

## STAFF REPORT

**TO:** Mayor & City Council Members  
 Kim Points, City Clerk  
 Nick Vivian, City Attorney  
**From:** Jennifer Haskamp

**Date:** April 24, 2014  
**RE:** CUP for a Supper Club &  
 Banquet Facility at 11770 Dellwood  
 Road North

### Background

The proposed application is for a Conditional Use Permit (CUP) to construct and operate a Supper Club & Banquet Facility on the subject site. Prior to submitting this application for a CUP, the Applicant went through the City's process to amend the City's zoning ordinance to allow for such use on properties zoned A-2. During that process, the City established performance standards which added tailored requirements for Supper Clubs depending on the zoning district in which a facility would be located. In March, the City Council approved the text amendment to the zoning ordinance; and as such the Applicant has now submitted this application for City Council review of the proposed White Pines Supper Club & Banquet Facility. A duly noticed public hearing was posted for May 1<sup>st</sup>, 2014, for consideration and comment of the public related to this application.

### Project Summary

Applicant: Ed Schmidt	Site Size: 20.08 Acres
Zoning & Land Use: A-2	Request: Conditional Use Permit (CUP)
Location (PIDs): 11770 Dellwood Road North; generally at the northwest intersection of Highway 96 and Manning Avenue	

The Applicant has applied for a CUP to construct and operate a supper club, banquet facility and supplemental outdoor recreational facilities on the subject site to be called the White Pines Supper Club & Banquet Facility. The following summary of the proposed site improvements is provided:

Supper Club & Banquet Facility: The CUP application includes the request to construct the supper club and banquet facility on the site. The proposed facility would be located near the southwestern corner of the property and as submitted, is divided into 'wings' where the west half of the building would be used for the supper club facilities and the east side would be used for the banquet facilities with a central atrium/gathering space joining the two sides. As proposed each wing is approximately 5,000 square feet and is limited to one story. The facility includes an outdoor patio area on the north-central side of the structure joining the two wings, as well as an outdoor patio area adjoining the northeast façade of the banquet wing.

Recreational Facilities: As submitted the Applicant is proposing to construct two sand volleyball courts initially to be located northwest of the supper club half. The Applicant has indicated a desire to expand

recreational facilities on the site including potential for a baseball/softball field, hockey/ice rink, etc. Included within the submittal received 4/1/2014 is a potential location for the baseball field, but no other future recreational uses are identified on the site plan.

Main Access and Parking: The Applicant has proposed to construct a paved surface parking lot which would encircle the main facility on the west, south and east sides of the facility. The primary access is proposed from Dellwood Avenue North (State Highway 96), with two one-way restricted driveways. As designed the western most driveway would serve out-going traffic while the eastern driveway would serve incoming traffic to the facility. There are no accesses proposed to Manning Avenue North as a part of this plan.

Stormwater Control/Ponding: The proposed project is located in the Brown's Creek Watershed District and is subject to their rules and regulations, as well as the City's. The proposed stormwater management plan includes the installation of infiltration basins throughout the site to control for additional surface water generated as a result of the increase in impervious cover on the site. Based upon the proposed location there are no wetlands which encroach upon the current facilities proposed. However, if future expansion occurs on the northern and northwestern areas of the site, then additional wetland and creek buffers may come into effect.

Operations: Once the structure is constructed and operational, the Applicant has proposed to operate the facility under the name White Pines Supper Club & Banquet Facility and has indicated the following proposed business operations:

- Hours of operation 11 AM to 1 AM daily.
- Full kitchen, included food and beverage service available to both the supper club and banquet areas
- All activities can/may occur concurrently. For example an event may be hosted while a volleyball league plays and dinners are served in the supper club.
- All outdoor recreational activities will be restricted from dawn to dusk, and no outdoor lighting is proposed for the recreational areas.
- Food and/or beverage may be served on the outdoor patio areas, but no food and/or beverage served after 9 PM in the outdoor areas.

### **Review Criteria**

According to the City Code the proposed uses require a Conditional Use Permit. The City Code states the following for consideration when reviewing a Conditional Use Permit (32-141):

“(d) In determining whether or not a conditional use may be allowed, the City will consider the nature of the nearby lands or buildings, the effect upon traffic into and from the premises and on adjoining roads, and all other relevant factors as the City shall deem reasonable prerequisite of consideration in determining the effect of the use on the general welfare, public health and safety.”

(e) If a use is deemed suitable, reasonable conditions may be applied to issuance of a conditional use permit, and a periodic review of said permit may be required.”

Further, Section 32-353 identifies specific performance standards for Supper Clubs which must be addressed in the application and analysis. The performance standards address site and operational issues such as parking, noise, utilities, and other relevant issues which must be addressed in the submittal.

In order to determine the appropriateness of the proposed CUP, the proposal will be reviewed for compliance and consistency with adjacent uses, the zoning district regulations, the performance standards, and other supplemental regulations.

**Existing Site Conditions**

PID 1303021440005: The site is located northwest of the Dellwood Road North (Highway 96) and Manning Avenue North intersection. The subject site is approximately 20.8 acres, slightly irregular in shape with southern frontage on Hwy 96 and eastern frontage on Manning Avenue. The existing site has a significant amount of vegetation, most of which has been planted by the property owner. Currently the only area of the site that is sparsely vegetated is in the southeast corner near the road intersection. Based upon GIS data, there is a wetland area which encroaches on the far northwest corner of the property, and Brown’s Creek runs just north of the subject site. The buffer areas of both the wetland and creek encroach upon the northern boundary of the site.

**Comprehensive Plan Review**

The site is guided A-2 Small Scale Agricultural which calls for large lot single-family residential and low density uses. In order to remain consistent with the land use plan, appropriate protection of existing neighborhoods should be considered with respect to the use and appropriate conditions placed on the proposed use. The proposed use will keep the lot from further subdivision and will include an extensive amount of vegetation and open spaces, particularly to the north of the facility as currently planned and designed.

**Zoning/Site Review**

The City of Grant zoning ordinance recently amended its ordinance to permit Supper Clubs within the A2 zoning district with the issuance of a Conditional Use Permit. The following review is provided with respect to how the proposed project conforms, is consistent, or inconsistent with the zoning and site regulations.

**Dimensional Standards**

The following site and zoning requirements in the A-2 district regulate the site and proposed project:

Dimension	Standard
Lot Size	5 acres
Frontage – Per Sections 32-245 & 32-353	County/State Road and 300'
Front yard - centerline of County Road (Principal Structure)	150'
Front Yard Setback	65'
Side Yard Setback (Per Section 32-353)	100'

Rear Yard Setback	25'
Height of Structure	35'
Fence	May be on property line, but not within any ROW
Driveway Setback	5'
Parking Lot setback	10' from ROW
Wetland Setback Structure (Buffer)	75' (50')
Impervious surface coverage	50%
Floor Area Ratio	30%

Supper Club & Banquet Facility (Setbacks & Frontage):

The proposed Supper Club & Banquet Facility is located in the southwestern portion of the site. As located, the facility is located approximately 183-feet from the western property line, 225- from the south property line, 235-feet from the east property line and 536-feet from the rear property line. ***As proposed, the facility meets the City's ordinance requirements for setbacks from lot lines.***

The site is approximately 795-feet of frontage on Hwy 96, and approximately 910-feet of frontage on Manning Avenue North. Section 32-353 requires all Supper Clubs to have primary access on a State or County Road with a minimum of 300-feet of frontage. ***The proposed Supper Club will have primary frontage on Hwy 96 and meets the ordinance standards for lot frontage (width).***

Recreational Facilities

The proposed site plan includes two sand volleyball courts to be constructed to the northwest of the supper club facility. The site plan also indicates the possible expansion of outdoor recreational areas including a ball field which is identified in the northwestern portion of the site. The Applicant has further referenced future expansion which may include a baseball field, mini-golf course, and ice skating/hockey rink. Although these items may be a future phase of the project, staff would recommend that the possible location of these facilities be placed on a conceptual plan as Phase II or designated similarly. This will help in better planning of the overall site. ***Staff would recommend that a condition be made that any future expansion of the recreational facilities will require an amendment to the permit to ensure compliance with ordinance standards in place at the time of development.***

Parking Lot (Location):

The proposed parking lot encircles the facility on the west, south and east sides of the building. The proposed parking lot design includes extensive vegetation and screening from adjacent properties and from the south right-of-way along Hwy 96. The parking lot is closest to the west side-yard lot line, and at its nearest located is 30.9-feet as indicated on the attached plan sheet C2.1 titled Site Plan. The parking lot is setback an additional 32.2-feet from the south right-of-way setback (total setback of approximately 180-feet). ***As proposed, the location of the parking***

***lot meets all setback requirements of the City's Zoning Ordinance.***

Parking:

Sections 32-372 through 32-377 provide standards for design and development of off-street parking areas. In calculating the number of stalls, Section 32-374 identifies the number of required parking stalls based upon the proposed facility use. The Ordinance does not identify a specific conversion for banquet facilities, and therefore the calculation was performed based upon the Supper Club. As described in Sheet A1.2 and A1.4, the banquet facility is expected to accommodate approximately 128 guests, while the supper club has seating for 250. Based upon these occupancy numbers, the total number of guests would be 378, and the code requires 1 parking space be provided for every 2 ½ seats. This calculation results in required parking of 151 parking spaces. The following table summarizes the parking as shown on the proposed site plan (Sheet C2.1).

