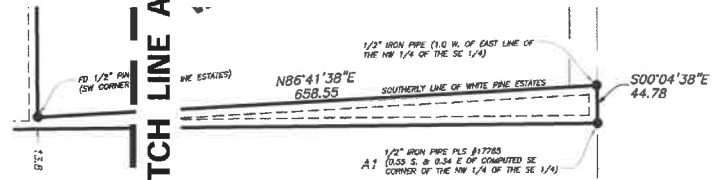
MATCH LINE C1.2/C1.3

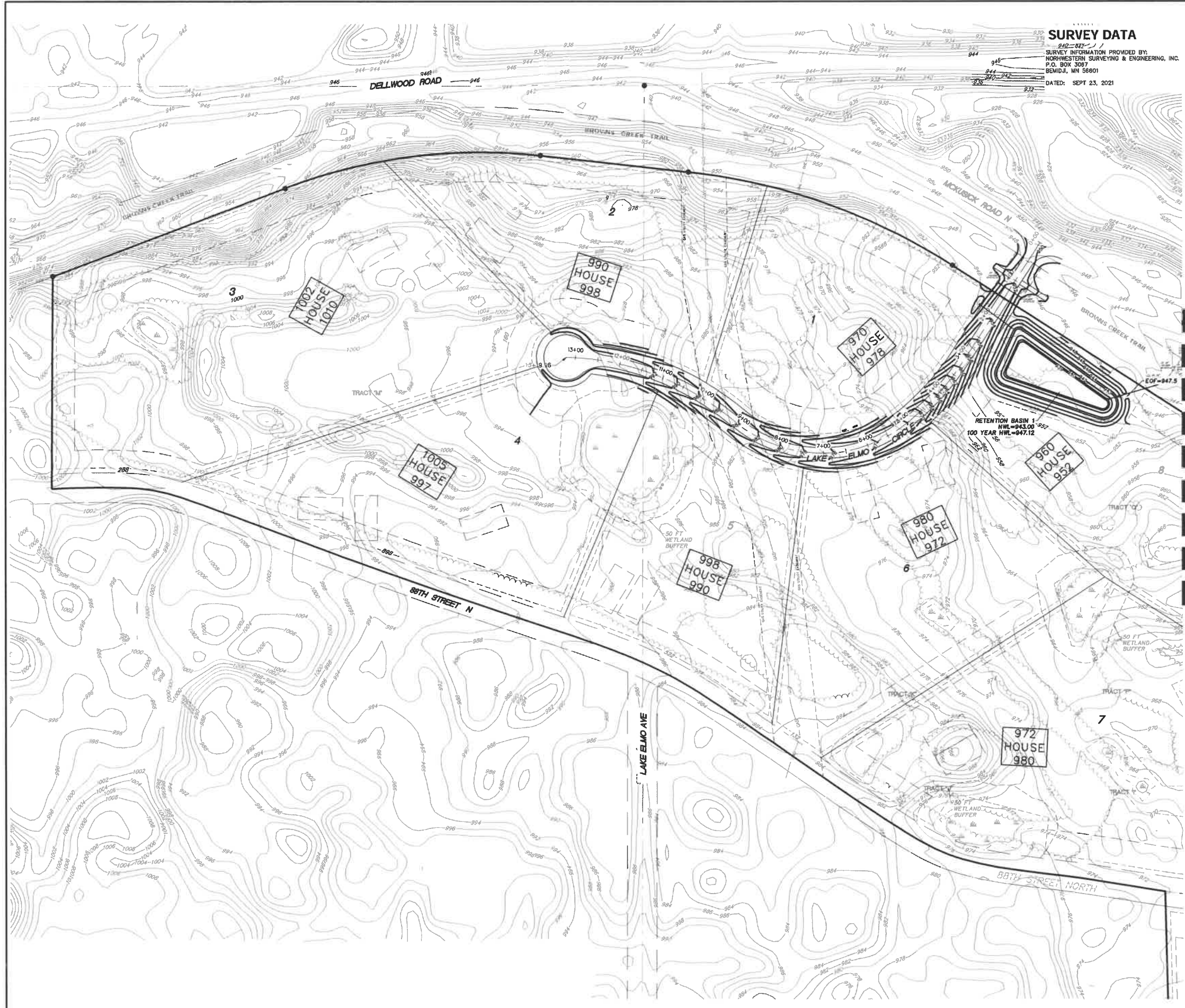
MATCH LINE C1.1/C1.3

MATCH LINE A

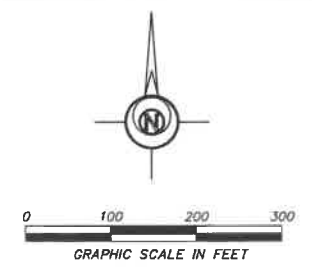
MATCH LINE A

EAST LINE OF THE WEST 686.0 FEET OF THE SE 1/4 OF SEC. 18, T14N, R10E, SD.





**SURVEY DATA**  
 810-812-1111  
 SURVEY INFORMATION PROVIDED BY:  
 NORTHWESTERN SURVEYING & ENGINEERING, INC.  
 P.O. BOX 3087  
 BEMIDJI, MN 56601  
 DATED: SEPT 23, 2021



- LEGEND:**
- Existing Contours
  - Existing Delineated Wetland  
XXX Environmental, PLLC
  - Existing Storm Sewer
  - Existing Spot Elevation
  - 908 Proposed Contours
  - Proposed Storm Sewer
  - x 943.50 Proposed Spot Elevation
  - 1.9% Flow Direction
  - Proposed Storm Sewer Inlet Protection

- GENERAL GRADING NOTES:**
- Specifications applicable for this project: Current standard specifications for City of Grant, MN, and the latest Minnesota Department of Transportation Specifications for Highway Construction and all NPDES requirements except where modified by these contract documents.
  - OSHA requirements shall be followed for all work on this project.
  - The Contractor shall notify "Gopher State One Call" 48 hours prior to any excavation (1-800-252-1166.)
  - The Grading Contractor shall verify all locations and elevations of underground utilities with utility companies prior to any construction, and immediately notify the Engineer of any conflicts.
  - Erosion Control shall be constructed, as applicable, as sequenced below:
    - A. Silt Fence.
    - B. Rock Construction Entrance.
    - C. Demolition
    - D. Common excavation (grading).
    - E. Seed and mulch or sod (See notes on Landscape plan).
  - Final Plat shall govern for easements and lot dimensions.
  - Any erosion control items necessary to protect adjacent properties shall be constructed by the Grading Contractor.
  - Erosion control maintenance shall be performed by the Grading Contractor, and removed as per the Contract Documents or as directed by the Engineer, followed by all necessary restoration of disturbed area. This work shall be incidental to the grading contract.
  - The Grading Contractor shall schedule the soils engineer to facilitate certification of all controlled fills in a timely fashion. Density tests shall meet the following:
    - A. Within the upper 3' of streets, the Grading Contractor shall utilize approved soils that are within 1% of the optimum moisture content as defined by the Standard Proctor Test-ASTM: D-698 with compaction meeting 100% Standard Proctor Density and not exceeding this compaction by more than 1%. Below the upper 3', compaction shall meet 95% Standard Proctor Density, and be within 3% of the optimum moisture content. Grading tolerances shall be 0.1'.
    - B. Grading tolerances for the remainder of the site shall be 0.25'.
  - All areas of unsuitable soils found in the pad described above that cannot be corrected shall be located in the field by the Grading Contractor. The Grading Contractor shall immediately notify the Engineer of these areas and provide information as to their size and location.
  - The Grading contractor shall provide positive drainage on the site at all times.
  - The Grading Contractor shall keep public streets and travel ways clear of soil and debris. Daily cleaning at the construction entrance shall be performed, especially at the end of each day's work.
  - All silt fence shall be removed at project completion.
  - All erosion control best management practices shall be per City standards.

**TYPICAL HOUSE PADS**

929.7	SUGGESTED GARAGE FLOOR ELEVATION
FWO	SUGGESTED BUILDING TYPE
921.7	LOWEST OPENING ELEVATION

FB = FULL BASEMENT  
 FBLO = FULL BASEMENT LOOKOUT  
 FWO = FULL BASEMENT WALKOUT  
 MLWO = MULTI-LEVEL WALKOUT

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**OWNER:**  
 FAIRWAY ESTATES  
 OF GRANT, LLC

Jason Palmby  
 612-220-6641  
 jason@palmby.com

**STILLWATER OAKS**  
 RESIDENTIAL DEVELOPMENT PROJECT  
 CITY OF GRANT  
 WASHINGTON COUNTY, MN  
 GRADING & DRAINAGE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 09/22/22 Reg. No. 21348  
 PREPARED BY: CIVIL ENGINEERING  
 SITE DESIGN  
 118 East Broadway St.  
 PO Box 566  
 Mankato, MN 56001  
 Phone: 763-314-0829  
 www.civilfeed.com

REVISIONS

NO.	DATE	DESCRIPTION
01	09/14/22	STORM WATER DESIGN MODIFICATIONS
02	09/22/22	LOT LAYOUT

DATE: 07/28/22  
 DRAWN BY: SD  
 DESIGNED BY: SD  
 CHECKED BY: SD

HORIZONTAL SCALE: 1 inch = 30 feet  
 VERTICAL SCALE: 1 inch = 10 feet

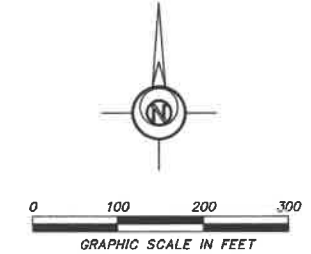
FILE NO. 00835

**C2.1**  
 Grading & Drainage Plan

MATCH LINE C2.1/C2.2



MATCH LINE C2.2/C2.3



- LEGEND:**
- Existing Contours
  - Existing Delineated Wetland
  - Existing Storm Sewer
  - Existing Spot Elevation
  - Proposed Contours
  - Proposed Storm Sewer
  - × 943.50 Proposed Spot Elevation
  - 1.9% Flow Direction
  - Proposed Storm Sewer Inlet Protection

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C4.1-C4.4	SWPPP
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C7.1	DETAILS

OWNER:  
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 Jason Palmby  
 612-220-6641  
 jason@palmby.com

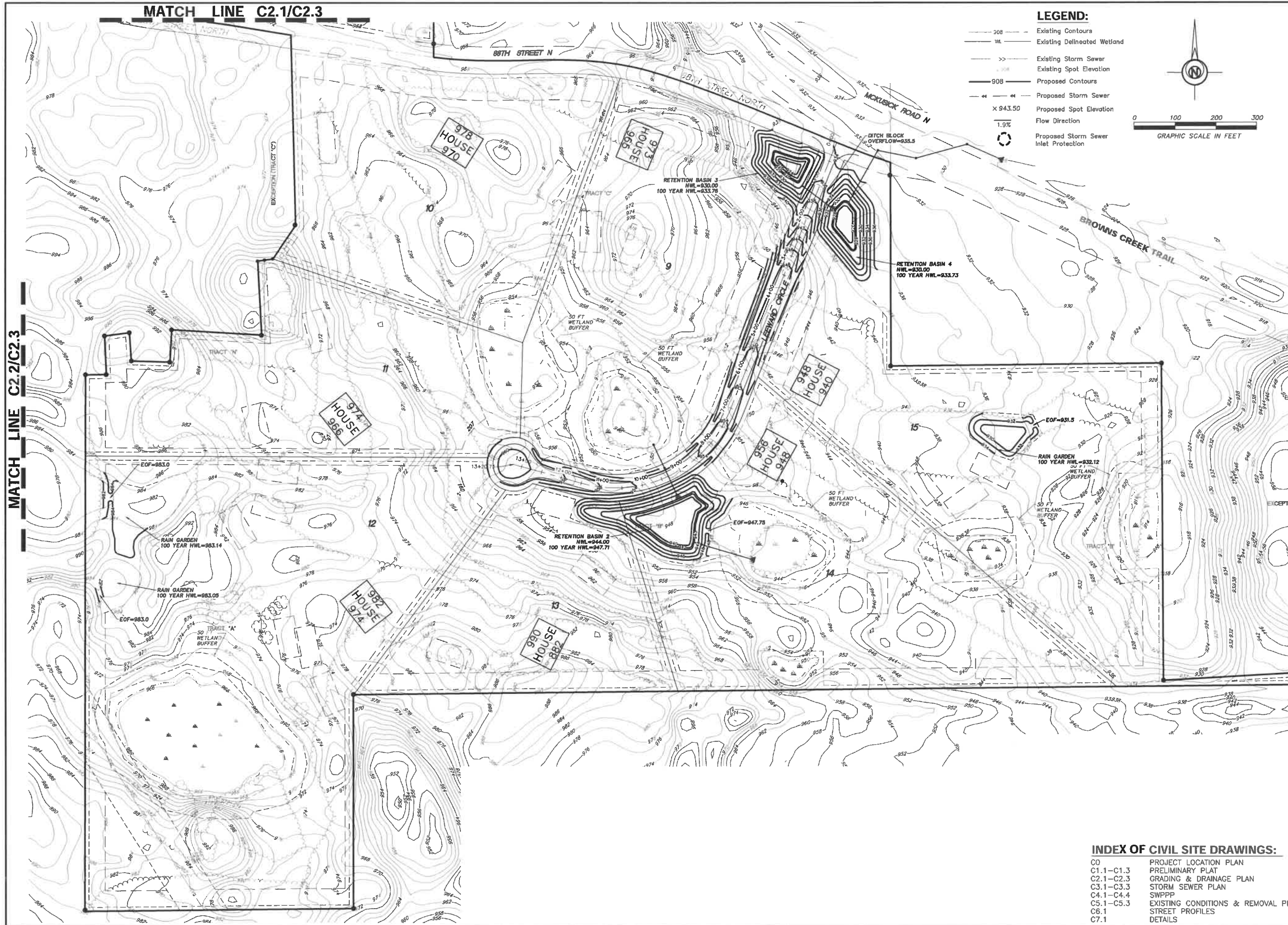
**STILLWATER OAKS**  
 RESIDENTIAL DEVELOPMENT PROJECT  
 CITY OF GRANT  
 WASHINGTON COUNTY, MN  
 GRADING & DRAINAGE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
*Scott A. ...*  
 Date: 09/22/22 Reg. No. 24348  
 PREPARED BY: CIVIL ENGINEERING SITE DESIGN  
 118 East Broadway St.  
 Monticello, MN 55362  
 Phone: 763-374-0229  
 www.civildesign.com

REVISIONS		VERTICAL SCALE 1 inch = _____ feet
DATE	DESCRIPTION	
07/28/22	SD	HORIZONTAL SCALE 1 inch = _____ feet (SEE SHEET C2.1)
DRAWN BY	SD	
DESIGNED BY	SD	
CHECKED BY	SD	