<b><u>Parking Area</u></b>	<b><u># of Stalls on Site Plan</u></b>
Parking Stalls (10'x20')	128
Total Handicap	8
<b><i>Total</i></b>	<b><i>136</i></b>

The analysis also does not accommodate or consider what parking needs might be needed if the recreational facilities were to be fully developed. At this time, it seems that the parking area should at a minimum be revised to accommodate a full max-out scenario to ensure available parking if some recreational events were to occur while the supper club and banquet facilities were operational. ***Based upon the submitted site plan, the parking area does NOT meet the current ordinance standards. The parking lot should be revised to accommodate an additional 15 parking spaces, so a total of 151 parking spaces are available.***

Additionally, the parking lot is fairly close to the western property line which is adjacent to a residential home. There would likely be many times when the banquet facility is not hosting an event and therefore the parking lot would be less than half full. ***At those times, it would be reasonable to request that the Applicant restrict parking in the western portion of the lot and turn off any parking lot lighting, etc., to help mitigate potential noise and light nuisance to the adjacent neighbor.***

Driveway/Circulation:

The Applicant has proposed primary access from Highway 96 into the facility. The entrance/exit is proposed to be divided with one-way drive aisles with the western access dedicated to outbound turning movements and the eastern access dedicated to inbound traffic. Since the proposed access is from a State Highway the Minnesota Department of Transportation was contacted for review and comment of the proposed access. Their response and recommendations are attached to this staff report. Additionally, since Manning Avenue is a County Road, Washington County was also contacted for their comment, and their review

and recommendation is also attached to this staff report. It appears from the attached correspondence that a dedicated right-turn lane will be required to be constructed to access the facility on Hwy 96, and that a drainage permit will be necessary. ***The Applicant shall be required to follow the conditions and recommendations as stated in both the Washington County and MnDOT review, and must submit revised plans indicating the improvements to the City Engineer for review and consideration.***

Architecture &  
Building Height:

The Attached architectural plans depict a structure with a central entrance and two “wings”, on which the supper club is located on the western half of the facility, and the banquet room is on the eastern half of the facility. As depicted on sheet A2.0 the tallest point of the building appears to be the central atrium and entrance area. Based upon the perspective elevations submitted, it appears that this area is approximately 1 ½ stories tall, and would be well within the maximum allowed height. ***However, a scaleable elevation was not submitted, and the Applicant should provide such elevations so staff can verify that the proposed height meets the City’s Ordinance standards.*** The facility is designed with a residential style, including gabled roof lines, dormers and fenestration on all sides. As stated within the Applicant’s narrative, the facility materials are proposed to be a combination of wood and stone and are proposed to blend into the surrounding vegetation. ***If designed as described, the proposed facility would meet the City’s ordinance standards for architectural design and consistency with the surrounding neighborhood.***

FAR and Coverage:

When considering all impervious surface area, including the proposed parking lot, there is a total of approximately 85,133 square feet of coverage which is equivalent to approximately 1.95 Acres. When considering the total parcel area of 17.85 acres (exclusive of ROW), the impervious surface coverage is equivalent to approximately 11% of the site. When considering the floor area ratio, the parking lot and drive aisles are excluded which results in approximately 10,000 square feet of building area, which is equivalent to approximately 1% FAR. ***The proposed site plan meets the City’s ordinance standards for Coverage and FAR.***

Septic System:

At the time of this staff report the County had not received any soil testing and boring data as requested. Staff spoke with Washington County Environmental Services staff who confirmed that they were contacted by the Applicant, but have not received a formal submittal. The Applicant shall submit to Washington County Environmental Services all information required to ensure that a proper functioning independent septic system can be accommodated on site, and that no municipal services would be necessary to service the facility now or in the future. ***All appropriate permits shall be obtained from Washington County***

*Environmental Service prior to commencing any site activities. A copy of the permit, or indication of adequate area, must be submitted to the City for review.*

Lighting

Section 32-321 Lighting, Light Fixtures and Glare addresses lighting standards of off-street parking areas and indicates that no more than 1 footcandle may be emitted on a public street, and no more than 0.4 footcandles on adjacent residential property. Additionally, the standards require all light fixture to be hooded and/or downward facing to protect the night sky. The submitted plan set does not identify any proposed lighting, although it is anticipated that it would be necessary to properly light the parking areas for safety of patrons and users of the facility. *The Applicant shall be required to submit a lighting plan, including fixture specifications and a photometric plan to demonstrate the proposed lighting meets the standards as set forth in the City's Ordinances. Any proposed fixtures or lighting on the north side of the facility shall also be provided for review and consideration.*

Landscaping/Plantings

Section 32-318 addresses screening of properties when any business is adjacent to property zoned for residential uses. The section of the code states that the business shall provide screening along the boundary of the residential property. The proposed landscape plan is attached in Sheet L2.1. As indicated on the aerial, and in the submitted plan, the Applicant/Owner has planted a significant number of coniferous trees on the site that are proposed to be transplanted to strategically screen the parking areas, building and outdoor recreational facilities. In addition to the transplanted trees, the Applicant is proposing to heavily landscape the entrance drive and parking lot with a mix of deciduous, coniferous and ornamental trees. Finally, the entrance and façade into the building will be landscaped using a mix of shrubs, trees and flowers to enhance the entrance into the facility. *Based upon the plan submitted it appears that the building, parking lot and recreational facilities would be well screened from adjacent properties. Staff believes that the proposed quantity and mix of trees meets the intent of the City's ordinance for screening and landscaping when businesses are located adjacent to residential properties.*

Signage

The Applicant did not submit any details regarding the anticipated signage associated with the facility. Staff would assume that some signage would be proposed and likely located at the entrance, and possibly some signage affixed to the façade of the facility. *Clarification on signage plans from the Applicant should be sought, and sign plan submitted for review and approval as a part of this CUP process.*

Hours of Operation

The Applicant has proposed hours of operation of the supper club and banquet facility daily from 11:00 AM to 1:00 AM daily. As for the outdoor recreational

areas the Applicant has proposed that such facilities would be limited to 11 AM to dusk, and no exterior lighting of these areas is proposed. The site plan also indicates some outdoor patio areas which the Applicant has stated would be used seasonally for food and beverage services. These patio areas would restrict hours of service to no later than 9 PM daily. The building will be designed and constructed to commercial standards and as such patrons inside the facility are not anticipated to disturb the adjacent neighbors, and the more likely impact would come from those in the outdoor areas including recreational areas, patios and parking lots. *As such, based on the restricted hours of operation on the patios and recreational areas, and commercial building standards of the proposed facilities, staff believes that the proposed hours of operation appear reasonable for the proposed use.*

#### Noise

The proposed facility includes a banquet facility which is anticipated to provide event space for receptions, parties, and other gatherings which may include music and/or other amplification of sound. Based upon the proposed facility layout, the banquet area is located on the eastern half of the facility and furthest away from any residential property. *Additionally, the building will be constructed with insulation and central HVAC system that will help reduce the potential impact of noise from inside the facility.*

The more likely concern will be for possible noise generated from patrons leaving the facility and going to their cars at night. Particularly in the western parking lot area which is closest to a residential structure, there is a potential for disturbance. *As stated in previous sections, staff would recommend including a condition that when the banquet facility is not utilized that the western parking lot be closed off and/or darkened to help mitigate potential impacts from users in this area of the parking lot.*

The outdoor recreational areas and patios also have the potential to generate noise, particularly during summer hours when residents might be outside on their own patios. These areas will be used seasonally, and restricting the hours of operations will help reduce the overall impact of these areas on neighboring properties. *Also, the landscape plan indicates heavy vegetative screening around the patio areas and proposed volleyball courts which should also help mitigate potential noise impacts to adjacent properties.*

#### Engineering Standards

A full engineering report and analysis is attached for your review and consideration. The primary issues addressed within the engineering memo include stormwater and surface water management, as well as obtaining appropriate permits from other agencies with jurisdiction of certain aspects of the project.



### **Other Agency Review**

The property is located within the Brown's Creek Watershed District (BCWD), and the plans have been submitted for their review and consideration. Additional information regarding the watershed district is provided in the Engineer's memo. Additionally MnDOT and Washington County have reviewed the plan and their recommendations are attached for your review and consideration.

### **Additional Information Needed**

As stated within the review, staff would recommend that some additional information be provided by the Applicant for consideration. Preliminarily those items are:

- Exterior Lighting plan including parking lot and any fixtures proposed on the north side of the facility.
- Sign Plan indicating location and type
- Architectural elevations which are scaleable, including proposed materials to be used

### **Draft Findings and Recommendations**

The following draft recommendations and findings are for your consideration and discussion. The following can be modified, deleted, added to, etc., depending on the public testimony and discretion of the council.

- The indoor facility hours of operations shall be limited to 11 AM to 1 AM daily.
- The outdoor recreational facilities shall be limited to 11 AM to Dusk, but in no cases shall go past 10 PM.
- The outdoor patio areas shall stop food and beverage services no later than 9 PM daily.
- The Applicant shall revise the Plan Set to show the necessary improvements as required by MnDOT as indicated in their letter dated April 14, 2014.
- The City Engineer's recommendations and modifications must be reflected within an updated plan set and submitted for his review and approval.
- All access and driveway permits must be obtained from MnDOT prior to construction commencing onsite.
- All necessary permits from Brown's Creek Watershed District must be obtained prior to issuance of a grading or building permit.
- Septic design and permit must be obtained from Washington County Environmental Services, and a copy of the correspondence submitted to the City for record keeping.
- A lighting plan must be submitted for review and approval.
- A proposed signage plan shall be submitted for review and approval.
- A building permit must be obtained prior to commencing any grading or construction onsite.
- Any future expansion of the recreational areas shall require an amendment to this Permit.

- All proposed construction and site work shall be consistent with the plan set dated (Insert Date of final updated plan set).
- All necessary permits shall be obtained from Washington County, MPCA, Brown's Creek Watershed District, MnDOT and any other entity having jurisdiction of the proposed facility.

**Action requested:**

Staff is requesting direction from the Council to prepare a Resolution reflecting one of the following options:

- Resolution of Approval with Draft Conditional Use Permit
- Resolution Denial with Findings

***Attachments***

Applicant's CUP Narrative

White Pines Supper Club & Banquet Facility Plan Set

City Engineer's Memo, WSB, April 24, 2014

Letter from Washington County, April 24, 2014

Letter from MnDOT, April 18, 2014

## *Memorandum*

To: Honorable Mayor and City Council, City of Grant  
Kim Points, Administrator, City of Grant

CC: Jennifer Haskamp, City Planner

From: Phil Olson, PE, City Engineer  
WSB & Associates, Inc.

Date: April 24, 2014

Re: White Pines Supper Club: Engineering Plan Review

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### **SUBMITTAL:**

Plans were prepared by Elan Design Lab, Inc. and dated March 27, 2014. Engineering review comments were generated from the following documents included in the submittal:

- Storm Water Narrative (59 sheets)
- Site plans(10 sheets) including:
  - Existing conditions
  - Site plan
  - Grading & Erosion Control Plan
  - Grading Details
  - Tree Preservation Plan
  - Landscape Plan
  - SWPPP Plan

### **SITE PLAN COMMENTS:**

1. A driveway access permit is required from Mn/DOT for the upgrade of the existing driveway. Additional roadway improvements to Highway 96 may be required by the State.
2. A stormwater permit is required from the Browns Creek Watershed District (BCWD).
3. The developer is required to obtain a NPDES Construction Stormwater Permit and provide a copy of the approved SWPPP to the City prior to the start of construction.
4. The future pathway and ballfield area are shown to be located within Infiltration Basin D. It is recommended to either relocate one of the improvements or show Infiltration Basin D as a temporary improvement that will be relocated with the construction of the future improvements. If relocated, the future ponding areas should be shown on the plan.
5. All future improvements shown on the plan will require separate permits with the City.
6. The applicant has mentioned that additional sporting facilities will be considered in the future. The applicant is encouraged to show these facilities on the plan to help with the planning for the overall site.
7. NGVD, 1929 Vertical datum should be denoted on the grading plans per Brown's Creek Watershed Management Rule 2.6.6.

**STORMWATER MANAGEMENT COMMENTS:**

8. Overland emergency overflow routes, directional flow arrows, and normal pipe outlet elevations are required to be shown on the plan.
9. This site is within 1 mile of Brown's Creek which is listed as Outstanding Resource Value Water. This trout stream requires additional BMPs listed in Appendix A of the 2013 Construction Stormwater permit.
10. A skimmer structure is called out in the stormwater plan but not on the plan sheet. The structure is required to be added to the plan. A detail should be added to show how the forebay outlet control structure stand pipe is to be constructed.

Should you have any questions or comments regarding the items listed above, please contact me at 763-512-5245.



**Public Works Department**

Donald J. Thelsen, P.E.  
Director

Wayne H. Sandberg, P.E.  
Deputy Director/County Engineer

April 24, 2014

Jennifer Haskamp, Planner  
City of Grant  
P.O. Box 577  
Willernie, MN 55090

**Site Plan Review, White Pines Supper Club and Banquet Facility (PID: 1303021440005)  
City of Grant**

Dear Ms. Haskamp:

Washington County has received the site plan for the proposed White Pines Supper Club/Banquet Facility located at the northwest corner of Trunk Highway 96 and County State Aid Highway (CSAH) 15 in the City of Grant. The following are requirements and comments on the plan:

- CSAH15/Manning Avenue is an A Minor Arterial Roadway, Expander with 7800 Average Daily Trips (ADT, 2012). The right-of-way requirements for this section of roadway is 184 feet. Since there will be no subdivision request as part of this application, no additional right-of way is requested at this time.
- The developer or the city must submit the drainage report and calculations to our office for review of any downstream impacts to the county drainage system. Along with the drainage calculations, we request written conclusions that the volume and rate of stormwater run-off into the county right-of way will not increase as part of the project.
- Access to the site is proposed off TH 96 and the county has received a copy of the letter to Edward Schmidt from Michael Corbett, MnDOT dated April 14, 2014. We support the requirements outlined in the attached letter.

In the future, any changes in access will require review by the city and the county. Please contact me at 651-430-4362 or by e-mail at [ann.pung-terwedo@co.washington.mn.us](mailto:ann.pung-terwedo@co.washington.mn.us) with comments or questions.

Sincerely,

A handwritten signature in black ink that reads "Ann Pung-Terwedo".

Ann Pung-Terwedo  
Senior Planner

c: Joe Gustafson, Traffic Engineer



## Minnesota Department of Transportation

Metropolitan District  
Waters Edge Building  
1500 County Road B2 West  
Roseville, MN 55113

April 18, 2014

Edward Schmidt  
11205 St. Croix Trail North  
Stillwater, MN 55082

SUBJECT: White Pines Supper Club and Banquet Facility  
MnDOT Review # S14-014  
NW Quad of TH 96 and Manning Ave (CR 15)  
Grant, Washington County  
Control Section 8211

Dear Mr. Schmidt:

Thank you for submitting the Stormwater narrative and plan set for the proposed White Pines Supper Club and Banquet Facility. The Minnesota Department of Transportation (MnDOT) has reviewed the document and has the following comments:

### *Access/Traffic*

The proposed development is anticipated to generate approximately 100 to 200 new trips per day. This total meets MnDOT warrants for a right turn lane. Therefore, a right turn lane is required.

Please direct questions concerning these issues to Kaare Festvog in Metro District's Traffic section, at [kaare.festvog@state.mn.us](mailto:kaare.festvog@state.mn.us) or 651-234-7814.

### *Water Resources:*

As stated in the previous review, a drainage permit will be required. An attachment that includes a checklist of what needs to be submitted as part of a drainage permit application is attached to this email. In addition to the items in the attached checklist, updated information or responses concerning the following should be submitted:

1. A larger map showing drainage boundaries, subwatershed areas and drainage flow arrows for both the existing and proposed conditions. Please ensure that the drainage area maps correspond to the HydroCad model. (For example, reaches are not shown on the maps but are in the HydroCad model)
2. A full size copy of the full construction plan.
3. Electronic copies of the HydroCad models.

4. Infiltration basins, filtration basins and ponds adjacent to MnDOT right-of-way shall be designed to provide at least 2 feet of elevation difference between the 100-year HWL and the crest of the basin berm. The berm crest shall be at least 5 feet wide. The emergency overflow shall be lined from crest to toe of slope with Turf Reinforcement mat or Category 6 or 7 Erosion Control Blanket.
5. MnDOT recommends no more than 100 feet of sheet flow when determining the TC values for a subwatershed.
6. Details of the structures/outlets for the forebays and ponds. Please revise routing of the outlet devices in Hydrocad.
7. Soil Boring or post construction Infiltration test to determine that the infiltration basins have the desired soils and infiltration rates.
8. Erosion control plans including temporary and permanent erosion control measures. In addition, an erosion control blanket will be used to stabilize disturbed area on MnDOT right-of-way unless other methods are approved by MnDOT  
For all disturbed areas that sheet flow to MnDOT right-of-way and any disturbed areas within MnDOT right-of-way, either Erosion Control Mat or Bonded Fiber Matrix shall be used for temporary/permanent erosion control.
9. Silt fence shall not be used for erosion control at the proposed project site perimeter. Rather, continuous Wood Chip or compost Sediment Control Logs shall be implemented.
10. For additional comments/questions please see the attached sheets.

Please direct questions concerning drainage issues to Jodi Hreha, Metro Water Resources, at 651-234-7533 or [jodi.hreha@state.mn.us](mailto:jodi.hreha@state.mn.us).

***Permits:***

As previously stated, a drainage permit is required. Additionally, MnDOT has received the access permit, which is currently on hold. The access permit will need to include the required right turn lane on TH 96 as well as the construction plans. Permit forms are available from MnDOT's utility website at <http://www.dot.state.mn.us/utility/>. Please include one 11 x 17 plan set and one full size plan set with each permit application. The contact for the permits review is Buck Craig (651-234-7911) of MnDOT's Metro Permits Section.

***Review Submittal Options:***

MnDOT's goal is to complete the review of plans within 30 days. Submittals sent in electronically can usually be turned around faster. There are four submittal options. Please submit either:

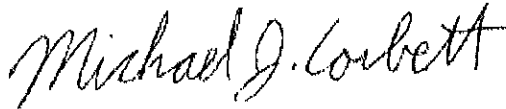
1. One (1) electronic pdf version of the plans. MnDOT can accept the plans via e-mail at [metrodevreviews.dot@state.mn.us](mailto:metrodevreviews.dot@state.mn.us) provided that each separate e-mail is under 20 megabytes.
2. Three (3) sets of full size plans. Although submitting seven sets of full size plans will expedite the review process. Plans can be sent to:

MnDOT – Metro District Planning Section  
Development Reviews Coordinator  
1500 West County Road B-2  
Roseville, MN 55113

3. One (1) compact disc.
4. Plans can also be submitted to MnDOT's External FTP Site. Please send files to: <ftp://ftp2.dot.state.mn.us/pub/incoming/MetroWatersEdge/Planning> Internet Explorer doesn't work using ftp so please use an FTP Client or your Windows Explorer (My Computer). Also, please send a note to [metrodevreviews.dot@state.mn.us](mailto:metrodevreviews.dot@state.mn.us) indicating that the plans have been submitted on the FTP site.

If you have any questions concerning this review, please contact me at (651) 234-7793.

Sincerely,



Michael J. Corbett, PE  
Senior Planner

Attachments (2): plansheetmarkups.pdf  
Drainage Permit Applications Checklist April 2014.pdf

**Copy sent via E-Mail:**

Nik Costello, Washington County  
Ann.Pung-Terwedo, Washington County  
Adam Josephson, Area Manager  
Jodi Hreha, Water Resources  
Buck Craig, Permits  
Nancy Jacobson, Design  
Tiffany Kautz, Right-of-Way  
Ryan Coddington, Area Engineer  
Clare Lackey, Traffic  
Kaare Festvog, Traffic  
Russell Owen, Metropolitan Council



March 26, 2014

To Whom It May Concern:

We respectfully request your review for the conditional use permit for the White Pines Supper Club and Banquet Facility.

We feel this use for this particular site meets the comprehensive plan and indeed enhances the Highway 96 and Manning Avenue corridor. Our project puts emphasis on the rural character of the area. The architecture responds to this flavor as well as the site development design.

Our project is screened by the numerous existing coniferous trees as well as numerous transplanted trees within the existing site.

The architecture proposed for the facility shall consist of a one story ("residential flavor") building. The large overhangs and natural materials of wood and stone represent a timeless architectural style.

We are proposing numerous window openings and central entrance tower that serves both the banquet area and supper club. The design also includes a north facing patio space and connections to the sporting event fields.

The interior space shall include some vaulted wood clad ceilings and beams along with a traditional, warm and inviting feel.