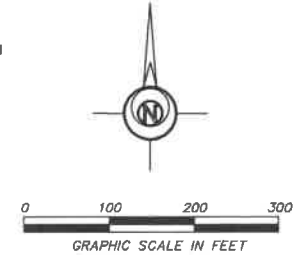
FILE NO. 00835

**C2.2**  
 Grading & Drainage Plan



**LEGEND:**

- Existing Contours
- Existing Delineated Wetland
- Existing Storm Sewer
- Existing Spot Elevation
- Proposed Contours
- Proposed Storm Sewer
- X 943.50 Proposed Spot Elevation
- 1.9% Flow Direction
- Proposed Storm Sewer Inlet Protection



OWNER:  
**FAIRWAY ESTATES  
 OF GRANT, LLC**  
 Jason Palmby  
 612-220-6641  
 jason@palmby.com

**STILLWATER OAKS**  
 RESIDENTIAL DEVELOPMENT PROJECT  
 CITY OF GRANT  
 WASHINGTON COUNTY, MN  
**GRADING & DRAINAGE PLAN**

MATCH LINE C2.2/C2.3

MATCH LINE C2.1/C2.3

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.  
*Sor Dahl*

Date: 09/22/22 Rep. No. 2-3348  
 PREPARED BY: CIVIL ENGINEERING  
 SITE DESIGN  
 118 East Broadway St.  
 PO Box 566482  
 Minneapolis, MN 55456  
 Phone: 763-314-0929  
 www.civiland.com

REVISIONS	DATE	BY	DESCRIPTION
09/14/22	SD	SD	STORM WATER DESIGN MODIFICATIONS
09/22/22	SD	SD	LOT LAYOUT
HORIZONTAL SCALE			feet
1 inch =			feet
VERTICAL SCALE			feet
1 inch =			feet

DATE	07/28/22
DRAWN BY	SD
DESIGNED BY	SD
CHECKED BY	SD

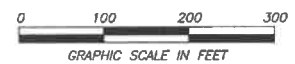
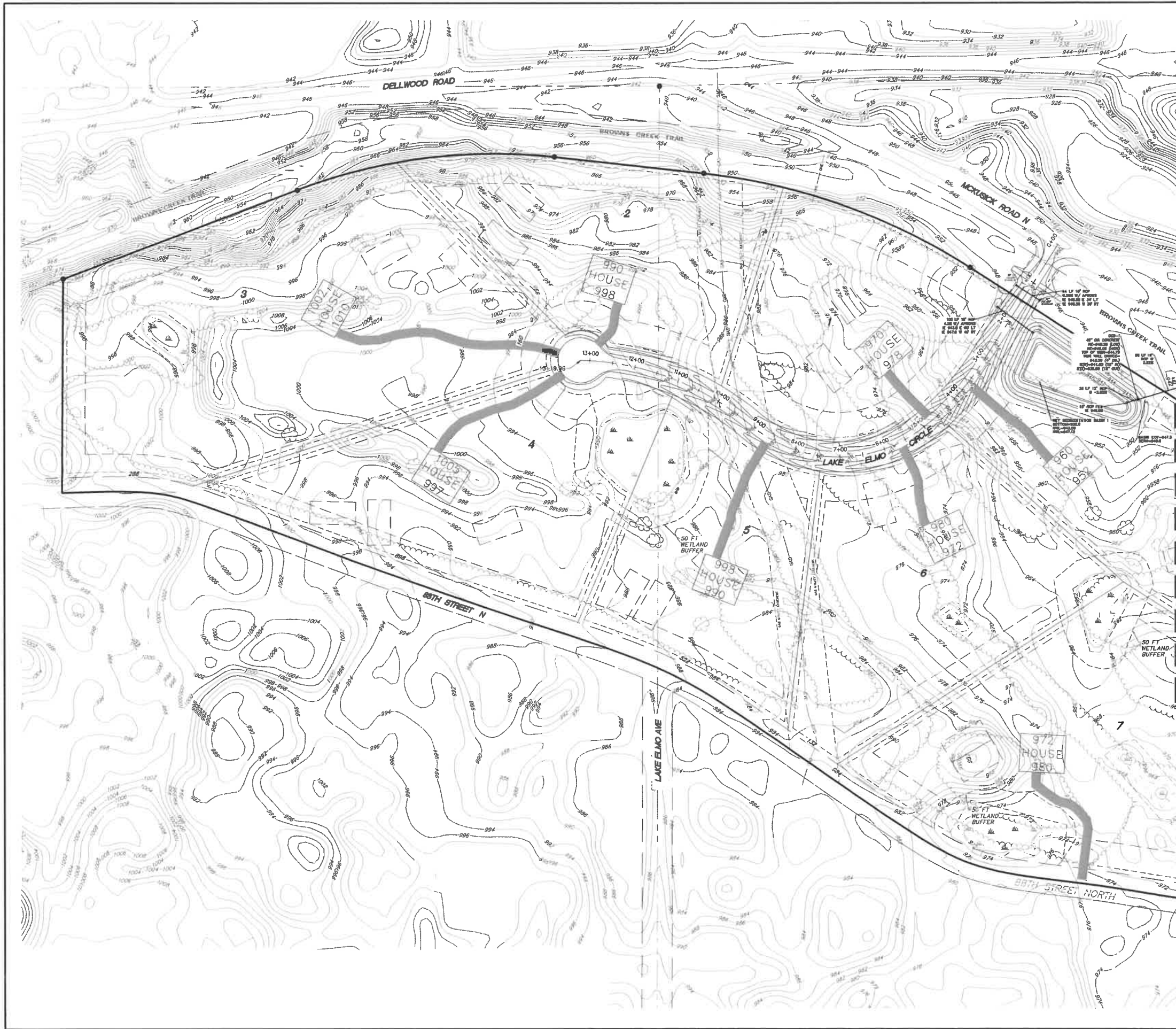
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**C2.3**

Grading & Drainage Plan



**LEGEND:**

	Existing Contours
	Existing Storm Sewer
	Existing Sanitary Sewer
	Existing Trees
	Existing Bndy Line
	Proposed Sanitary Sewer
	Proposed Water Main
	Proposed Gate Valve
	Proposed Storm Sewer

**SURVEY DATA**  
 SURVEY INFORMATION PROVIDED BY:  
 NORTHWESTERN SURVEYING & ENGINEERING, INC.  
 P.O. BOX 5057  
 BEMIDJ, MN 56601  
 DATED: SEPT 23, 2021

MATCH LINE C3.1/C3.2

- GENERAL UTILITY NOTES**
- SPECIFICATIONS APPLICABLE FOR THIS PROJECT: CURRENT STANDARD SPECIFICATIONS FOR THE CITY OF OTSEGO AND THE LATEST VERSION OF THE STANDARD UTILITY SPECIFICATIONS BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
  - OSHA REQUIREMENTS SHALL BE FOLLOWED FOR ALL WORK ON THIS PROJECT.
  - THE CONTRACTOR SHALL NOTIFY GOPHER STATE ONE CALL 48 HOURS PRIOR TO ANY EXCAVATION.
  - THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
  - THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND FACILITIES TO ALLOW PROPER FUNCTIONING DURING AND AFTER CONSTRUCTION. ANY REQUIRED SUPPORTING STRUCTURES SHALL BE SUPPLIED BY THE CONTRACTOR AS WORK INCIDENTAL TO THE CONTRACT.
  - THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS BETWEEN EXISTING UTILITIES AND THE PROPOSED CONSTRUCTION. THE ENGINEER WILL COORDINATE WITH THE UTILITY COMPANY IN QUESTION TO DETERMINE THE NEED FOR RELOCATION OF THE EXISTING UTILITY.
  - EXISTING CONDITIONS SUCH AS SAND IN MANHOLES OR VALVE BOXES SHALL BE IDENTIFIED BY THE CONTRACTOR AND THESE SHALL BE REPORTED TO THE ENGINEER PRIOR TO EXCAVATION BY THE CONTRACTOR. ONCE CONSTRUCTION HAS BEGUN, ALL DAMAGE TO UNDERGROUND UTILITIES WILL BE ASSUMED TO HAVE BEEN CAUSED BY THE CONTRACTOR. ANY REPAIRS NECESSARY SHALL BE PERFORMED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
  - FINAL PLAT SHALL COVER FOR EASEMENTS AND LOT LINES.
  - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND PROJECT ENGINEER 48 HOURS PRIOR TO STARTING WORK OR AS REQUIRED BY THE LOCAL JURISDICTION OR BE SUBJECT TO BEING SHUT DOWN.
  - THE CONTRACTOR SHALL PRESERVE AND PROTECT THE MARKERS AND MONUMENTS SET FOR THE SUBDIVISION OF THE LAND.
  - THE CONTRACTOR SHALL SCHEDULE THE SOILS ENGINEER TO FACILITATE CERTIFICATION OF ALL CONTROLLED FILLS IN A TIMELY MANNER. DENSITY TESTS SHALL MEET THE FOLLOWING:
    - WITHIN THE UPPER 3" OF STREETS OR PAVEMENT, THE GRADING CONTRACTOR SHALL UTILIZE APPROVED SOILS THAT ARE WITHIN 1% OF THE OPTIMUM MOISTURE CONTENT AS DEFINED BY ASTM D-698 STANDARD PROCTOR TEST MEETING 100% STANDARD PROCTOR DENSITY AND NOT EXCEEDING THIS COMPACTION BY MORE THAN 1% BELOW THE UPPER 3". COMPACTION SHALL MEET 95% STANDARD PROCTOR DENSITY AND BE WITHIN 3% OF THE OPTIMUM MOISTURE CONTENT. GRADING TOLERANCES SHALL AVERAGE 0.1', BUT SHALL NOT BE CONSISTENTLY HIGH OR LOW.
    - GRADING TOLERANCES FOR THE REMAINDER OF THE SITE SHALL BE 0.15'.
  - THE OWNER SHALL PAY FOR ALL TESTING OF SOILS COMPACTION. ANY AREAS WHICH FAIL TO MEET THE ABOVE STANDARDS SHALL BE CORRECTED AND RE-TESTED BY THE OWNER'S TESTING AGENCY AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR SHALL PROVIDE TEMPORARY TRAFFIC CONTROL AS NEEDED IN COMPLIANCE WITH MnDOT TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS FIELD MANUAL (CURRENT VERSION) FOR CONSTRUCTION ADJACENT TO TRAVEL WAYS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF THE DEPTH OF EXISTING UTILITIES LISTED ON THIS PLAN PRIOR TO ORDERING OF ANY FITTINGS, STRUCTURES, CASTINGS, ETC. ENGINEER AND OWNER SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES FOUND AS DEPTHS ARE ESTIMATED.
  - CONTRACTOR TO COMPLY WITH ALL REGULATORY AGENCY PERMIT CONDITIONS FOR PERMITS OBTAINED BY THE OWNER AND FOR PERMITS OBTAINED BY THE GENERAL CONTRACTOR.
  - ALL WORK PERFORMED AND MATERIALS USED FOR CONSTRUCTION OF UTILITIES MUST CONFORM TO THE CITY OF OTSEGO STANDARD SPECIFICATIONS AND DETAILS.

**INDEX OF CIVIL SITE DRAWINGS:**

C0	PROJECT LOCATION PLAN
C1.1-C1.3	PRELIMINARY PLAT
C2.1-C2.3	GRADING & DRAINAGE PLAN
C3.1-C3.3	STORM SEWER PLAN
C4.1-C4.4	SWPPP
C5.1-C5.3	EXISTING CONDITIONS & REMOVAL PLAN
C6.1	STREET PROFILES
C7.1	DETAILS

OWNER:  
**FAIRWAY ESTATES OF GRANT, LLC**  
 Jason Palmby  
 612-220-6641  
 jason@palmby.com

**STILLWATER OAKS**  
 RESIDENTIAL DEVELOPMENT PROJECT  
 CITY OF GRANT  
 WASHINGTON COUNTY, MN  
**STORM SEWER PLAN**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Date: 09/22/22 Reg. No. 24348  
 PREPARED BY: CIVIL ENGINEERING SITE DESIGN  
 118 East Broadway St.  
 PO Box 266  
 Moorhead, MN 58201  
 Phone: 763-514-0229  
 www.civiland.com

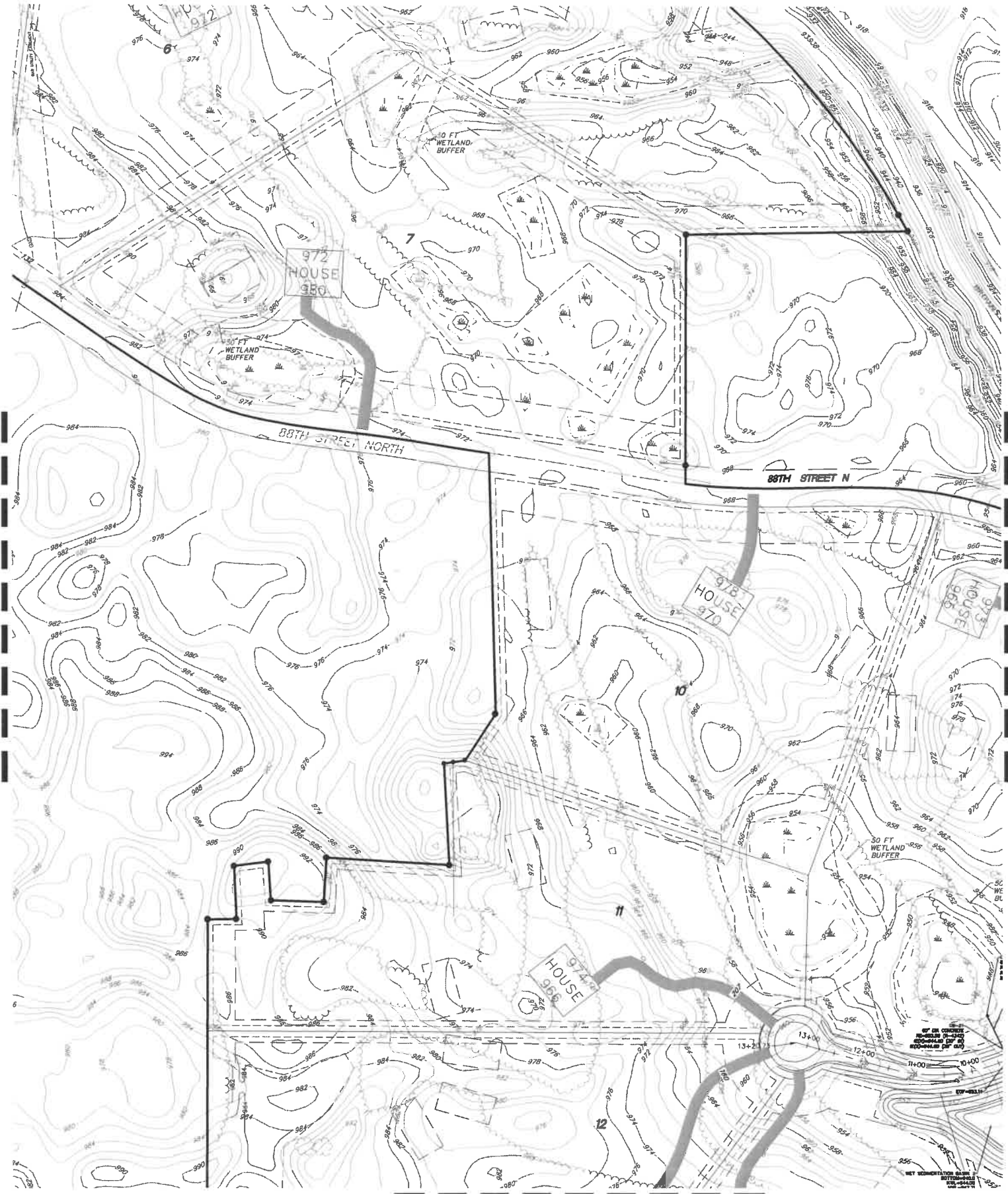
REVISIONS: 02/14/22 STORM WATER DESIGN MODIFICATIONS 02/22/22 LOT LAYOUT	DATE 07/26/22	DRAWN BY SD	DESIGNED BY SD	CHECKED BY SD	VERTICAL SCALE 1 inch = 10 feet
					HORIZONTAL SCALE 1 inch = 100 feet (SEE SHEET C3.1)