The facility will be on a septic and well system.

The supper club and banquet facility will serve both food and beverage (alcohol). The supper club will serve the banquet facility. The hours of operation are 11:00 a.m. - 1:00 a.m. Numerous sporting events including softball, bocce ball, volleyball and miniature golf activities are being considered. We are anticipating employing ~15-20 people.

We feel the project will be an asset to the City of Grant.

Thank you for the opportunity to provide you this proposal. If you should have any questions, please feel free to call.

Sincerely,

Ed Schmidt  
White Pines Supper Club & Banquet Facility  
Work: 651-439-1910  
Cell: 612-889-9832

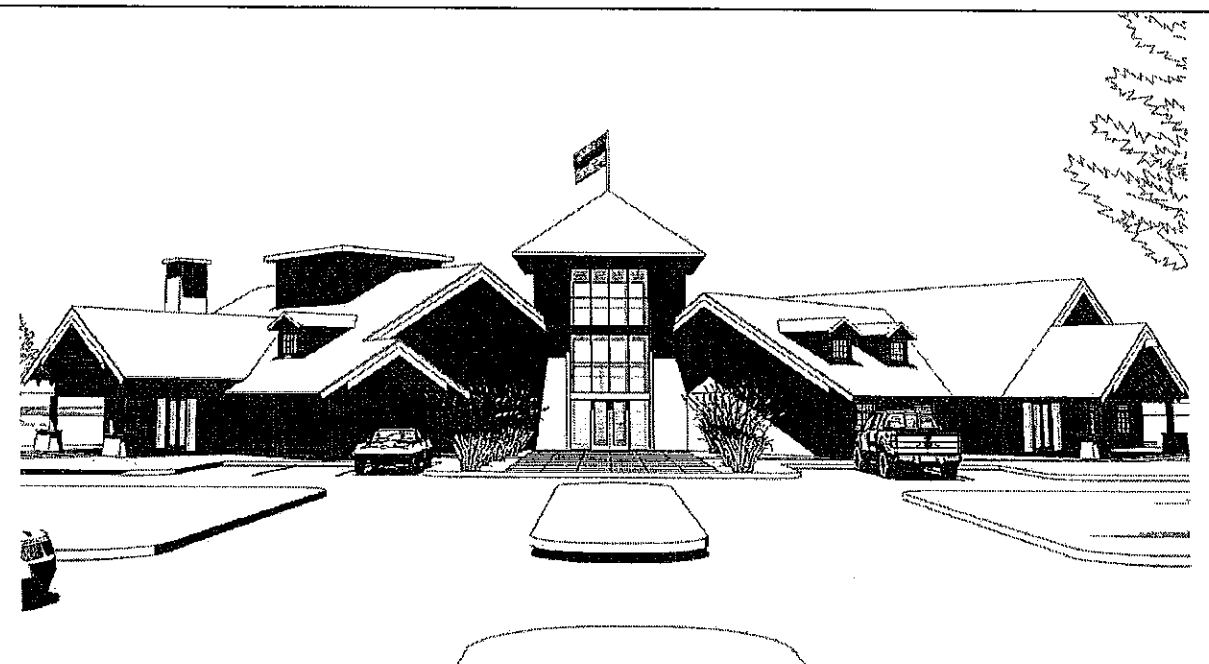
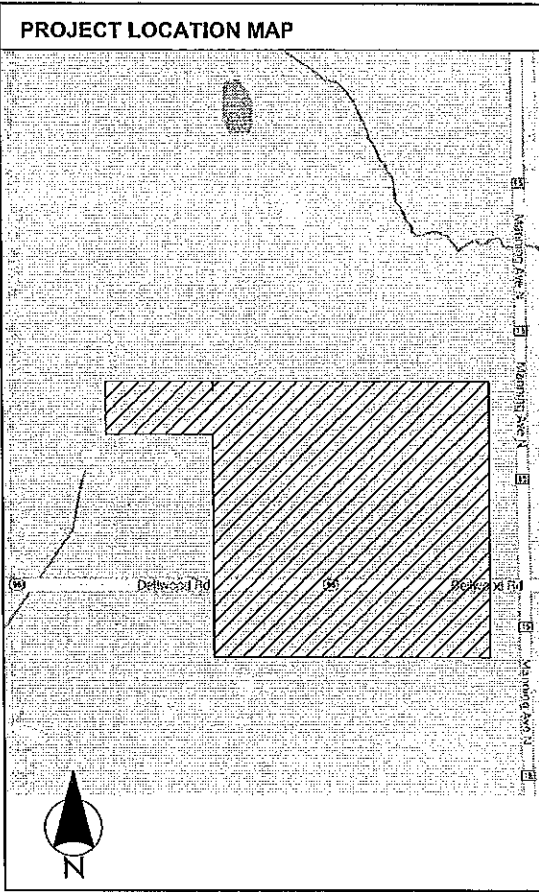
SUMMARY OF SALIENT FACTS

PROPERTY OWNER: Edward and Kathleen Schmidt

PROPERTY ADDRESS: Manning Avenue N. and Dellwood Road  
Grant, MN 55082

LEGAL DESCRIPTION: THAT PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 30, RANGE 21 WEST, LYING SOUTHERLY OF A LINE DESCRIBED AS COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 13; THENCE NORTH 00 DEGREES 00 MINUTES, ASSUMED BEARING ALONG THE EAST LINE OF SAID SECTION 13, A DISTANCE OF 965.00 FEET TO THE POINT OF BEGINNING; THENCE WEST 00 DEGREES 00 MINUTES 00 SECONDS TO THE WEST LINE OF SAID EAST HALF OF THE SOUTHEAST QUARTER. SAID LINE IS HEREINAFTER REFERRED TO AS LINE A. ALSO EXCEPT THAT PART OF THE WEST 452.00 FEET THEREOF LYING SOUTHERLY OF A LINE 200 FEET SOUTHERLY FROM AND PERPENDICULAR TO THE PREVIOUSLY DESCRIBED LINE A. Section 13 Township 30 Range 21

ZONING: A2 – Agricultural Small Scale



# SUPPER CLUB/BANQUET FACILITY

1 1 7 7 0 D E L L W O O D R O A D N O R T H  
S T I L L W A T E R , M N 5 5 0 8 2

### SHEET INDEX

<b>CIVIL</b>	
C1.1	EXISTING CONDITIONS & DEMOLITION PLAN
C2.1	OVERALL SITE PLAN & PRIVATE UTILITY PLAN
C2.2	ENLARGED SITE PLAN
C3.1	OVERALL GRADING & EROSION CONTROL PLAN
C3.2	ENLARGED GRADING PLAN
C3.3	GRADING DETAILS
<b>L1.1</b>	TREE PRESERVATION PLAN
L2.1	LANDSCAPE PLAN
L2.2	LANDSCAPE DETAILS
	SWPPP PLAN
<b>ARCHITECTURAL</b>	
T1	TITLE SHEET
A1.2	SUPPER CLUB MAIN LEVEL FLOOR PLAN
A1.4	BANQUET FACILITY MAIN LEVEL FLOOR PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A2.3	ELEVATIONS
A2.4	ELEVATIONS
A2.5	ELEVATIONS

**HAF GROUP**  
ARCHITECTURE DEVELOPMENT CONSTRUCTION  
233 SOUTH MAIN STREET  
STILLWATER, MN 55082  
PHONE: 651.351.1700  
FAX: 651.420.0180

**HAF ARCHITECTS**  
HORNER ARCHITECTS INC.  
ARCHITECTURE PLANNING INTERIORS  
233 SOUTH MAIN ST.  
STILLWATER, MN  
PHONE: 651.351.1700  
FAX: 651.420.0180

**HAF CONSTRUCTION**  
US EPA - CONSTRUCTION - LLC  
233 SOUTH MAIN ST.  
STILLWATER, MN  
PHONE: 651.351.1700  
FAX: 651.420.0180

### MATERIAL HATCHES (SECTION CUTS)

EARTH/COMPACTED FILL	CONCRETE MASONRY UNITS
POURED CONCRETE	MASONRY VENEER
STONE	STEEL
ROUGH WOOD	PLYWOOD (LARGE SCALE)
FINISH WOOD (LARGE SCALE)	BATT INSULATION
RIGID INSULATION	BLOWN INSULATION
CEILING TILE (LARGE SCALE)	GYPSTUM BOARD (LARGE SCALE)
GRANULAR FILL	POURED CONCRETE (PLAN)
GYPSTUM BOARD CEILING (PLAN)	

### GRAPHIC SYMBOLS

GRID	FIRE EXTINGUISHER CABINET
SECTION	TACK BOARD
EXTERIOR ELEVATION	MARKER BOARD
DETAIL	PROJECTION SCREEN
INTERIOR ELEVATION	MIRROR
ELEVATION MARKER	SOIL BORING
SITE GRADE ELEVATIONS	LINE TYPES

### IDENTIFIERS

DOOR	ROOM NAME AND NUMBER
WINDOW AND BORROWED LITE	WALL TYPE
PLANTINGS	CONSTRUCTION NOTE
DEMOLITION NOTE	FIXTURE MOUNTING HEIGHT SCHEDULE ELEV. MARK

### TITLE BLOCK AND SHEET INFORMATION

TITLE MARK	NORTH ARROW
------------	-------------

### WALL KEY

[Symbol]	EXISTING WALL
[Symbol]	NEW WALL
[Symbol]	REMOVED WALL
[Symbol]	1-HOUR FIRE BARRIER WALL
[Symbol]	2-HOUR FIRE BARRIER WALL
[Symbol]	14-HOUR FIRE PARTITION WALL