FILE NO. 00835

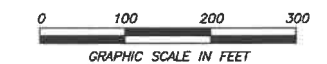
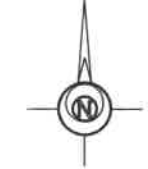
**C3.1**  
 Storm Sewer Plan



MATCH LINE C3.1/C3.2



MATCH LINE C3.2/C3.3



- LEGEND:**
- Existing Contours
  - Existing Storm Sewer
  - Existing Water Main
  - Existing Sanitary Sewer
  - Existing Trees
  - Existing Bndy Line
  - Proposed Sanitary Sewer
  - Proposed Water Main
  - Proposed Gate Valve
  - Proposed Storm Sewer
  - Proposed Fire Hydrant

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C5.1-C5.3	EXISTING CONDITIONS & REMOVAL PLAN
C6.1	STREET PROFILES
C7.1	DETAILS

OWNER:  
**FAIRWAY ESTATES OF GRANT, LLC**  
 Jason Palmby  
 612-220-6641  
 jason@palmby.com

**STILLWATER OAKS**  
**RESIDENTIAL DEVELOPMENT PROJECT**  
 CITY OF GRANT  
 WASHINGTON COUNTY, MN  
**STORM SEWER PLAN**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
*Scott Dahl*  
 Date: 09/22/22 Reg. No. 24348  
 PREPARED BY: **CIVIL ENGINEERING SITE DESIGN**  
 118 East Broadway St.  
 PO Box 566  
 Mankato, MN 56001  
 Phone: 763-934-0828  
 www.civillead.com

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	08/14/22	STORM WATER DESIGN MODIFICATIONS
2	08/22/22	LOT LAYOUT

**HORIZONTAL SCALE**  
 1 inch = 10 feet  
PULL SHEET TO 1/8"

**VERTICAL SCALE**  
 1 inch = 10 feet

<b>DATE</b> 07/28/22	<b>DRAWN BY</b> SD	<b>DESIGNED BY</b> SD	<b>CHECKED BY</b> SD
----------------------	--------------------	-----------------------	----------------------

FILE NO. 00835

**C3.2**  
 Storm Sewer Plan



OWNER:  
**FAIRWAY ESTATES OF GRANT, LLC**  
 Jason Palmby  
 612-220-6641  
 jason@palmby.com

**STILLWATER OAKS**  
 RESIDENTIAL DEVELOPMENT PROJECT  
 CITY OF GRANT  
 WASHINGTON COUNTY, MN  
**STORM SEWER PLAN**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Date: 09/22/22 Reg. No. 24348  
 PREPARED BY: CIVIL ENGINEERING SITE DESIGN  
 118 East Broadway St.  
 Monticello, MN 55662  
 Phone: 753-374-0829  
 www.civildesign.com

REVISIONS		VERTICAL SCALE	
09/14/22 STORM WATER DESIGN MODIFICATIONS		1 inch = _____ feet	
09/22/22 LOT LAYOUT		1 inch = _____ feet	
DATE 07/28/22	DRAWN BY SD	HORIZONTAL SCALE	VERTICAL SCALE
	DESIGNED BY SD	1 inch = _____ feet	1 inch = _____ feet
	CHECKED BY SD	(SEE SHEET 23.1-24)	

FILE NO. 00835

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C4.1-C4.4	SWPPP
C5.1-C5.3	EXISTING CONDITIONS & REMOVAL PLAN
C6.1	STREET PROFILES
C7.1	DETAILS

**C3.3**  
 Storm Sewer Plan

**SWPPP NARRATIVE**

This residential site project construction will consist of site clearing, grading, utilities, and streets. Construction is planned for 2022.

First, perimeter silt fence and rock construction entrance shall be installed. Then site work shall commence. The contractor shall dispose of debris off-site within 24 hours. Then the site can be graded, utilities installed, including gas, electric, and communication utilities, buildings constructed, curbing and pavements installed, final grade tolerance, and landscape final stabilization. Once final grade is established and certified, the site shall be stabilized with seed and mulch or sod. Once vegetation is established, temporary erosion control measures shall be removed.

**POLLUTION PREVENTION NOTES**

Solid waste: collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction debris and other wastes must be disposed of properly off-site and must comply with MPCA requirements.

Hazardous materials: oil, gasoline, paint, and any hazardous substance must be properly stored, including secondary containment, to prevent spills, leaks or other discharges. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal must be in compliance with MPCA regulations.

External washing of trucks or other construction vehicles is not allowed on site. No engine degreasing is allowed on site. No concrete washouts are allowed on site.

Concrete truck washout is not to be allowed on site unless washout water is contained with no discharge to ground surface or site drainage facilities. Containment systems are to be located a minimum 50 feet away from drainage facilities and watercourses. Containment systems shall have an impermeable liner. Containment system shall be clearly marked with signage.

All sanitary waste must be collected from portable toilet units on site by a licensed waste management contractor. The units must be secured and shall be maintained on a regular basis as needed to prevent overflowing.

**DESIGN CALCULATIONS**

Design calculations, including soil types are on file with: Civil Engineering Site Design

SWPPP Design: Scott Dahlke (Expires 2022)

**EROSION CONTROL NOTES**

- All devices necessary to control erosion and sediment (i.e. perimeter silt fence, rock construction entrances, awales, ponds, berms, etc.) shall be installed prior to any other construction operations.
- After completion of final grading, exposed soils must be permanently stabilized within 7 days. Stabilization shall consist of disc-anchored seed & mulch, HEDP with fiber reinforced matrix, erosion blanket with seed, or sod. The contractor shall be responsible for temporary ditches, or other means necessary to ensure proper drainage. The building pad must be provided with a positive outflow. This work shall be incidental to the grading contract.
- Entering/exiting of the site shall occur only at rock construction entrance to reduce tracking of dirt onto paved streets. Sediment tracked onto streets during working hours must be reclaimed via street sweeping and sweeping at the end of each working day.
- Stormwater discharge pipe outlet energy dissipation shall be provided by rip-rap with size, quantity, and placement in accordance with City standards. Rip-rap installation shall be within 24 hours of pipe installation.
- Install silt fence around all temporary inactive slopes which are not place within existing silt fence area or other perimeter erosion control.
- Stabilization of temporary or permanent drainage ditches that drain water from the construction site must be initiated within 24 hours of connecting the drainage ditch to any storm water conveyance system and must be completed using erosion blanket.
- Sufficient personnel, equipment, and materials shall be mobilized within 24 hours of written order (i.e. email) by the owner or owners representative to conduct corrective work and install temporary erosion control work in the case of an emergency.

**RESPONSIBLE PARTY**

Contact information for the responsible party for erosion control is:

Owner: Jason Palmby  
PO Box 302  
Excelsior, MN 55331  
612-220-6641

Contractor: To be Determined

Message: To be Determined

**EROSION CONTROL INSTALLATION SCHEDULE**

- Silt fence shall be installed or restored prior to any construction. Silt fence shall be located as shown to intercept runoff. The area located beyond the perimeter silt fence shall not be disturbed during construction.
- Rock Construction Entrance shall be installed prior to grading operations.
- All storm sewer inlets shall have inlet protection inserts installed. Inserts shall be "Road Roll-Top Silt" or "Road Drain-Curb & Gutter" inlet protection devices or manufactured by WIMCO (or approved equal) and installed per manufacturer's recommendations.
- All erosion control installations shall remain in place and be maintained in good condition by the contractor until the site has been re-vegetated, at which time it shall be removed by the contractor. For proposed paved surface areas, the contractor may remove necessary silt fencing to construct roadway, while maintaining adequate erosion control in adjacent areas.
- Sufficient topsoil shall be stockpiled to allow for the replacement of 6" topsoil for disturbed areas to be re-vegetated.
- The contractor shall schedule site grading, utility installation and roadway construction so that the general site can be mulched and re-seeded soon after disturbance. Areas that will not be subject to construction traffic for 14 days shall be seeded and mulched or sodded within 7 days of final grading.

**EROSION CONTROL MAINTENANCE SCHEDULE**

- Erosion control measures shall be inspected by the contractor's representative and maintained by the contractor every Friday and within 24 hours after any rainfall event larger than 1/2" until the project is completed. Maintenance requirements are as follows: silt fence - 1/3 height of fence or damaged, remove sediment and/or repair fence within 24 hours; rock entrance - refresh as necessary to conform to detail; inlet protection inserts - remove sediment after each rain event, clean or replace filter when clogged; surface water - drain and stabilize, within 7 days of discovery and street sweeping - remove all sediment tracked onto paved surfaces within 24 hours or as directed by City Engineer.
- Replacement - Fabric shall be replaced promptly when it decomposes or becomes ineffective before the barrier is no longer necessary.
- Any sediment remaining in place after silt fence is no longer required shall be dressed to conform with the existing grade, prepared, and seeded with appropriate seed mix, as directed by the engineer.
- Removal of the silt fence- Silt fences shall be removed when they have served their useful purpose, but not before the upward sloping area has been permanently stabilized.

**VEGETATION GROUND COVER SCHEDULE**

- Stabilization of all exposed soil areas must be initiated immediately but in no case completed later than seven (7) days after the construction activity in that portion of the site has temporarily or permanently ceased. Seeding and mulching shall conform to the latest NPDES requirements for installation schedule with regards to grading.
- Permanent turf ground cover shall include all disturbed areas to be covered with a minimum 6" topsoil. Turf seed to be MnDOT mix 25-141 applied at 50 lbs/ac with MnDOT Type 3 mulch to be applied at 2 tons/ac and disc anchored in areas not covered by sod or erosion blanket.
- Temporary ground cover to be MnDOT seed mix 22-111 shall be applied at 31 lbs/ac, or equivalent as approved by City. MnDOT Type 1 mulch shall be applied at 2 tons/ac and disc anchored in areas not covered by sod or erosion blanket.
- Fertilizer for turf shall be MnDOT Type 3 22-5-10 and applied at 300 lb/ac. Disc fertilizer into top 3" of soil. Fertilizer Specification reference is MnDOT 2574.
- Dormant seed mix shall be used after November 1 or when temperatures do not exceed 40°F, using same rates specified above. No seed shall be placed on snow or ice greater than 2" in depth.
- Any seeded areas that do not become established with vegetation shall be re-seeded at Contractor's expense.
- Erosion blanket shall be installed in seed areas with ground surface slopes of 4H:1V or steeper.

**FILTRATION BASIN NOTES**

- Filtration area shall be staked off during construction to restrict heavy equipment traffic from compacting native soils.
- Install appropriate temporary erosion control devices to prevent sediment from entering the practice during construction.
- Grading of the filtration basin shall be accomplished using low impact earth-moving equipment to prevent compaction of the underlying soils. Small tracked dozers and skid-steers with rubber tracks are recommended.
- In the event that sediment is introduced into the BMP during or immediately following excavation, this material will need to be removed from the basin prior to initiating the next step in the construction process.
- Install sediment control around basin after completion of basin grading.
- Seeding and installation of erosion control shall be completed within 48 hours of final grading of basin.