### CODE NOTES

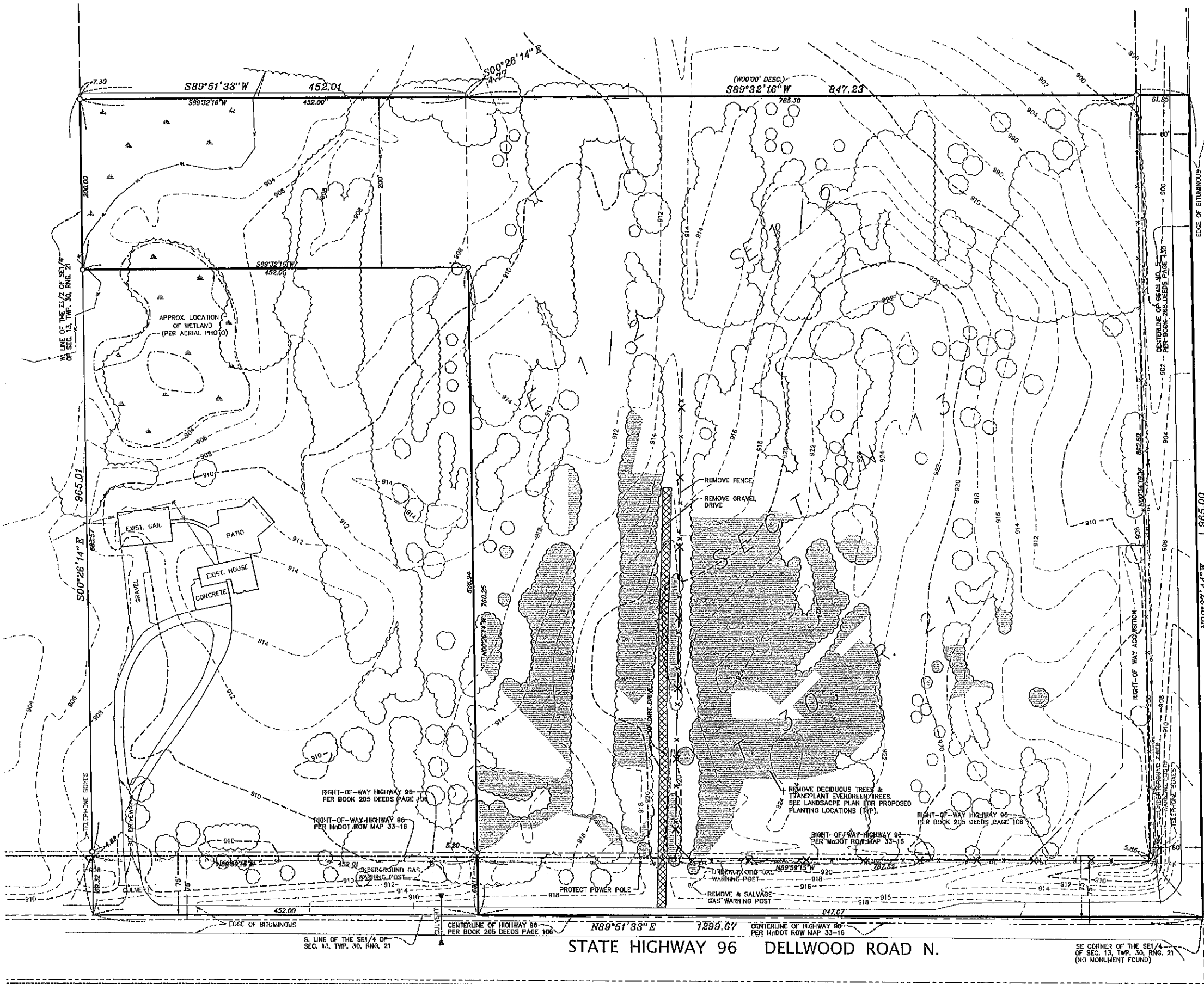
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DATE	REVISED	NOTES
03-12-14	ADRIAN HARTZ	MEETING
03-18-14	MEETING	
03-27-14	ADRIAN HARTZ	

**WHITE PINES SUPPER CLUB AND BANQUET FACILITY**  
11770 DELLWOOD ROAD NORTH  
STILLWATER, MN 55082

Project No.	1430
Date Iss.	04/23/14
Author	ADRIAN HARTZ
Checked by	ADRIAN HARTZ

SHEET INFORMATION:  
TITLE SHEET:  
**T1**



**NOTES**

1. BACKGROUND INFORMATION TAKEN FROM BOUNDARY SURVEY PERFORMED BY CORNERSTONE LAND SURVEYING, INC., STILLWATER, MINNESOTA, ON JANUARY 3, 2013. TOPOGRAPHIC SURVEY AND TREE INVENTORY TAKEN FROM AERIAL PHOTOGRAPHY OF THE PUBLIC WORKS DEPARTMENT SURVEY AND LAND MANAGEMENT DIVISION, WASHINGTON COUNTY, DATED OCTOBER 4, 2012.

**DEMOLITION NOTES**

1. ALL NECESSARY PERMITS FOR DEMOLITION SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BEGINNING WORK.
2. CONSTRUCTION ENTRANCE AND SILT FENCE (SHEET C3.1) SHALL BE IN PLACE PRIOR TO DEMOLITION OPERATIONS. PROTECT ALL ADJACENT LANDS FROM DAMAGE DURING DEMOLITION WORK. ANY OFF-SITE AREAS DISTURBED SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION.
3. THE LOCATIONS, SIZES AND TYPES OF ALL EXISTING UTILITIES, SUCH AS WATERMANS, SEWERS, ETC. AS SHOWN ON THESE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATIONS SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION AND HAVE THEIR FACILITIES LOCATED IN THE FIELD PRIOR TO ANY WORK BEING DONE. CONTRACTOR SHALL CONTACT UTILITY LOCATION SERVICE PRIOR TO COMMENCEMENT OF WORK.
4. NO DEMOLITION MATERIALS SHALL BE DISPOSED OF ON-SITE. REMOVE EXISTING MATERIALS FROM THE SITE IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL REQUIREMENTS.
5. PROTECT ALL STRUCTURES NOT LABELED FOR DEMOLITION FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION. REPAIR ANY DAMAGED STRUCTURES THAT ARE TO REMAIN TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION AT NO ADDITIONAL COST.
6. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
7. NOTIFY ENGINEER OF DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS.
8. COORDINATE ALL UTILITY RELOCATIONS WITH THE APPROPRIATE UTILITY COMPANIES. PROVIDE UNINTERRUPTED SERVICE TO ALL NEIGHBORING BUILDINGS.

**LEGAL DESCRIPTION**

That part of the East Half of the Southeast Quarter of Section 13, Township 30, Range 21 West, lying southerly of a line described as commencing at the southeast corner of said Section 13; thence North 00 degrees 00 minutes, assumed bearing, along the east line of said Section 13, a distance of 965.00 feet to the point of beginning; thence West 00 degrees 00 minutes 00 seconds to the west line of said East Half of the Southeast Quarter. Said line is hereinafter referred to as Line A.

Also except that part of the west 452.00 feet thereof lying southerly of a line 200 feet southerly from and perpendicular to the previously described Line A.

GROSS AREA = 906,169 SQ. FT. = 20.80 ACRES  
 MANNING R-O-W AREA = 54,822 SQ. FT. = 1.26 ACRES  
 HWY. 96 R-O-W AREA = 59,771 SQ. FT. = 1.35 ACRES  
 MANNING R-O-W ACQUISITION = 17,145 SQ. FT. = 0.39 ACRES  
 AREA MINUS R/W = 777,426 SQ. FT. = 17.85 ACRES

**LEGEND**

- DENOTES MONUMENT SET AND MARKED RLS 25718
- DENOTES FOUND MONUMENT AS MARKED
- ⊙ DENOTES FOUND RIGHT OF WAY DISC
- ⊠ UTILITY POLE
- ☒ TELE/ELEC BOX
- ⊞ ELECTRIC/GAS METER
- OVERHEAD UTILITY LINE
- FENCE
- CURB
- ▨ REMOVE GRAVEL
- ▩ TRANSPLANT TREES
- ✕ REMOVE STRUCTURE

SEE SHEET C3.1 FOR EROSION CONTROL FENCE

SEE SHEET L.1.1 FOR TREE PRESERVATION



**ED SCHMIDT**  
 11205 ST. CROIXTRAIL  
 STILLWATER, MN 55062

**PROJECT**  
 WHITE PINES  
 SUPPER CLUB &  
 BANQUET FACILITY  
 GRANT,  
 MINNESOTA

**SHEET INDEX**  
 PRELIMINARY  
 SUBMITTAL  
 03/27/14

**ISSUE**      **DATE**  
 PRELIMINARY SUBMITTAL      03/27/14

**SHEET INDEX**

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C3.3	GRADING DETAILS
L1.1	TREE PRESERVATION PLAN
L2.1	LANDSCAPE PLAN
L2.2	LANDSCAPE DETAILS
SWPPP	SWPPP PLAN



P.O. BOX 357  
 LONG LAKE, MN 55358  
 PHONE: 612-382-4804  
 www.elanlab.com

**CERTIFICATION**  
 I hereby certify that this plan was prepared by me, or under my direct supervision, and I am a duly Licensed Professional Engineer in the State of Minnesota.