**BROWN CREEK, IMPAIRED WATER WITHIN 1 MILE RADIUS OF PROJECT**

**LOCATION OF SWPPP REQUIREMENTS IN PLANS**

DESCRIPTION	LOCATION
STANDARD BMP DETAILS	DETAILS ON SHEET C7.1
STORMWATER CALCULATIONS	STORM SEWER REPORT
SITE MAP	STORM SEWER REPORT
TEMPORARY SEDIMENT BASIN	GRADING PLAN SHEET C2.1-2.3
SOILS DATA	DETAIL ON SHEET xx
	GEOTECHNICAL REPORT

**EXISTING LEGAL DESCRIPTION**

SEE SURVEY

**SITE DATA:**

AREA OF PROJECT:	148.0 AC
PROPOSED NEW IMPERVIOUS AREA:	91,247 SF (2.10 AC)
PERCENT NEW IMPERVIOUS AREA: (91,247 SF / 6,844,880 SF)	1.4%
PERCENT TOTAL IMPERVIOUS AREA: (91,247 SF / 6,844,880 SF)	1.4%
AREA OF DISTURBANCE:	5.5 AC

**EROSION CONTROL QUANTITIES:**

ITEM:	QUANTITY	UNIT
ROCK ENTRANCE	2	EA
SILT FENCE	2,661	LF
INLET PROTECTION	8	EA
STRAW MULCH TYPE 3	3.0	AC
EROSION BLANKET CAT. 3	6,977	SY
6" FIBER LOG	2,157	LF

**SURVEY DATA**

SURVEY INFORMATION PROVIDED BY:  
NORTHWESTERN SURVEYING & ENGINEERING, INC.  
P.O. BOX 3067  
BEMIDJ, MN 56601  
DATED: SEPT 23, 2021

OWNER:  
**FAIRWAY ESTATES  
OF GRANT, LLC**

Jason Palmby  
612-220-6641  
jason@palmby.com

**STILLWATER OAKS**  
RESIDENTIAL DEVELOPMENT PROJECT  
CITY OF GRANT  
WASHINGTON COUNTY, MN

SWPPP

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Scott Dahlke  
Date: 09/22/22 Reg. No. 24348  
PREPARED BY: CIVIL ENGINEERING SITE DESIGN  
118 East Broadway St.  
Excelsior, MN 55331  
Phone: 763-374-0829  
www.civilsite.com

REVISIONS	DATE	BY	DESCRIPTION

DATE 07/26/22  
DRAWN BY SD  
DESIGNED BY SD  
CHECKED BY SD

HORIZONTAL SCALE  
1 inch = 100 feet  
VERTICAL SCALE  
1 inch = 10 feet

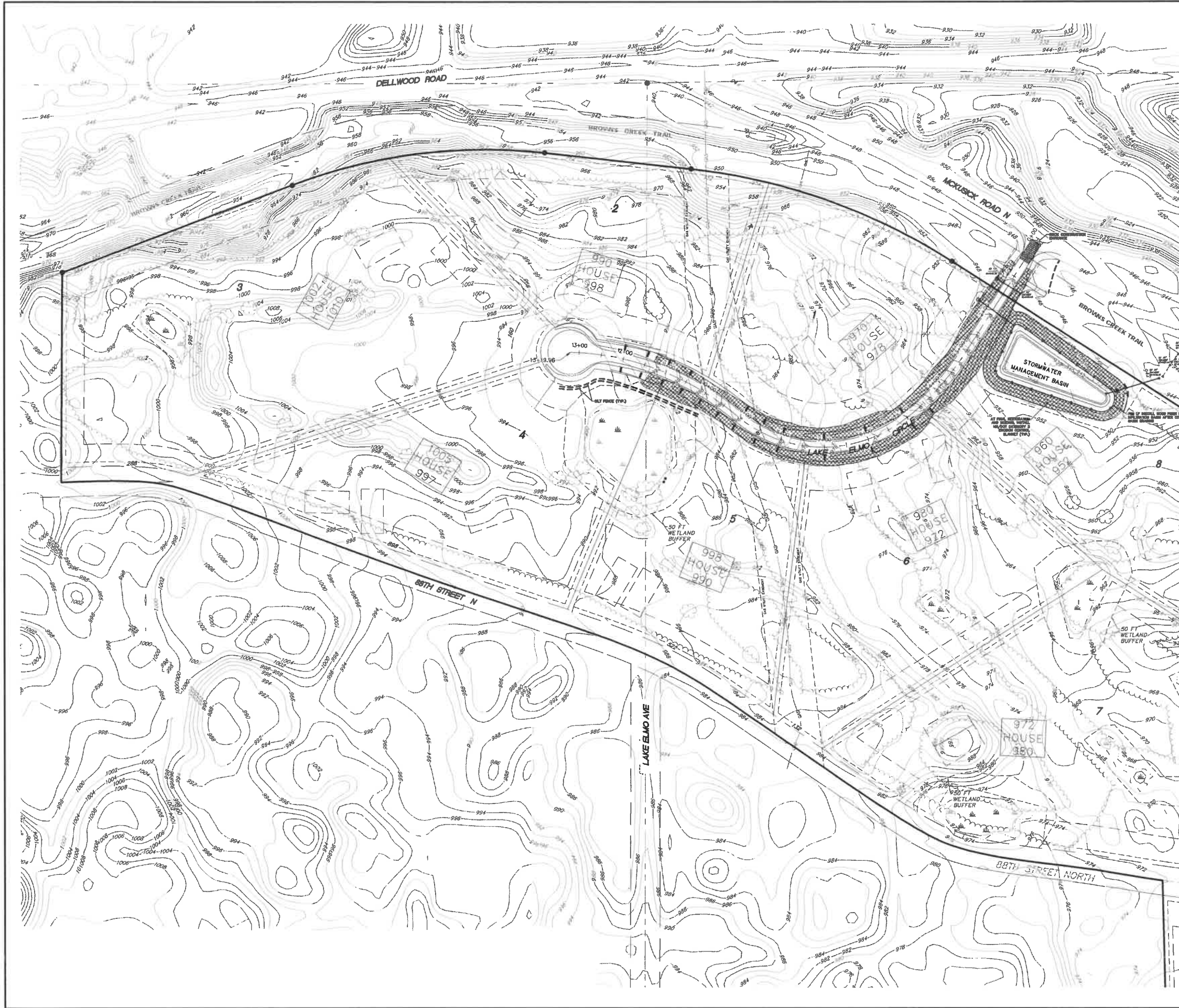
FILE NO. 00835

**INDEX OF CIVIL SITE DRAWINGS:**

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C3.1-C3.3	STORM SEWER PLAN
C4.1-C4.4	SWPPP
C5.1-C5.3	EXISTING CONDITIONS & REMOVAL PLAN
C6.1	STREET PROFILES
C7.1	DETAILS

**C4.1**

SWPPP



**LEGEND:**

- Existing Contours
- Existing Storm Sewer
- Proposed Contours
- Proposed Storm Sewer
- Proposed Silt Fence
- Proposed 10" Fiber Logs
- Proposed 8" Fiber Logs
- Proposed Storm Sewer Inlet Protection
- Flow Direction
- Proposed Erosion Blanket Cat. 3
- Wetland Impact Area

**MATCH LINE C4.2/C4.3**

**INDEX OF CIVIL SITE DRAWINGS:**

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- C3.1-C3.3 STORM SEWER PLAN
- C4.1-C4.4 SWPPP
- C5.1-C5.3 EXISTING CONDITIONS & REMOVAL PLAN
- C6.1 STREET PROFILES
- C7.1 DETAILS

OWNER:  
**FAIRWAY ESTATES  
 OF GRANT, LLC**  
 Jason Palmby  
 612-220-6641  
 jason@palmby.com

**STILLWATER OAKS  
 RESIDENTIAL DEVELOPMENT PROJECT**  
**CITY OF GRANT  
 WASHINGTON COUNTY, MN**

**SWPPP**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and the time of the State of Minnesota.  
*Scott Dahl*  
 Date: 09/22/22 Reg. No. 24348  
 PREPARED BY: **CIVIL ENGINEERING**  
 SITE DESIGN  
 118 East Broadway St.  
 PO Box 566  
 Mankato, MN 56001  
 Phone: 763-514-0328  
 www.civileng.com

REVISIONS		VERTICAL SCALE	
08/14/22 STORM WATER DESIGN MODIFICATIONS		1 inch = 10 feet	
08/22/22 LOT LAYOUT		1 inch = 10 feet	
DATE 07/28/22	DRAWN BY SD	HORIZONTAL SCALE	1 inch = 10 feet
DESIGNED BY SD	CHECKED BY SD	POLY SIZE SHEET 24" x 36"	

DATE 07/28/22	DRAWN BY SD	DESIGNED BY SD	CHECKED BY SD
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FILE NO. 00835

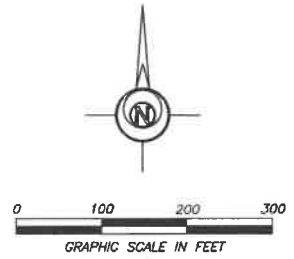
**C4.2**

SWPPP

MATCH LINE C4.2/C4.3



MATCH LINE C4.3/C4.4



**LEGEND:**

- Existing Contours
- Existing Storm Sewer
- Proposed Contours
- Proposed Storm Sewer
- Proposed Silt Fence
- Proposed 10" Fiber Logs
- Proposed 8" Fiber Logs
- Proposed Storm Sewer Inlet Protection
- Flow Direction
- Proposed Erosion Blanket Cat. 3
- Wetland Impact Area

OWNER:  
**FAIRWAY ESTATES  
 OF GRANT, LLC**

Jason Palmby  
 612-220-6641  
 jason@palmby.com

**STILLWATER OAKS**  
 RESIDENTIAL DEVELOPMENT PROJECT  
 CITY OF GRANT  
 WASHINGTON COUNTY, MN

SWPPP

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*Scott Dahl*  
 Date: 09/22/22 Reg. No. 24348  
 PREPARED BY: **CIVIL ENGINEERING**  
 SITE DESIGN  
 118 East Broadway St.  
 PO Box 966 562  
 Mankato, MN 56001  
 Phone: 763-514-0929  
 www.civillead.com

REVISIONS		VERTICAL SCALE 1 inch = _____ feet
DATE	DESCRIPTION	
07/28/22	SD	HORIZONTAL SCALE 1 inch = _____ feet <small>(SEE SHEET C4.3)</small>
09/22/22	SD	

DATE	DRAWN BY	DESIGNED BY	CHECKED BY
07/28/22	SD	SD	SD

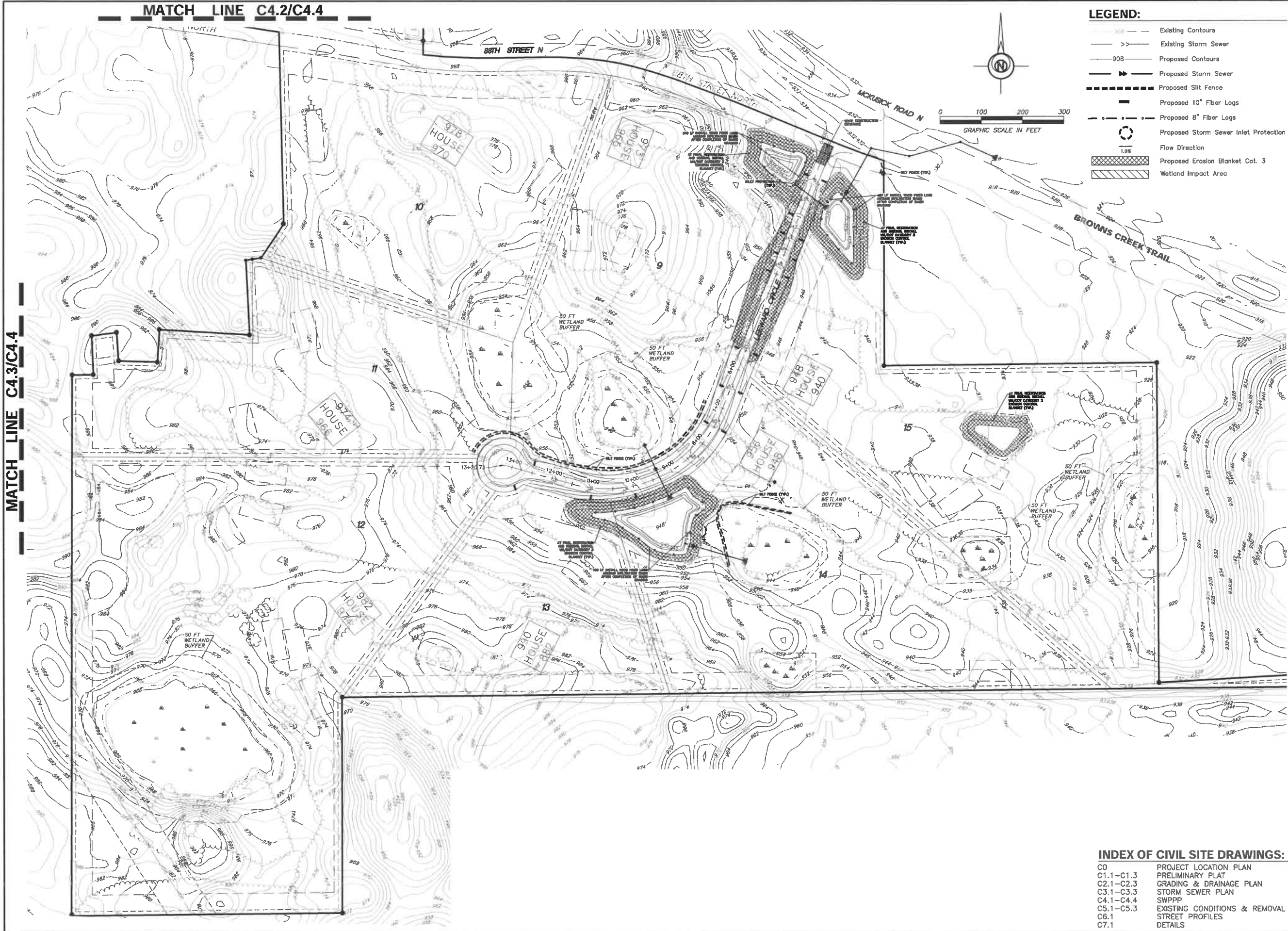
FILE NO. 00835

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- C6.1 STREET PROFILES
- C7.1 DETAILS

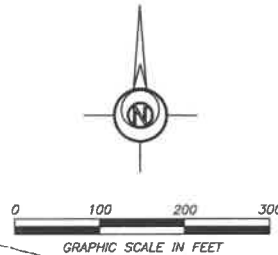
**C4.3**

SWPPP



**LEGEND:**

--- (dashed line)	Existing Contours
->-> (dashed line with arrows)	Existing Storm Sewer
--- (solid line)	Proposed Contours
->-> (solid line with arrows)	Proposed Storm Sewer
- - - - (dashed line)	Proposed Silt Fence
- - - - (dashed line)	Proposed 10" Fiber Logs
- - - - (dashed line)	Proposed 8" Fiber Logs
○ (circle with dot)	Proposed Storm Sewer Inlet Protection
→ (arrow)	Flow Direction
▨ (cross-hatched box)	Proposed Erosion Blanket Cat. 3
▩ (diagonal hatched box)	Wetland Impact Area



OWNER:  
**FAIRWAY ESTATES OF GRANT, LLC**  
 Jason Palmby  
 612-220-6641  
 jason@palmby.com

**STILLWATER OAKS**  
 RESIDENTIAL DEVELOPMENT PROJECT  
 CITY OF GRANT  
 WASHINGTON COUNTY, MN

**SWPPP**

MATCH LINE C4.3/C4.4

MATCH LINE C4.2/C4.4

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 09/22/22 Reg. No. 24348

PREPARED BY: CIVIL ENGINEERING  
 SITE DESIGN  
 118 East Broadway St.  
 PO Box 866362  
 Minneapolis, MN 55482  
 Phone: 763-374-0929  
 www.civilstaff.com

REVISIONS	DATE	BY	DESCRIPTION	HORIZONTAL SCALE	VERTICAL SCALE
09/14/22 STORM WATER DESIGN MODIFICATIONS				1 inch = 10 feet	1 inch = 1 foot
09/22/22 LOT LAYOUT				1 inch = 10 feet	1 inch = 1 foot

DATE	DRAWN BY	DESIGNED BY	CHECKED BY
07/28/22	SD	SD	SD

FILE NO. 00835

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- C4.1-C4.4 SWPPP
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- C6.1 STREET PROFILES
- C7.1 DETAILS

**C4.4**

SWPPP



**LEGEND:**

- Existing Contours
- Existing Sanitary Sewer
- Existing Water Main
- Existing Storm Sewer
- Existing Trees
- Existing Body Line
- PROPOSED DEMOLITION & REMOVAL AREA
- PROPOSED TREE CLEARING & GRUBBING AREA

**EXISTING PROPERTY DESCRIPTION**  
SEE SURVEY

**SURVEY DATA**  
SURVEY INFORMATION PROVIDED BY:  
NORTHWESTERN SURVEYING & ENGINEERING, INC.  
P.O. BOX 3067  
BEMIDJ, MN 56601  
DATED: SEPT 23, 2021

**DEMOLITION NOTES**

1. Install perimeter sediment controls as soon as possible during clear and grub operations. See Erosion Control Plan.
2. Provide air quality control measures at the request of the Engineer or City Representatives. Take necessary measures to keep dust levels to a minimum. Provide sweeping of adjacent paving as needed, or as required by the City Engineer.
3. Locate and protect all utility lines prior to and during demolition. Utility locations shown are based on best available information and are not guaranteed. Contact private utility service for disconnection and removal.
4. Remove or relocate all existing site features that interfere with the proposed construction.
5. Protect existing site features that are to remain during construction. Replace anything damaged with new construction. Pavement shall be saw cut at limits of removal unless noted otherwise. Do not impede existing traffic circulation to adjacent businesses or streets.
6. Sufficient topsoil shall be stockpiled to allow for the replacement of 6" of topsoil in disturbed areas to be re-vegetated.
7. All construction and post-construction parking shall be on-site. At no time shall parking, loading, or unloading be allowed on public streets. Storage of materials or equipment shall not be allowed within public Right-of-Way and shall be maintained on site within project boundaries.

**INDEX OF CIVIL SITE DRAWINGS:**

C0	PROJECT LOCATION PLAN
C1.1-C1.3	PRELIMINARY PLAT
C2.1-C2.3	GRADING & DRAINAGE PLAN
C3.1-C3.3	STORM SEWER PLAN
C4.1-C4.4	SWPPP
C5.1-C5.3	EXISTING CONDITIONS & REMOVAL PLAN
C6.1	STREET PROFILES
C7.1	DETAILS

**OWNER:**  
**FAIRWAY ESTATES OF GRANT, LLC**  
  
Jason Palmby  
612-220-6641  
jason@palmby.com

**STILLWATER OAKS**  
**RESIDENTIAL DEVELOPMENT PROJECT**  
**CITY OF GRANT**  
**WASHINGTON COUNTY, MN**  
  
**EXISTING CONDITION & REMOVAL PLAN**

**MATCH LINE C5.1/C5.2**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
*Scott Dahl*  
Date: 09/22/22 Reg. No. 24348  
PREPARED BY: **CIVIL ENGINEERING SITE DESIGN**  
118 East Broadway St.  
PO Box 665362  
Minneapolis, MN 55462  
Phone: 763-314-0829  
www.civilfield.com

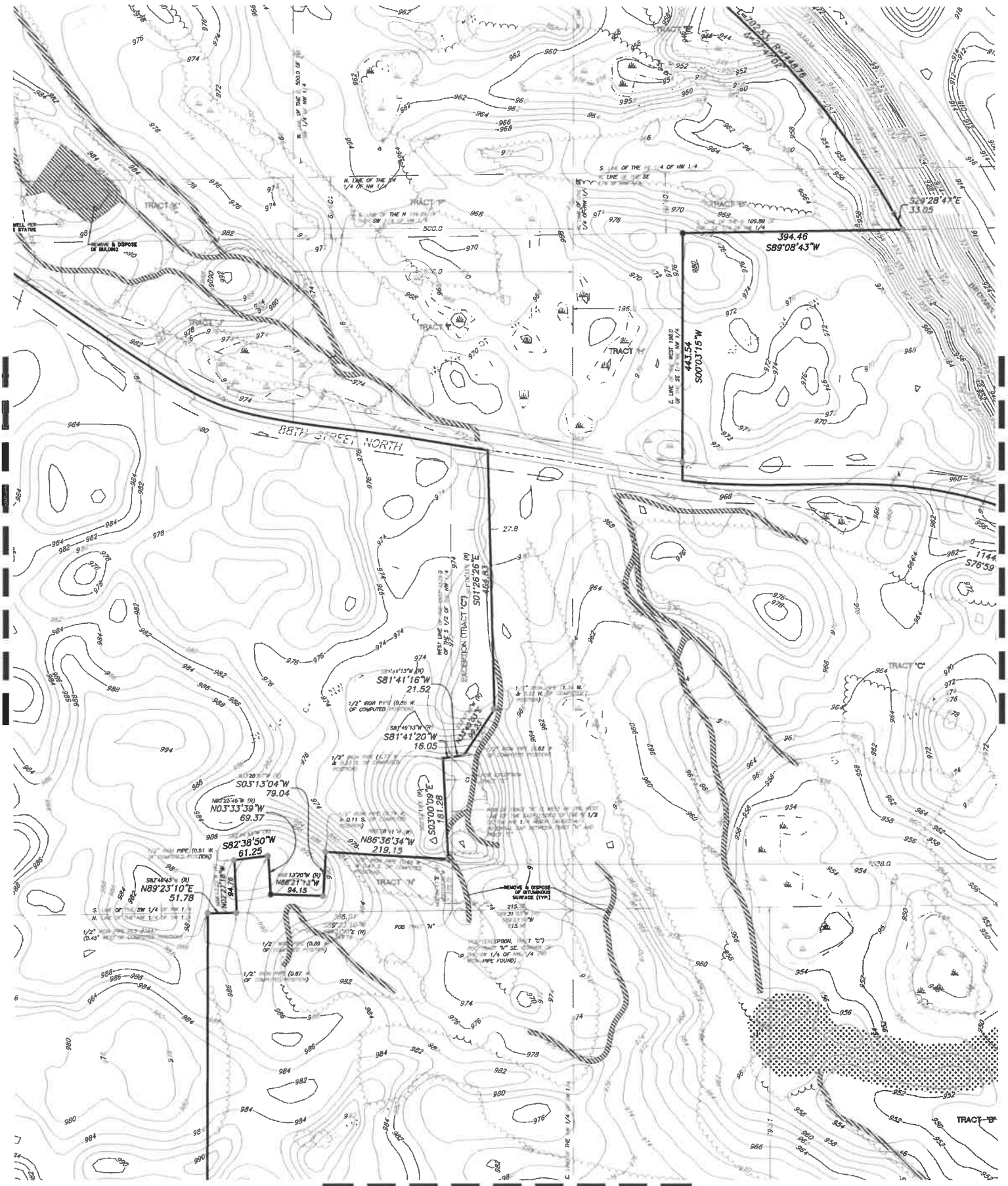
<b>REVISIONS</b>		<b>VERTICAL SCALE</b> 1 inch = _____ feet
<b>DATE</b>	<b>DESCRIPTION</b>	
07/26/22	02/14/24 STORM WATER DESIGN MODIFICATIONS	<b>HORIZONTAL SCALE</b> 1 inch = _____ feet (SEE SHEET 05.1-05)
	02/22/22 LOT LAYOUT	

<b>DATE</b>	<b>DRAWN BY</b>	<b>DESIGNED BY</b>	<b>CHECKED BY</b>
07/26/22	SD	SD	SD

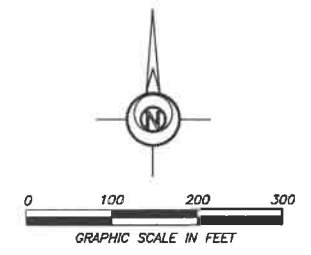
**FILE NO.** 00835

**C5.1**  
**Existing Conditions & Removal Plan**

MATCH LINE C5.1/C5.2



MATCH LINE C5.2/C5.3



- LEGEND:**
- Existing Contours
  - Existing Sanitary Sewer
  - Existing Water Main
  - Existing Storm Sewer
  - Existing Trees
  - Existing Body Line
  - PROPOSED DEMOLITION & REMOVAL AREA
  - PROPOSED TREE CLEARING & GRUBBING AREA

OWNER:  
**FAIRWAY ESTATES  
 OF GRANT, LLC**

Jason Palmby  
 612-220-6641  
 jason@palmby.com

**STILLWATER OAKS**  
 RESIDENTIAL DEVELOPMENT PROJECT  
 CITY OF GRANT  
 WASHINGTON COUNTY, MN

**EXISTING CONDITION &  
 REMOVAL PLAN**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Scott Dahl*  
 Date: 09/22/22 Reg. No. 24348  
 PREPARED BY: CIVIL ENGINEERING  
 SITE DESIGN  
 118 East Broadway St.  
 PO Box 566  
 Moorhead, MN 56501  
 Phone: 763-314-0929  
 www.civilhead.com

REVISIONS		VERTICAL SCALE	
09/21/22 STORM WATER DESIGN MODIFICATIONS		1 inch = _____ feet	
09/22/22 LOT LAYOUT		HORIZONTAL SCALE	
		1 inch = _____ feet	
		FULL SIZE SHEET 20 x 30	

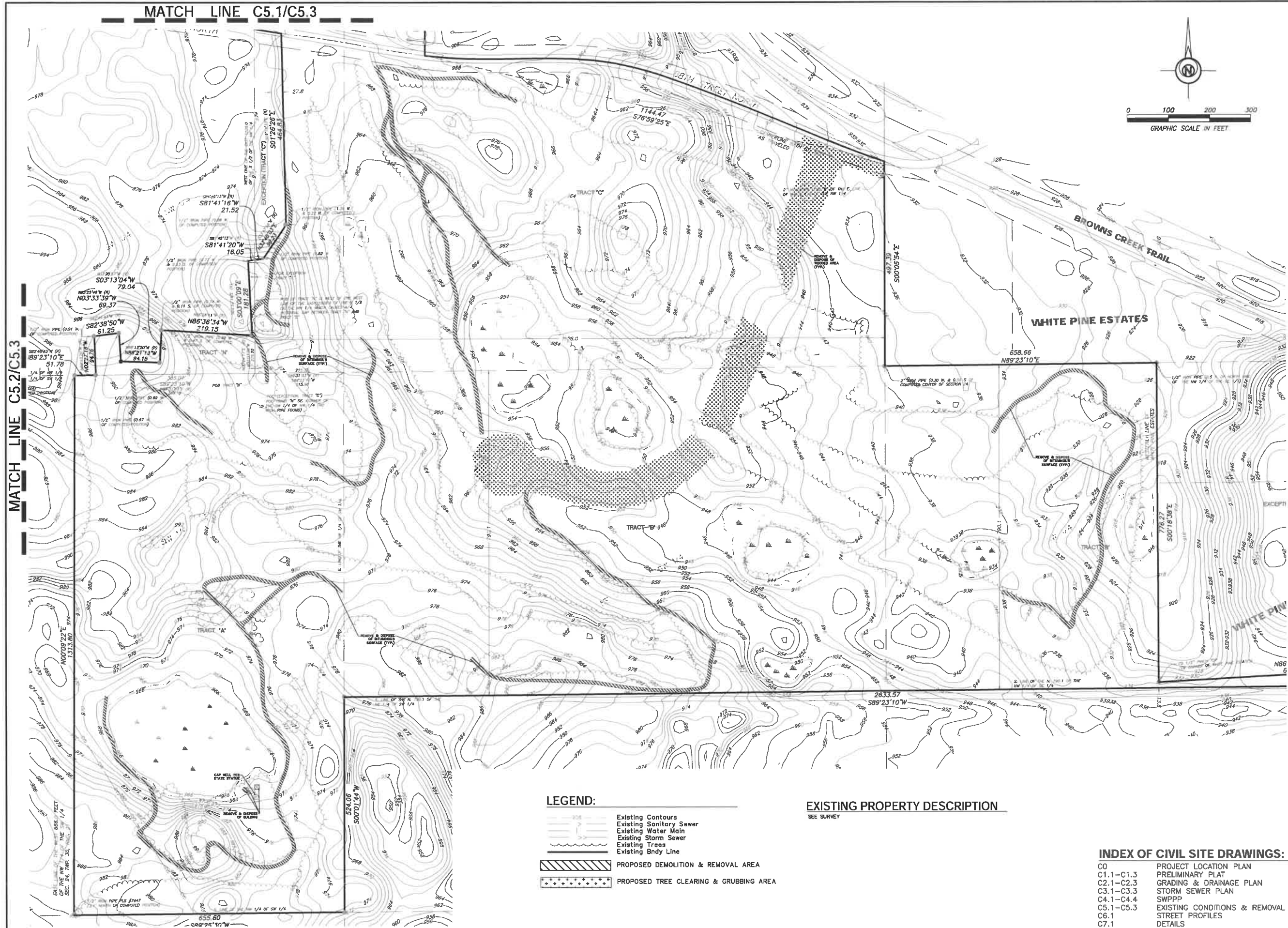
DATE 07/26/22	DRAWN BY SD	DESIGNED BY SD	CHECKED BY SD
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FILE NO. 00835

- INDEX OF CIVIL SITE DRAWINGS:**
- C0 PROJECT LOCATION PLAN
  - C1.1-C1.3 PRELIMINARY PLAT
  - C2.1-C2.3 GRADING & DRAINAGE PLAN
  - C3.1-C3.3 STORM SEWER PLAN
  - C4.1-C4.4 SWPPP
  - C5.1-C5.3 EXISTING CONDITIONS & REMOVAL PLAN
  - C6.1 STREET PROFILES
  - C7.1 DETAILS

**C5.2**  
 Existing Conditions &  
 Removal Plan





OWNER:  
**FAIRWAY ESTATES  
 OF GRANT, LLC**

Jason Palmby  
 612-220-6641  
 jason@palmby.com

**STILLWATER OAKS**  
 RESIDENTIAL DEVELOPMENT PROJECT

CITY OF GRANT  
 WASHINGTON COUNTY, MN

EXISTING CONDITION &  
 REMOVAL PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Date: 09/22/22 Reg. No. 24348

PREPARED BY: CIVIL ENGINEERING  
 SITE DESIGN  
 118 East Broadway St.  
 PO Box 866  
 Mankato, MN 56001  
 Phone: 763-374-0828  
 www.civillead.com

REVISIONS	DATE	DRAWN BY	DESIGNED BY	CHECKED BY	HORIZONTAL SCALE	VERTICAL SCALE
09/14/22 STORM WATER DESIGN MODIFICATIONS		SD	SD	SD	1 inch = 100 feet	1 inch = 10 feet
09/22/22 LOT LAYOUT						