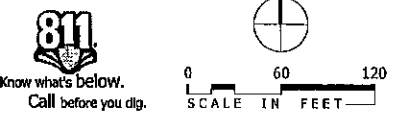
**NO FOR CONSTRUCTION**

Stephen M. Johnston      DATE  
 REGISTRATION NO. 18914      03/27/14

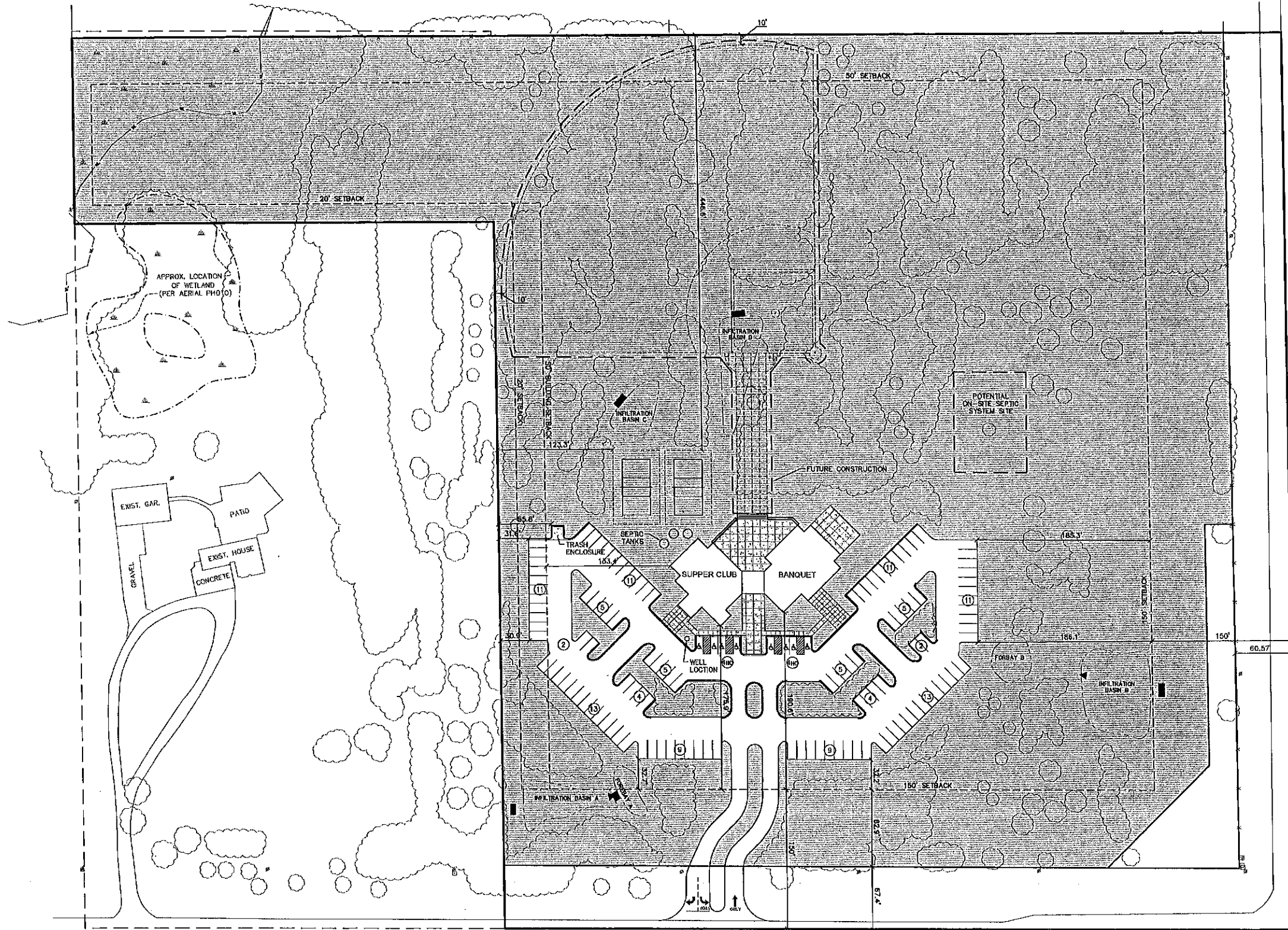
SHEET

**C1.1**  
 EXISTING CONDITIONS &  
 DEMOLITION PLAN

PROJECT NO.  
 ZZZ14002



C101ZZ02.DWG



**NOTES**

1. BACKGROUND INFORMATION TAKEN FROM BOUNDARY SURVEY PERFORMED BY CORNERSTONE LAND SURVEYING, INC., STILLWATER, MINNESOTA, ON JANUARY 3, 2013. TOPOGRAPHIC SURVEY AND TREE INVENTORY TAKEN FROM AERIAL PHOTOGRAPHY OF THE PUBLIC WORKS DEPARTMENT SURVEY AND LAND MANAGEMENT DIVISION, WASHINGTON COUNTY, DATED OCTOBER 4, 2012.

**SITE PLAN SUMMARY**

EXISTING ZONING: A2 - AGRICULTURAL SMALL SCALE DISTRICT		
MINIMUM SETBACKS	REQUIRED	PROPOSED
FRONT YARD	65'	115'
FRONT YARD FROM ARTERIAL ROAD CENTERLINE	150'	192'
SIDE YARD	20'	30'
SIDE YARD (COMMERCIAL BUILDING SETBACK FROM RESIDENTIAL)	50'	55'
REAR YARD	50'	446'

**AREA SUMMARY**

SITE	906,169 SF. (20.80 AC.)
RIGHT-OF-WAY	115,695 SF. (2.56 AC.)
C.S.A.H 15 RIGHT-OF-WAY ACQUISITION	17,148 SF. (0.39 AC.)
<b>SITE PROJECT</b>	<b>777,426 SF. (17.85 AC.)</b>
IMPERVIOUS	85,133 SF. (11%)
BUILDING & TRASH	9,970 SF. (12%)
PAVEMENT (PATIO, PARKING, & WALK)	75,163 SF. (88%)
PERVIOUS	692,293 SF. (89%)

**PARKING SUMMARY**

PROPOSED PARKING = 128 STALLS  
 8'-8'x20' ACCESSIBLE STALLS WITH 8'x20' ACCESS AISLE  
 120-10'x20' STALLS

**LEGEND**

CONCRETE PAVEMENT



**ED SCHMIDT**  
 11205 ST. CROIX TRAIL  
 STILLWATER, MN 55082

**PROJECT**  
**WHITE PINES**  
**SUPPER CLUB &**  
**BANQUET FACILITY**  
 GRANT,  
 MINNESOTA

**SHEET INDEX**  
**PRELIMINARY**  
**SUBMITTAL**  
 03/27/14

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PRELIMINARY SUBMITTAL	03/27/14

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L2.1	LANDSCAPE PLAN
L2.2	LANDSCAPE DETAILS
SWPPP	SWPPP PLAN



P.O. BOX 357  
 LONG LAKE, MN 55386  
 PHONE: 612-362-004  
 www.elanlab.com

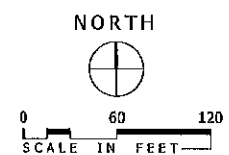
**CERTIFICATION**

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer in the State of Minnesota.

**NO FOR CONSTRUCTION**

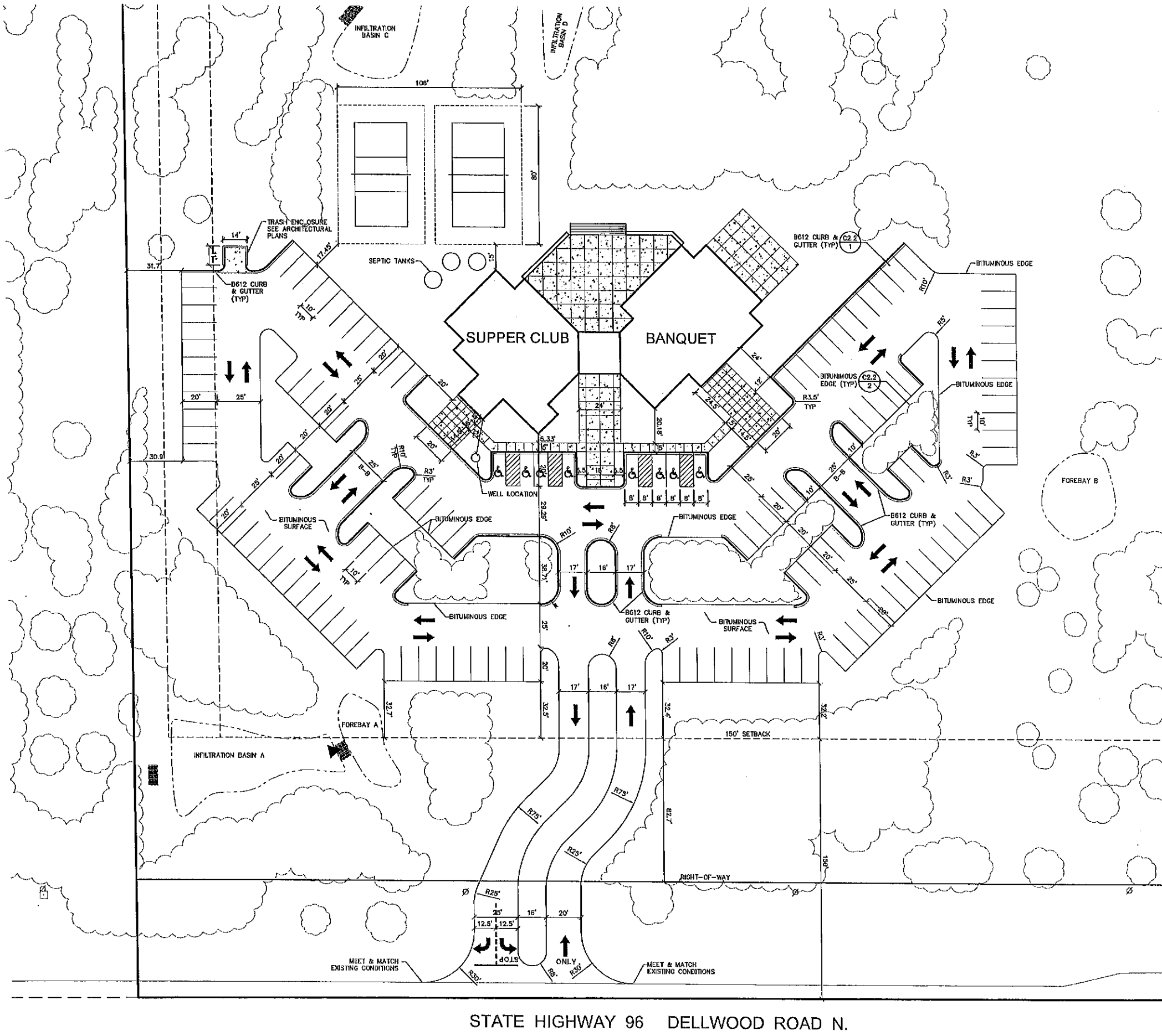
Stephen M. Johnston      DATE  
 REGISTRATION NO. 18914      03/27/14

SHEET



**C2.1**  
 SITE PLAN

PROJECT NO.  
**ZZZ14002**



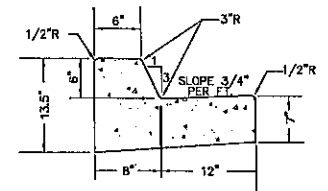
**NOTES**

- BACKGROUND INFORMATION TAKEN FROM BOUNDARY SURVEY PERFORMED BY CORNERSTONE LAND SURVEYING, INC., STILLWATER, MINNESOTA, ON JANUARY 3, 2013. TOPOGRAPHIC SURVEY AND TREE INVENTORY TAKEN FROM AERIAL PHOTOGRAPHY OF THE PUBLIC WORKS DEPARTMENT SURVEY AND LAND MANAGEMENT DIVISION, WASHINGTON COUNTY, DATED OCTOBER 4, 2012.
- DIMENSIONS SHOWN ON THIS PLAN ARE TO EDGE OF PAVEMENT, BACK OF CURB, AND BUILDING FACE.
- PARKING STALLS TO BE STRIPED WITH A 4" WIDE WHITE PAINTED STRIPE. HANDICAP ACCESSIBLES TO BE PAINTED WITH A 4-INCH WIDE YELLOW PAINTED STRIPE 18 INCHES ON CENTER AND AT 45 DEGREE ANGLES TO STALL.