DATE 07/28/22

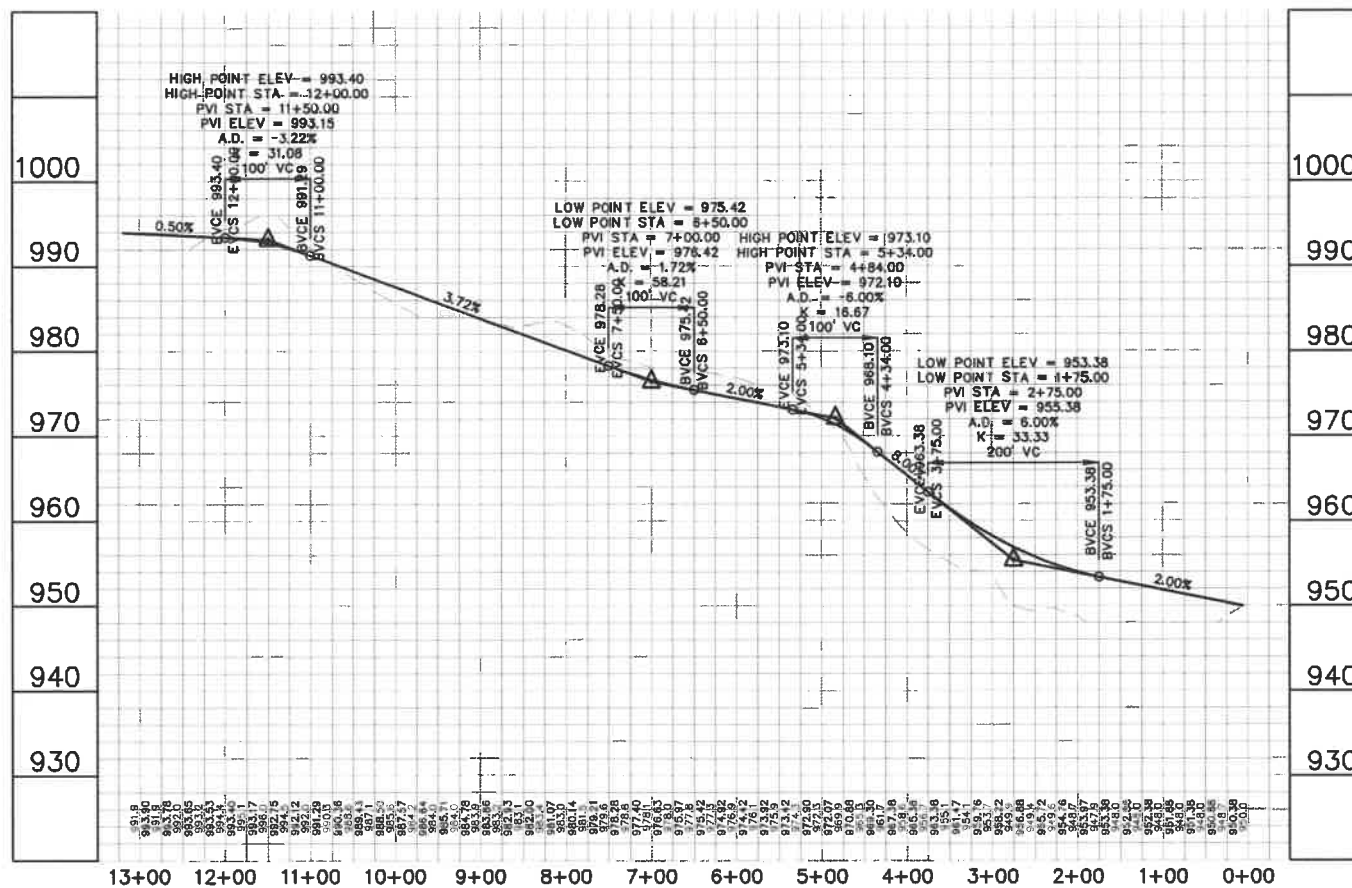
FILE NO. 00835

**C5.3**  
 Existing Conditions &  
 Removal Plan

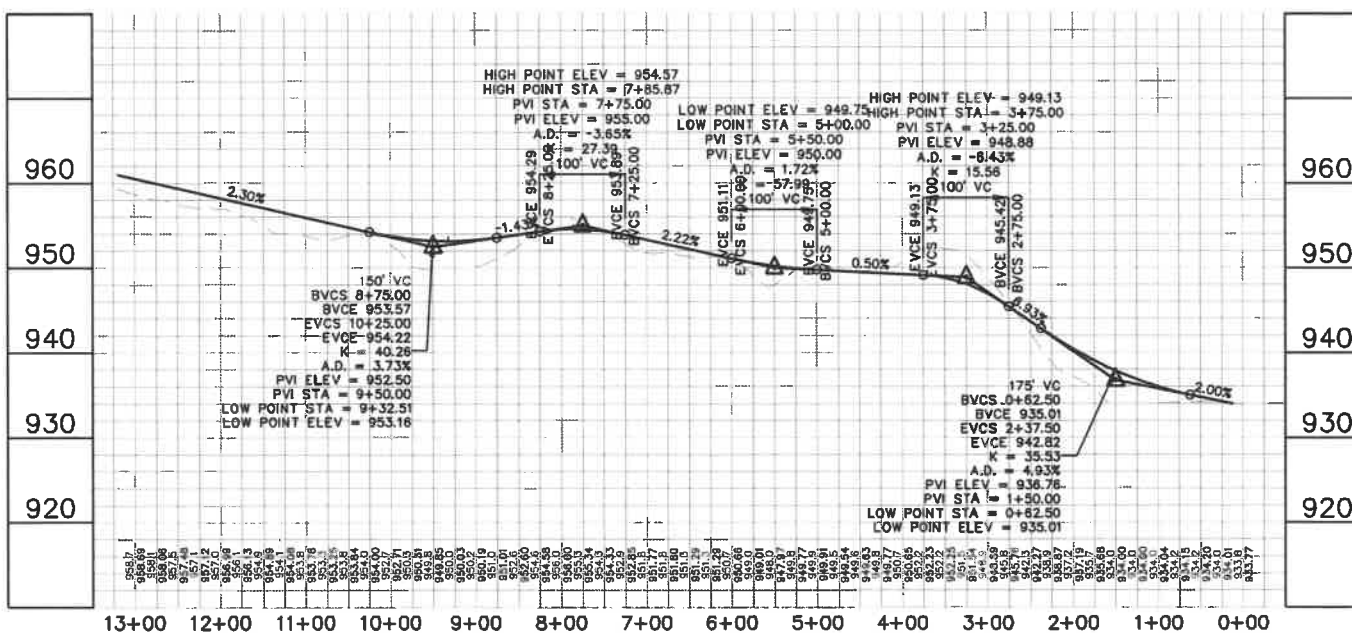
# LAKE ELMO CIRCLE

HORIZ: 1"=100'  
VERT: 1"=10'

OWNER:  
FAIRWAY ESTATES  
OF GRANT, LLC  
  
Jason Palmby  
612-220-6641  
jason@palmby.com



# LEEWARD CIRCLE



STILLWATER OAKS  
RESIDENTIAL DEVELOPMENT PROJECT  
CITY OF GRANT  
WASHINGTON COUNTY, MN  
STREET PROFILES

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
*Scott Dahl*  
Date: 09/22/22 Reg. No. 24348  
PREPARED BY: CIVIL ENGINEERING  
SITE DESIGN  
118 East Broadway St.  
PO Box 566  
Mankato, MN 56001  
Phone: 763-314-0929  
www.civiland.com

REVISIONS:	DATE	BY	DESCRIPTION
02/14/22	SD	SD	STORM WATER DESIGN MODIFICATIONS
09/22/22	SD	SD	LOT LAYOUT

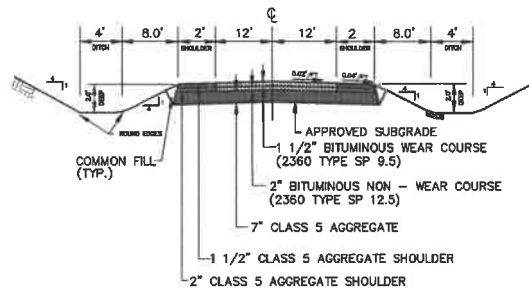
DATE	DRAWN BY	DESIGNED BY	CHECKED BY
07/28/22	SD	SD	SD

FILE NO. 00835

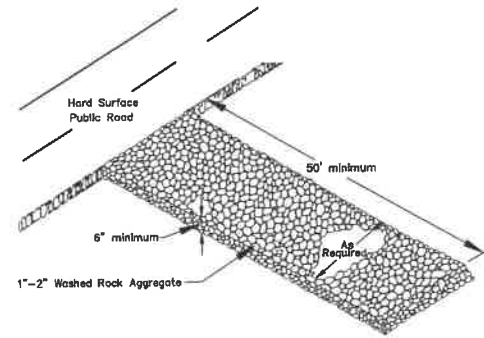
INDEX OF CIVIL SITE DRAWINGS:

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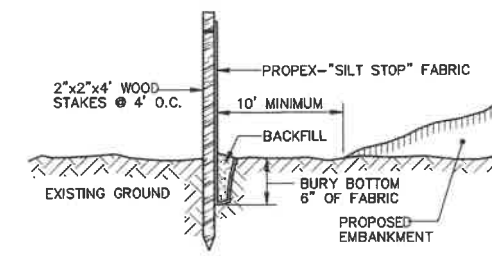
**C6.1**  
Street Profiles



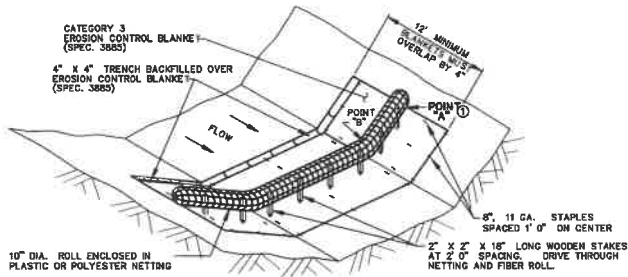
TYPICAL ROAD SECTION



ROCK CONSTRUCTION ENTRANCE

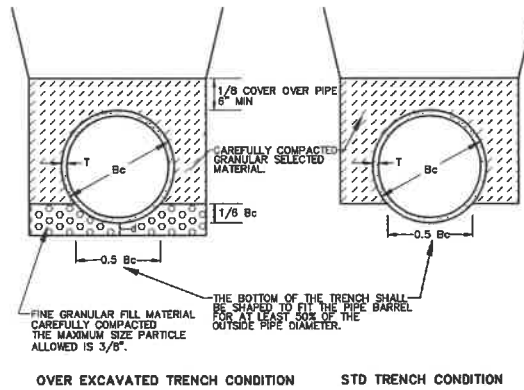


SILT FENCE DETAIL (NTS)



FIBER LOGS / BLANKET SYSTEM

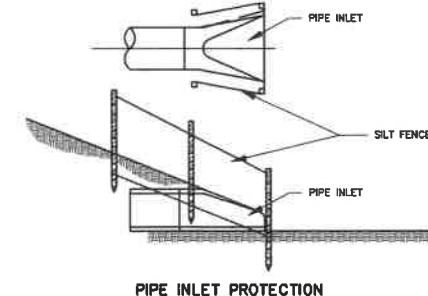
PIPE SIZE	d
< 30"	3"
30" - 60"	4"
> 60"	6"



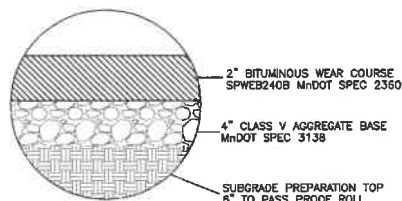
REFERENCE: CONCRETE PIPE DESIGN MANUAL PREPARED BY AMERICAN CONCRETE PIPE INSTITUTE

NOTE: FOR ROCK OR OTHER INCOMPRESSIBLE MATERIALS, THE TRENCH SHOULD BE OVEREXCAVATED A MINIMUM OF 6" AND REFILLED WITH GRANULAR MATERIAL.

CLASS C PIPE BEDDING



PIPE INLET PROTECTION



BITUMINOUS PAVEMENT TRAIL

NOTE: SOILS SPECIFICATIONS SUPERSEDE ABOVE LISTED SPECIFICATIONS

OWNER:  
FAIRWAY ESTATES  
OF GRANT, LLC

Jason Palmby  
612-220-6641  
jason@palmby.com

STILLWATER OAKS  
RESIDENTIAL DEVELOPMENT PROJECT  
CITY OF GRANT  
WASHINGTON COUNTY, MN

DETAILS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a Professional Engineer under the laws of the State of Minnesota.

Date: 09/22/22 Reg. No. 24348

PREPARED BY: CIVIL ENGINEERING

SITE DESIGN

118 East Broadway St.  
PO Box 266  
Mankato, MN 56001  
Phone: 763-314-0929  
www.civillead.com

REVISIONS  
09/14/22 STORM WATER DESIGN MODIFICATIONS  
09/22/22 LOT LAYOUT

DATE 07/28/22

DRAWN BY SD

DESIGNED BY SD

CHECKED BY SD

VERTICAL SCALE  
1 inch = feet

HORIZONTAL SCALE  
1 inch = feet  
SCALE: 200' X 3" X 3"

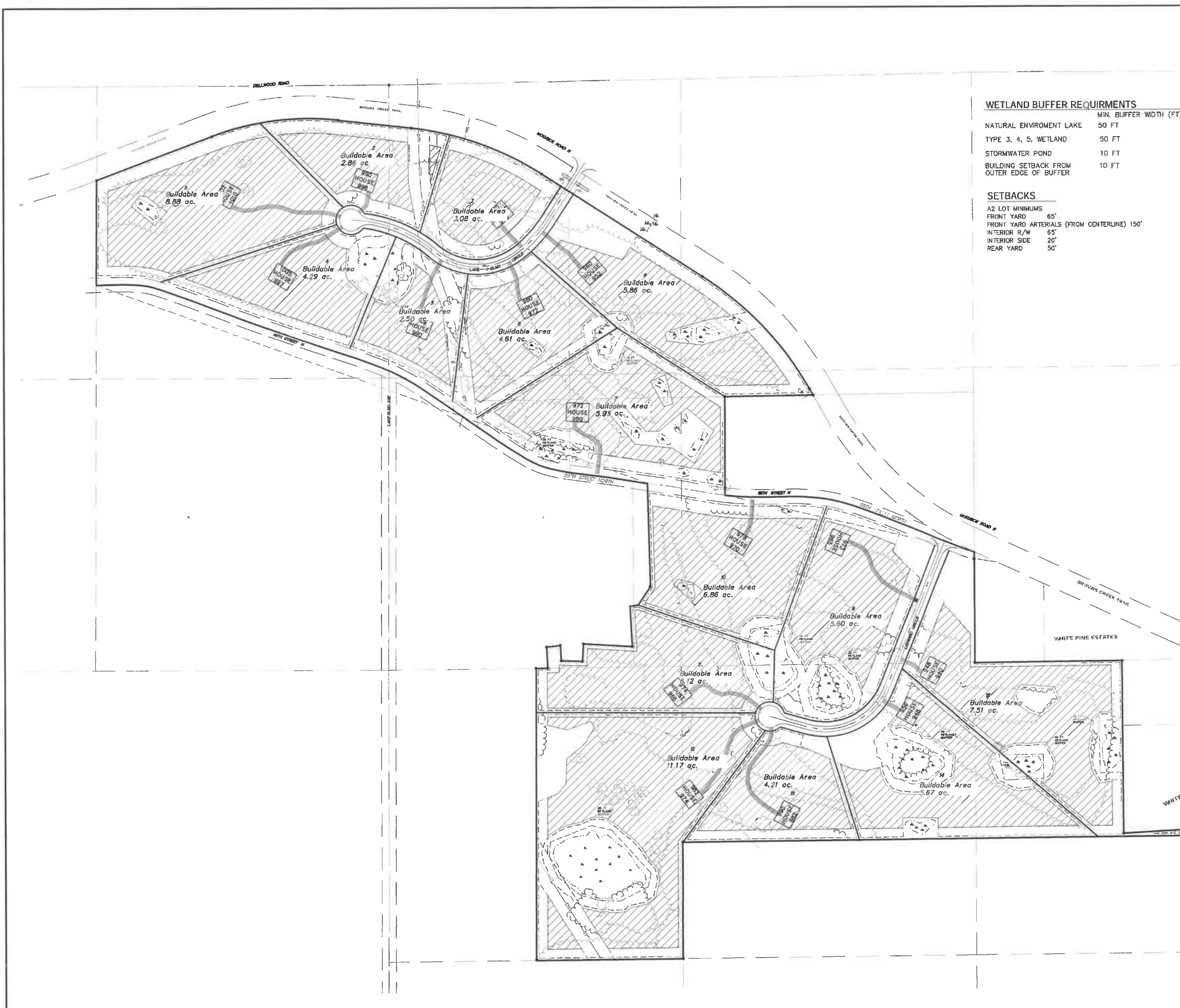
FILE NO. 00835

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- C5.1-C5.3 EXISTING CONDITIONS & REMOVAL PLAN
- C6.1 STREET PROFILES
- C7.1 DETAILS

C7.1

Details



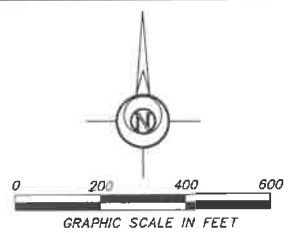
**WETLAND BUFFER REQUIREMENTS**

	MIN. BUFFER WIDTH (FT)
NATURAL ENVIRONMENT LAKE	50 FT
TYPE 3, 4, 5, WETLAND	50 FT
STORMWATER POND	10 FT
BUILDING SETBACK FROM OUTER EDGE OF BUFFER	10 FT

**SETBACKS**

A2 LOT MINIMUMS

FRONT YARD	65'
FRONT YARD ARTERIALS (FROM CENTERLINE)	150'
INTERIOR R/W	65'
INTERIOR SIDE	20'
REAR YARD	50'



**LEGEND:**

	Existing Contours
	Existing Storm Sewer
	Existing Spot Elevation
	Existing Storm Sewer
	Existing Sanitary Sewer
	Existing Watermain Sewer
	Existing Underground Telephone
	Existing Underground Electric
	Existing Tree Line
	Existing R/W Line
	Existing Easement
	Existing Boundary Line
	Existing Catch Basin
	Existing Manhole
	Existing Hydrant
	Existing Flooded Section
	Proposed Street R/W
	Proposed Lot Line
	Proposed Setback
	Proposed D&U Easement
	Proposed Driveway
	Delineated Wetland by Kjolhaug Environmental Services March 16, 2021
	Proposed Septic Field
	Proposed Wetland Buffer
	Proposed Wetland Buffer Sign
	Proposed Buildable Area

**SURVEY DATA**

SURVEY INFORMATION PROVIDED BY:  
 NORTHWESTERN SURVEYING & ENGINEERING, INC.  
 P.O. BOX 3067  
 BEMIDJI, MN 56601

DATED: SEPT 23, 2021

**PROJECT LOCATION**

THE NW1/4 AND SW1/4 OF SECTION 23 TOWNSHIP 24, RANGE 21,  
 WASH. COUNTY, MINNESOTA.

**EXISTING LEGAL DESCRIPTION**

SEE SURVEY

**EXISTING ZONING**

A2 AG. SMALL SCALE

**GROSS AREA**

141.84 ACRES,

**WETLAND DELINEATION**

KJOLHAUG ENVIRONMENTAL SERVICES CO., INC  
 2500 SHADYWOOD RD. STE 130  
 ORONO, MN 55331

OWNER:  
**FAIRWAY ESTATES OF GRANT, LLC**

Jason Palmby  
 612-220-6641  
 jason@palmby.com

**STILLWATER OAKS**  
 RESIDENTIAL DEVELOPMENT PROJECT  
 CITY OF GRANT  
 WASHINGTON COUNTY, MN

**BUILDABLE AREA PLAN**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Scott D. Sullivan*

Date: 09/22/22 Reg. No. 24348

PREPARED BY: **CIVIL ENGINEERING**  
 SITE DESIGN  
 118 East Broadway St.  
 PO Box 566 5329  
 Mankato, MN 56001  
 Phone: 783-314-0929  
 www.civillead.com

**REVISIONS**

DATE	BY	DESCRIPTION

**HORIZONTAL SCALE**  
 1 inch = \_\_\_\_\_ feet  
(FULL SIZE SHEET 24 x 36)

**VERTICAL SCALE**  
 1 inch = \_\_\_\_\_ feet

DATE 09/22/22	DRAWN BY SD	DESIGNED BY SD	CHECKED BY SD
---------------	-------------	----------------	---------------

FILE NO. 00835

**1/1**

Buildable Area Plan

**RECORD DESCRIPTION**

Tract "A":  
The NW 1/4 of the SW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minnesota, excepting therefrom the West 650.0 feet thereof.

Tract "B":  
The North 790.1 feet of the NE 1/4 of the SW 1/4 and the North 790.1 feet of the NW 1/4 of the SE 1/4, all in Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minnesota, excepting therefrom all that part thereof on file and of record in the office of the Register of Deeds in and for said Wash. Co., Minn., as White Pine Estates, as the same is monumented.

Tract "C":  
The East 1528.0 feet of the S 1/2 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., which lies South of the centerline of 88th St. No., as the same is presently located and traveled, excepting therefrom all that part of the Southwest Quarter of the Northwest Quarter (SW 1/4 of NW 1/4) of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minnesota, described as follows: Commencing at an iron pipe located at the southeast corner of SW 1/4 of NW 1/4 of Sec. 24, T30N, R21W, Wash. Co., Minnesota; thence westerly along the South line of said SW 1/4 of NW 1/4, on an assumed bearing of South 89°31'03" West, for 215.90 feet; thence North 0°04'17" East for 275.75 feet to the point of beginning of this description; thence continuing North 0°04'17" East for 560.48 feet to the centerline of 88th Street North, as the same is presently located and traveled; thence South 81°03'49" East along said centerline of traveled 88th Street North for 65.98 feet; thence South 1°18'33" East for 464.83 feet; thence South 33°47'56" West for 99.23 feet; thence South 81°49'13" West for 21.53 feet to the point of beginning.

Tract "D":  
The North 109.89 feet (6.66 Rods) of the SE 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying westerly of the westerly right-of-way line of the Northern Pacific Railroad as now laid out and operated.

Tract "E":  
All that part of the NE 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying southwesterly of the southwesterly right-of-way line of the Northern Pacific Railroad as now laid out and operated.

Tract "F":  
The North 109.89 feet (6.66 Rods) of the East 500.0 feet of the SW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn.

Tract "G":  
The East 500.0 feet of the NW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying southerly of the southerly right-of-way of the Northern Pacific Railroad as now laid out and operated.

Tract "H":  
The West 196.0 feet of the SE 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying North of the centerline of 88th St. No., as the same is presently located and traveled, excepting therefrom the North 109.89' (6.66 Rods) thereof.

Tract "I":  
The East 500.0 feet of the SW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying North of the centerline of 88th St. No., as the same is presently located and traveled, excepting therefrom the North 109.89' (6.66 Rods) thereof.

Tract "J":  
All that part of the SW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying West of a line that is parallel with and 500.0 feet West of the East line of said SW 1/4 of the NW 1/4 and North of the centerline of 88th St. No. as the same is presently located and traveled. Excepting therefrom the North 109.89' (6.66 Rods) thereof.

Tract "K":  
The North 109.89 feet (6.66 Rods) of the SW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying West of the line that is parallel with and 500.0 feet West of the East line of said SW 1/4 of the NW 1/4 and northeasterly of the centerline of 88th St. No. as the same is presently located and traveled.

Tract "L":  
All that part of the NW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., lying southerly of the southerly right-of-way of the Northern Pacific Railroad and northerly of the centerline of 88th St. No., as the same is presently located and traveled, excepting therefrom the East 500.00 feet thereof and also excepting therefrom the following described tract: All that part of the West 590.0 feet of the East 1090.0 feet of said NW 1/4 of the NW 1/4, which lies South of said southerly right-of-way of the Northern Pacific Railroad and northerly of the following described line: the point of beginning of the line to be described is a point in the West line of the East 1090.0 feet of said NW 1/4 of the NW 1/4; said point being 895.0 feet North of the SW corner of said East 1090.0 feet, and running thence southeasterly to a point in the West line of the East 500.00 feet of said NW 1/4 of the NW 1/4, said point being 635.0 feet North of the SW corner of said East 500.0 feet, said point being the end of the line to be described.

Tract "M":  
All that part of the NE 1/4 of the NE 1/4 of Sec. 23, T30N, R21W, Grant Twp., Wash. Co., Minn., lying southerly of the southerly right-of-way line of the Northern Pacific Railroad, and lying northerly of the centerline of 88th St. No., as the same is presently located and traveled.

Tract "N":  
All that part of the SW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Wash. Co., Minn., described as follows: Commencing at an iron pipe located at the southeast corner of SW 1/4 of NW 1/4 of Sec. 24, T30N, R21W, Wash. Co., Minn.; thence westerly along the South line of said SW 1/4 of NW 1/4, on an assumed bearing of South 89°31'03" West, for 215.90 feet to the point of beginning of this description; thence North 0°04'17" East for 275.75 feet; thence South 81°49'13" West for 16.05 feet; thence South 2°52'16" East for 181.28 feet; thence North 86°28'41" West for 219.15 feet; thence South 3°20'57" West for 79.04 feet; thence North 88°13'20" West for 84.13 feet; thence North 3°25'46" West for 69.37 feet; thence South 82°45'43" West for 61.25 feet; thence South 2°19'25" East for 94.77 feet to a point on said South line of SW 1/4 of NW 1/4 of Sec. 24; thence North 89°31'03" East along said South line of SW 1/4 of NW 1/4 for 385.15 feet to the point of beginning.

(Clubhouse and parking lot site):  
All that part of the West 590.0 feet of the East 1090 feet of the NW 1/4 of the NW 1/4 of Sec. 24, T30N, R21W, Grant Twp., Washington Co., Minn., which lies southerly of the southerly right-of-way line of the Burlington-Northern Ry. Co., (formerly Northern-Pacific Ry.) and northerly of the following described line, the point of beginning of the line to be described is a point in the West line of the East 1090.00 feet of said NW 1/4 of the NW 1/4, said point being 895.00 feet North of the SW corner of said East 1090.00 feet, and running thence southeasterly to a point in the West line of the East 500.00 feet of said NW 1/4 of the NW 1/4, said point being 635.00 feet North of the SW corner of said East 500.00 feet, said point being the end of the line to be described.

**ITEMS CORRESPONDING TO SCHEDULE B-II**

- 14. Resolution filed July 11, 1997 as Document Number 937610. (NO PLOTTABLE INFORMATION, SEE DOCUMENT FOR DETAILS)
- 15. Unconfined Easement for pipeline purposes in favor of Northern Natural Gas Company, a Delaware corporation, filed February 2, 1956 as Document Number 184304 and Assignment filed January 15, 1991 as Document Number 650855. (NOT MATHEMATICALLY CONFINED, CENTERLINE OF EXISTING PIPE IS SHOWN BASED OFF OBSERVED EVIDENCE OF FIELD MARKINGS PER GOPHER ONE CALL LOCATE AND MAPS PROVIDED BY UTILITY COMPANY)

**VICINITY MAP - NOT TO SCALE**



**LEGEND OF SYMBOLS & ABBREVIATIONS**

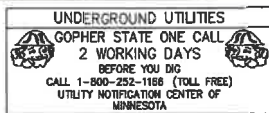
⊙ WELL HEAD	⊠ ELECTRIC TRANSFORMER
⊕ STORM DRAIN INLET	⊞ ELECTRIC METER
⊞ EXISTING CULVERT	⊙ BOLLARD POST
⊞ GAS METER	⊞ UTILITY VAULT
⊙ UTILITY POLE	● IRON MONUMENT FOUND
— GAS	○ IRON MONUMENT SET WITH CAP NO. 52561
— BURIED GAS LINE	
— OVERHEAD POWER	
— DELINEATED WETLAND	

SEE SHEET 2-5 FOR DRAWING

**SIGNIFICANT OBSERVATIONS**

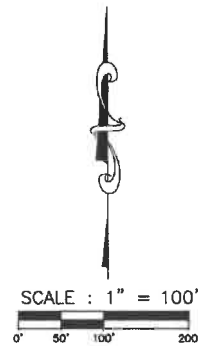
- ▲ BITUMINOUS SURFACE (LOFTON AVE. N) CROSSES OVER SUBJECT PROPERTY WITHOUT THE BENEFIT OF A KNOWN EASEMENT. NOTE: 33' RIGHT OF WAY IS DEDICATED NORTH OF THE SOUTH LINE OF WHITE PINE ESTATES HOWEVER NO DOCUMENT WAS PROVIDED INDICATING RIGHT OF WAY TAKING SOUTH OF THE SOUTH LINE OF WHITE PINE ESTATES.
- ▲ BITUMINOUS CART PATH CROSSES ONTO ADJACENT PROPERTY BY UPTO 27.8 FEET WITHOUT THE BENEFIT OF A KNOWN EASEMENT.
- ▲ POB OF TRACT "N" IS WEST OF THE WEST LINE OF THE EAST 1528.0 OF THE S 1/2 OF THE NW 1/4 WHICH CAUSES A POTENTIAL GAP OF UPTO 0.6 FEET BETWEEN TRACT "N" AND TRACT "C"

**UTILITY NOTES**



THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES AND GROUND MARKINGS.