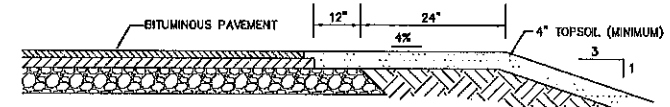
**LEGEND**



CONTROL JOINTS SHALL CONFORM WITH MNDOT SPEC. 2531.3C. (10' SPACING) CONTROL JOINTS SHALL EXTEND TO BOTH THE FRONT AND BACKS OF THE CURB AND BE 2" DEEP.



1 B612 CURB & GUTTER NO SCALE



2 BITUMINOUS EDGE NO SCALE



**ED SCHMIDT**  
11205 ST. CROIX TRAIL  
STILLWATER, MN 55082

PROJECT  
**WHITE PINES SUPPER CLUB & BANQUET FACILITY**  
GRANT, MINNESOTA

SHEET INDEX  
**PRELIMINARY SUBMITTAL**  
03/27/14

ISSUE	DATE
PRELIMINARY SUBMITTAL	03/27/14

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P.O. BOX 357  
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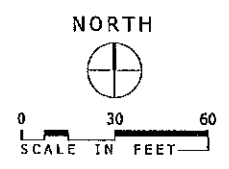
**CERTIFICATION**  
I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer in the State of Minnesota.