ONE CALL TICKET# 212590450 UNDERGROUND UTILITY PLANS WERE REQUESTED FROM THE RESPECTIVE UTILITY PROVIDERS AND PLOTTED AS PROVIDED.



**PROJECT REVISION RECORD**

DATE	DESCRIPTION	DATE	DESCRIPTION
02/22/2021	FIRST DRAFT		
FIELD WORK: 09/22/2021	DRAFTED: 09/20/21	CHECKED BY: KJK	FB & PG:

**MISCELLANEOUS NOTES**

- PER TABLE A ITEM 4: PROPERTY CONTAINS 148.64 ACRES (6,474,740± SQ. FT.) OF GROSS LAND AREA.
- PER TABLE A ITEM 16: THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- PER TABLE A ITEM 17: WE ARE NOT AWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, OR EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- 1. PROPERTY HAS PHYSICAL AND DIRECT ACCESS TO AND FROM 2ND AVE. SE BEING A DULY DEDICATED PUBLIC RIGHT-OF-WAY.
- 2. BASED ON OBSERVED EVIDENCE ONLY, THE SITE DOES NOT CONTAIN ANY CEMETERIES OR BURIAL GROUNDS.
- 3. THE BEARINGS ARE BASED ON THE MN YRS WASHINGTON COUNTY COORDINATE SYSTEM, NAD83(2011).

**ALTA/NSPS LAND TITLE SURVEY**

for  
**STILLWATER OAKS GOLF COURSE**  
NWSE Project No. 21454  
11151 88TH STREET NORTH, STILLWATER MN 55082  
BASED UPON TITLE COMMITMENT NO. 641120  
OF FIRST AMERICAN TITLE INSURANCE COMPANY  
BEARING AN EFFECTIVE DATE OF JUNE 9, 2021 @ 7:00 A.M.

Surveyor's Certification  
To: Fairway Estates of Grant, LLC, and First American Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6a, 6b, 7a, 7b, 8, 9, 10, 11a, 13, 14, 16, and 17 of Table A thereof. The field work was completed on 08/12/2021.

Surveyor's signature

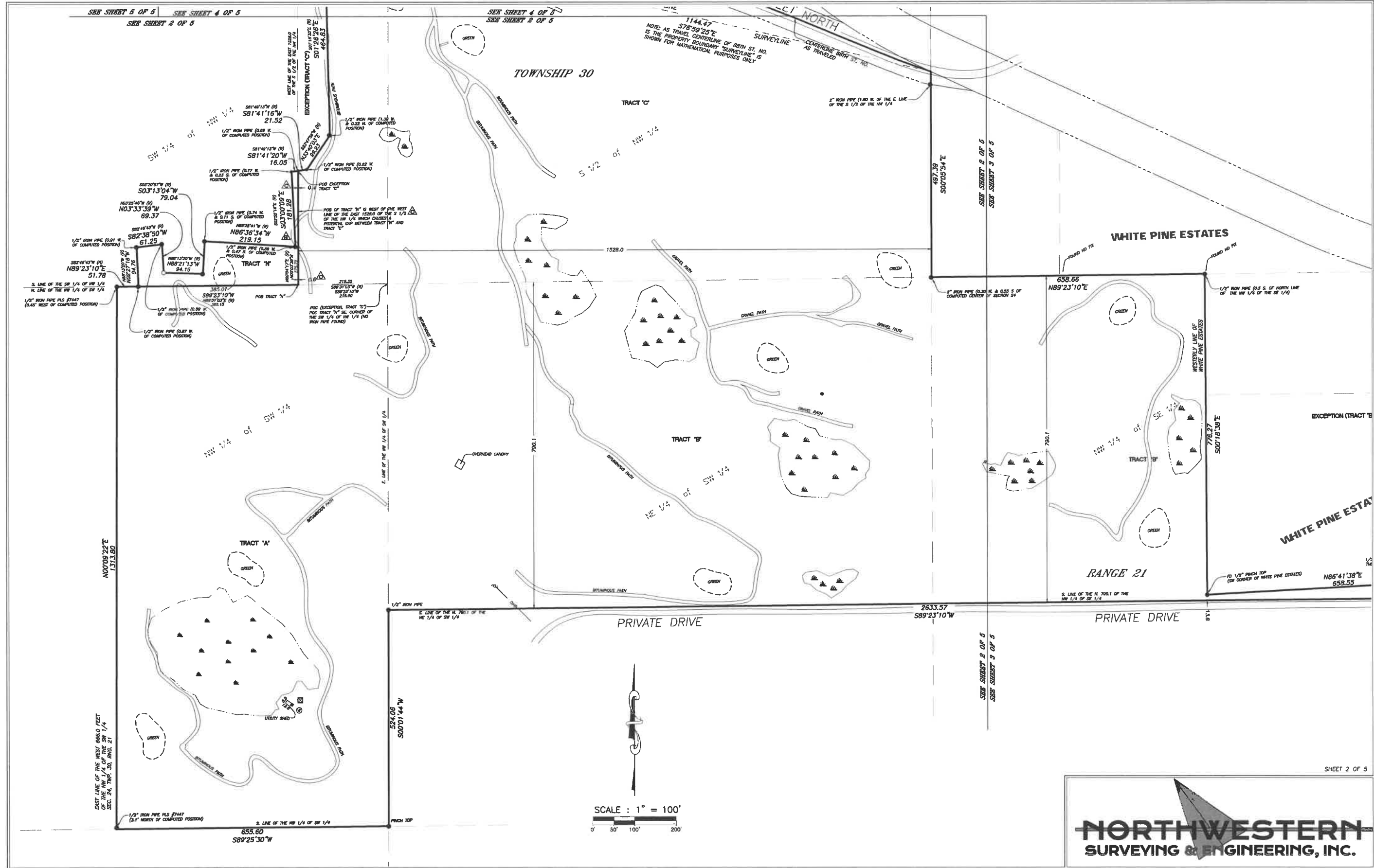
Kaleb J. Kadelbach  
20980 Rogers Drive Suite 500  
Rogers, MN 55374  
(763) 515-8040

Surveyor License #57070

SHEET 1 OF 5



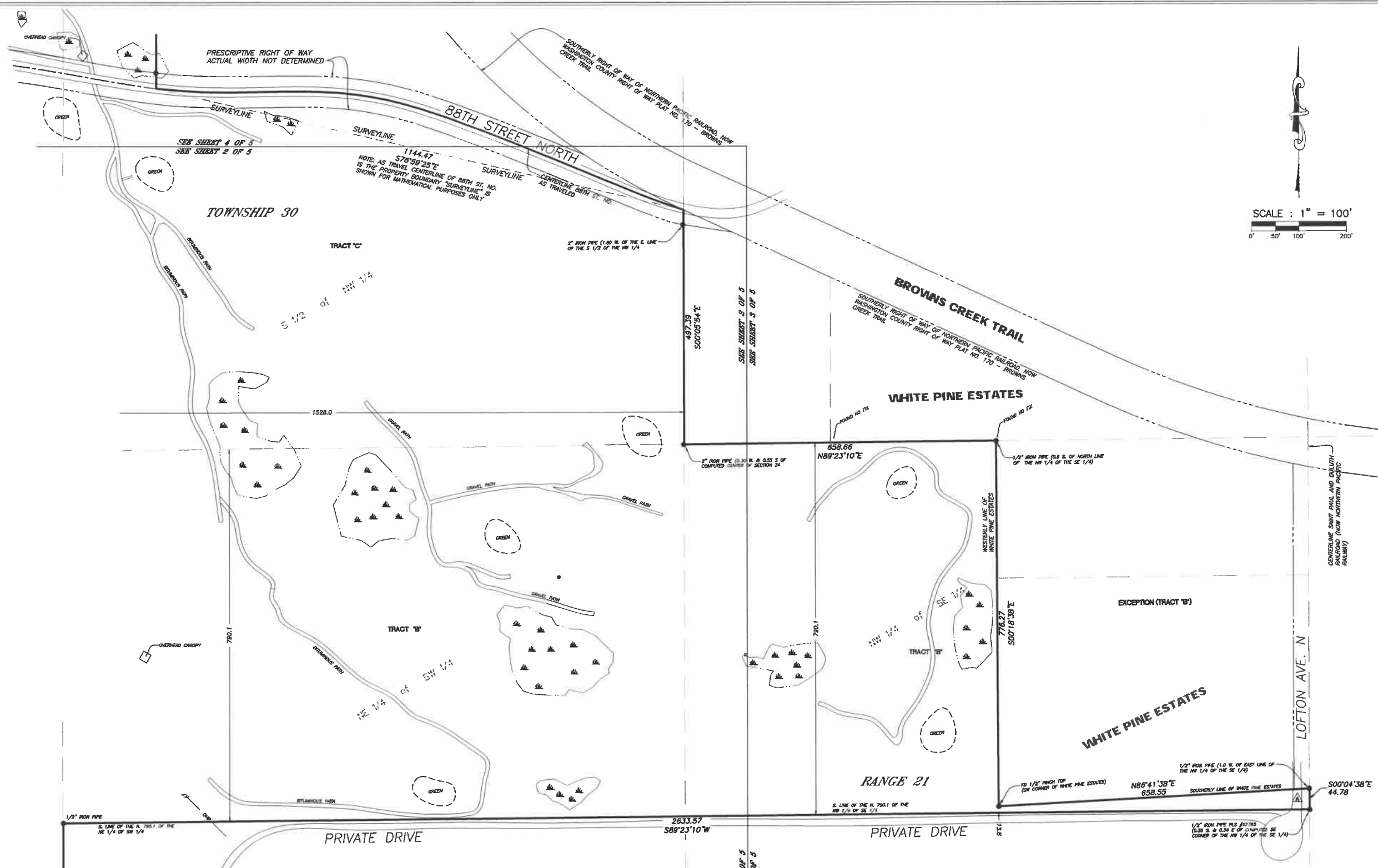
NOTE: AS TRAVEL CENTERLINE OF 88TH ST. NO. IS THE PROPERTY BOUNDARY SURVEYLINE IS SHOWN FOR MATHEMATICAL PURPOSES ONLY



SCALE : 1" = 100'

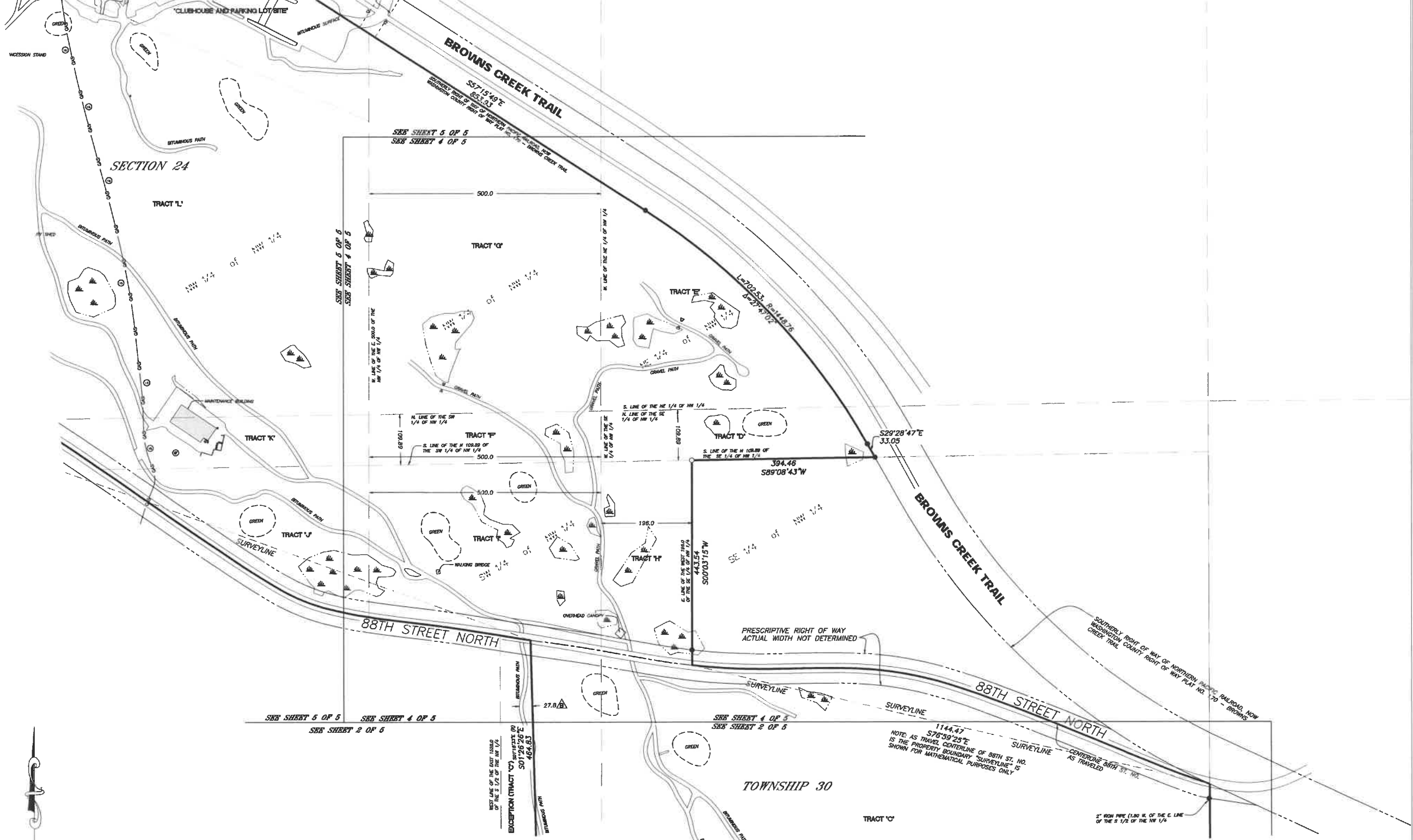
SHEET 2 OF 5

**NORTHWESTERN**  
SURVEYING & ENGINEERING, INC.



SHEET 3 OF 5

**NORTHWESTERN**  
SURVEYING & ENGINEERING, INC.



SCALE : 1" = 100'

**NORTHWESTERN**  
SURVEYING & ENGINEERING, INC.

SHEET 4 OF 5