**NO FOR CONSTRUCTION**

Stephen M. Johnston DATE  
REGISTRATION NO. 18914 03/27/14

SHEET  
**C2.2**  
ENLARGED SITE PLAN

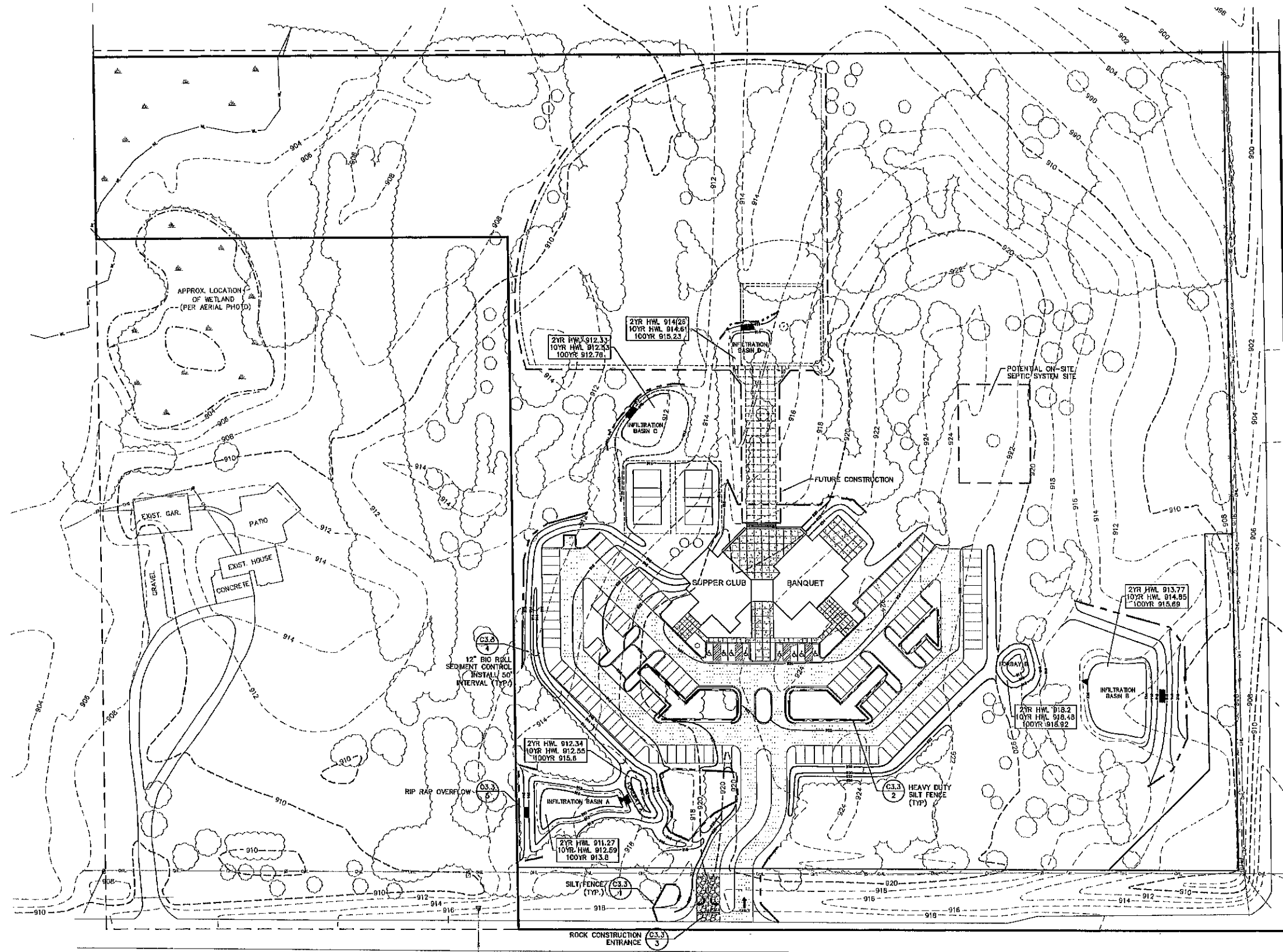
PROJECT No.  
**ZZZ14002**



**GRADING NOTES**

- BACKGROUND INFORMATION TAKEN FROM BOUNDARY SURVEY PERFORMED BY CORNERSTONE LAND SURVEYING, INC., STILLWATER, MINNESOTA, ON TOPOGRAPHIC SURVEY AND TREE INVENTORY TAKEN FROM AERIAL PHOTOGRAPHY OF THE PUBLIC WORKS DEPARTMENT SURVEY AND LAND MANAGEMENT DIVISION, WASHINGTON COUNTY, DATED OCTOBER 4, 2012.
  - VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
  - SEE SHEET C1.1 AND L1.1 FOR ALL DIRECTION AND REQUIREMENTS PERTAINING TO EXISTING TREES.
  - PROTECT ALL SURFACE SITE FEATURES NOT NOTED FOR REMOVAL.
  - ALL UNDOCUMENTED FILL, TOPSOIL, AND SOFT CLAY AND SILT LAYERS SHALL BE REMOVED FROM WITHIN THE PROPOSED BUILDING PAD, PATIOS, WALKS, DRIVES AND PARKING STALLS. A GEOTECHNICAL ENGINEER OR THEIR DESIGNATED REPRESENTATIVE SHALL OBSERVE THE PROJECT EXCAVATIONS TO VERIFY THAT UNSUITABLE MATERIALS HAVE BEEN PROPERLY REMOVED FROM PROPOSED STRUCTURAL AREAS, THAT ADEQUATE BEARING SUPPORT IS PROVIDED BY THE EXPOSED SOILS AND THAT STRUCTURAL FILL IS PLACED APPROPRIATELY. THE EXPOSED SOIL AT THE BASE OF FOOTINGS SHALL BE COMPACTED TO 98 PERCENT PROCTOR DRY DENSITY (ASTM D698).
  - ON-SITE NON-ORGANIC CLAY (CL), SAND (SP, SP-SM) AND SILTY SAND (SM) ARE GENERALLY SUITABLE FOR STRUCTURAL FILL. SILTY CLAY (CL-M) AND ORGANIC SOILS SHALL NOT BE USED AS STRUCTURAL FILL. PLACEMENT OF STRUCTURAL FILL SHALL BE OBSERVED AND TESTED BY AN EXPERIENCED TECHNICIAN OR ENGINEER TO VERIFY THAT PROPER COMPACTION HAS BEEN ACHIEVED. STRUCTURAL FILL SHALL BE MOISTURE CONDITIONED (DRIED OR WETTED) AS APPROPRIATE PRIOR TO PLACEMENT. MOISTURE CONDITIONED ENGINEERED FILL SHALL BE PLACED AND COMPACTED IN LOOSE LIFTS OF 8 INCHES OR LESS. EACH LIFT OF FILL SHOULD BE COMPACTED BY LARGE VIBRATORY EQUIPMENT UNLESS THE IN-PLACE SOIL IS EQUAL TO OR GREATER THAN THE CRITERIA ESTABLISHED WITHIN THE FOLLOWING TABULATION.
- | TYPE OF CONSTRUCTION  | COMPACTION CRITERIA (% RESPECTIVE PROCTOR) |                |
|---|--|----------------|
|   | CLAY                                       | SAND OR GRAVEL |
| ENGINEERED FILL (GREEN SPACE)   | 95   | 95             |
| ENGINEERED FILL BELOW FOUNDATIONS                                     | 98   | 98             |
| ENGINEERED FILL BELOW FLOOR SLABS                                     | 98   | 98             |
| ENGINEERED FILL PLACED AS PAVEMENT                                    |  | 100            |
| AGGREGATE BASE  | N/A  | 100            |
| ENGINEERED FILL PLACED MORE THAN 3 FEET BELOW PAVEMENT AGGREGATE BASE | 95   | 95             |
| ENGINEERED FILL PLACED IN UPPER 3 FEET BELOW PAVEMENT AGGREGATE BASE  | 100  | 100            |
- SIDEWALLS SHALL BE BENCHMARKED OR SLOPED TO PROVIDE SAFE WORKING CONDITIONS AND STABILITY FOR ENGINEERED FILL PLACEMENT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ASSESSING THE STABILITY OF AND EXECUTING PROJECT EXCAVATIONS USING SAFE METHODS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR HAVING THE COMPETENT INDIVIDUAL, AS PER SUBPART P OF 29 CFR 1926.6 (FEDERAL REGISTER - OSHA), IF SOIL CORRECTION IS REQUIRED IT SHALL EXTEND 3 FEET OUTSIDE OF THE PAVEMENT OR BUILDING LIMITS PLUS ONE FOOT HORIZONTAL FOR EVERY VERTICAL FOOT OF CORRECTION.
  - IT IS RECOMMENDED THAT A SUBSURFACE DRAINAGE SYSTEM BE INSTALLED AT THE BASE OF BASEMENT FOUNDATION WALLS AND UNDER WALKS AND PATIOS. IT IS RECOMMENDED THAT SEPARATE FOUNDATION DRAINAGE SYSTEMS BE INSTALLED ON BOTH THE INTERIOR AND EXTERIOR OF THE FOUNDATION. THE DESIGN OF THESE SYSTEMS SHALL BE PROVIDED BY THE ARCHITECT.
  - THE CONTRACTOR SHALL PROTECT THE SUBGRADE FROM INCLEMENT WEATHER TO MAINTAIN STABILITY. FOLLOWING REMOVAL OF TOPSOIL AND ANY UNSUITABLE SOILS, THE RESULTING SUBGRADE SHOULD BE SCARIFIED AND RE-COMPACTED TO A DEPTH OF 12 INCHES. A PROOFROLL TEST SHOULD THEN BE PERFORMED TO DETERMINE SOFT OR UNSTABLE SUBGRADE AREAS. IF RUTTING OR LOCALIZED UNSTABLE SUBGRADE AREAS ARE OBSERVED, THESE AREAS SHOULD BE SUBJECT TO MOISTURE-COMPACTION, AND RE-COMPACTED OR REMOVED TO A STABLE DEPTH. THE PROOFROLL SHOULD BE PERFORMED WITH A TANDEM AXLE DUMP TRUCK LOADED TO GROSS CAPACITY (AT LEAST 10 TONS). ACCEPTANCE CRITERIA OF THE PROOFROLL SHALL BE LIMITED TO RUT FORMATION NO MORE THAN ONE INCH (1") DEPTH (FRONT OR REAR AXLES) AND NO PUMPING (ROLLING) OBSERVED DURING THE VISUAL INSPECTION. PROOFROLL TESTS SHOULD BE OBSERVED BY AN EXPERIENCED TECHNICIAN OR ENGINEER PRIOR TO PLACEMENT OF THE AGGREGATE BASE COURSE TO VERIFY THE SUBGRADE WILL PROVIDE ADEQUATE PAVEMENT SUPPORT.
  - PAVING
    - HEAVY DUTY BITUMINOUS
      - 1.5" BITUMINOUS WEAR (MNDOT 2360 TYPE 9.5 WEARING COURSE MIXTURE (2.8) SPWEA240B)
      - TACK COAT (MNDOT 2357)
      - 2.0" BITUMINOUS BASE (MNDOT 2360 TYPE 12.5 NON-WEARING COURSE MIXTURE (2.8) SPWB230B)
      - 6" AGGREGATE BASE (MNDOT 3138 CL5)
      - COMPACTED SUBGRADE
    - BITUMINOUS
      - 1.5" BITUMINOUS WEAR (MNDOT 2360 TYPE 9.5 WEARING COURSE MIXTURE (2.8) SPWEA240B)
      - TACK COAT (MNDOT 2357)
      - 1.5" BITUMINOUS BASE (MNDOT 2360 TYPE 12.5 NON-WEARING COURSE MIXTURE (2.8) SPWB230B)
      - 6" AGGREGATE BASE (MNDOT 3138 CL5)
      - COMPACTED SUBGRADE
    - CONCRETE WALKWAYS
      - 4.0" CONCRETE WALK
      - 6" AGGREGATE BASE (MNDOT 3138 CL6)
      - COMPACTED SUBGRADE

MANNING AVENUE N.



**STATE HIGHWAY 96 DELLWOOD ROAD N.**

**EROSION CONTROL NOTES**

- FOLLOW ALL LOCAL, COUNTY, WATERSHED, AND STATE REQUIREMENTS COVERING STORMWATER COMPLIANCE.
- INSTALL SILT FENCE AND ROCK CONSTRUCTION ENTRANCE PRIOR TO COMMENCING GRADING ACTIVITIES.
- INSPECTIONS SHALL BE CONDUCTED BY THE CONTRACTOR ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.
- AS GRADING IS EXECUTED, THE CONTRACTOR SHALL MAINTAIN / INSTALL SILT FENCE, ROCK ENTRANCES, CATCH BASIN PROTECTION AND DITCH CHECKS AS SHOWN ON THE PLAN TO MINIMIZE RUNOFF OF SEDIMENT.
- ADJACENT STREETS TO BE SCRAPPED CLEAN DAILY AND SWEEPED CLEAN WEEKLY OR MORE OFTEN AS NEEDED.

- THE CONTRACTOR SHALL LIMIT THEIR ACTIVITIES TO THE GRADING LIMITS SHOWN ON THE GRADING PLAN. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH LOCAL ORDINANCE. THE CONTRACTOR SHALL SCHEDULE THEIR OPERATIONS TO MINIMIZE THE DISTURBED AREA AT ANY GIVEN TIME.
- RESTORATION:
  - ALL DISTURBED NON-PAVED AREAS SHALL BE RESTORED WITH A MINIMUM OF SIX INCHES (6") OF TOPSOIL AND SEED AS DIRECTED BY THE ENGINEER, WITHIN 7 DAYS FOLLOWING COMPLETION OR SUSPENSION OF GRADING ACTIVITY IN THAT PARTICULAR AREA.
  - ALL SEED, SOD, MULCH AND FERTILIZER PLACEMENT SHALL CONFORM WITH MNDOT SPECIFICATION 2575, AND AS MODIFIED BELOW:

ITEM	MNDOT SPECIFICATION NUMBER	3878
SOD		
SEED - EROSION CONTROL (TYPE 25-13) LOW MAINTENANCE TURF (Q220 LB/AC)	3878	
MULCH - HYDROMULCH WITH TACTIFIER (TYPE 6 HYDRAULIC SOIL STABILIZER) FERTILIZER	3882	
	3881	

- FOLLOW SEEDING METHOD, SEEDING INSTALLATION, AND SITE PREPARATION AS PER THE MNDOT SEEDING MANUAL 2014 UNLESS NOTED OTHERWISE ON THE LANDSCAPE PLANS OR IN THE SPECIFICATION BOOKLET.
- SEE SWPPP PLAN FOR ADDITIONAL REQUIREMENTS.

- LEGEND**
- SILT FENCE
  - HEAVY DUTY SILT FENCE
  - ROCK CONSTRUCTION ENTRANCE
  - HEAVY DUTY BITUMINOUS PAVING

SEE SHEET L2.1 FOR SEEDING

NORTH

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ARCHITECTURE  
ENGINEERING  
CONSTRUCTION

111 SOUTH MAIN, SUITE 100  
STILLWATER, MN 55081  
PHONE: 612-382-1844

**ED SCHMIDT**  
11205 ST. CROIX TRAIL  
STILLWATER, MN 55082

**PROJECT**  
**WHITE PINES SUPPER CLUB & BANQUET FACILITY**  
GRANT, MINNESOTA

**SHEET INDEX**  
**PRELIMINARY SUBMITTAL**  
03/27/14

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C2.2	ENLARGED SITE PLAN
C3.1	GRADING & EROSION CONTROL PLAN
C3.2	ENLARGED GRADING PLAN & PRIVATE UTILITY PLAN
C3.3	GRADING DETAILS
L1.1	TREE PRESERVATION PLAN
L2.1	LANDSCAPE PLAN
L2.2	LANDSCAPE DETAILS
SWPPP	SWPPP PLAN

**Elan DESIGN LAB**

P.O. BOX 357  
LONG LAKE, MN 55356  
PHONE: 612-382-4864  
www.elanlab.com

**CERTIFICATION**

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer in the State of Minnesota.

**NO FOR CONSTRUCTION**

Stephen M. Johnston      DATE  
REGISTRATION NO. 16914      03/27/14

**SHEET**

**C3.1**  
OVERALL GRADING & EROSION CONTROL PLAN

PROJECT NO. ZZ14002  
C301ZZZ02.DWG

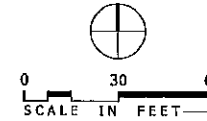
GRADING NOTES

1. BACKGROUND INFORMATION TAKEN FROM BOUNDARY SURVEY PERFORMED BY CORNERSTONE LAND SURVEYING, INC., STILLWATER, MINNESOTA, ON JANUARY 3, 2013. TOPOGRAPHIC SURVEY AND TREE INVENTORY TAKEN FROM AERIAL PHOTOGRAPHY OF THE PUBLIC WORKS DEPARTMENT SURVEY AND LAND MANAGEMENT DIVISION, WASHINGTON COUNTY, DATED OCTOBER 4, 2012.

LEGEND

- SILT FENCE
- HEAVY DUTY SILT FENCE
- BIO ROLL

NORTH



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ARCHITECTURE  
ENGINEERING  
DESIGN  
217 EQUIN, WADE, HEARST  
STILLWATER, MN 55082  
PH 651.581.1740

ED SCHMIDT  
11205 ST. CROW TRAIL  
STILLWATER, MN 55082

PROJECT  
**WHITE PINES SUPPER CLUB & BANQUET FACILITY**  
GRANT,  
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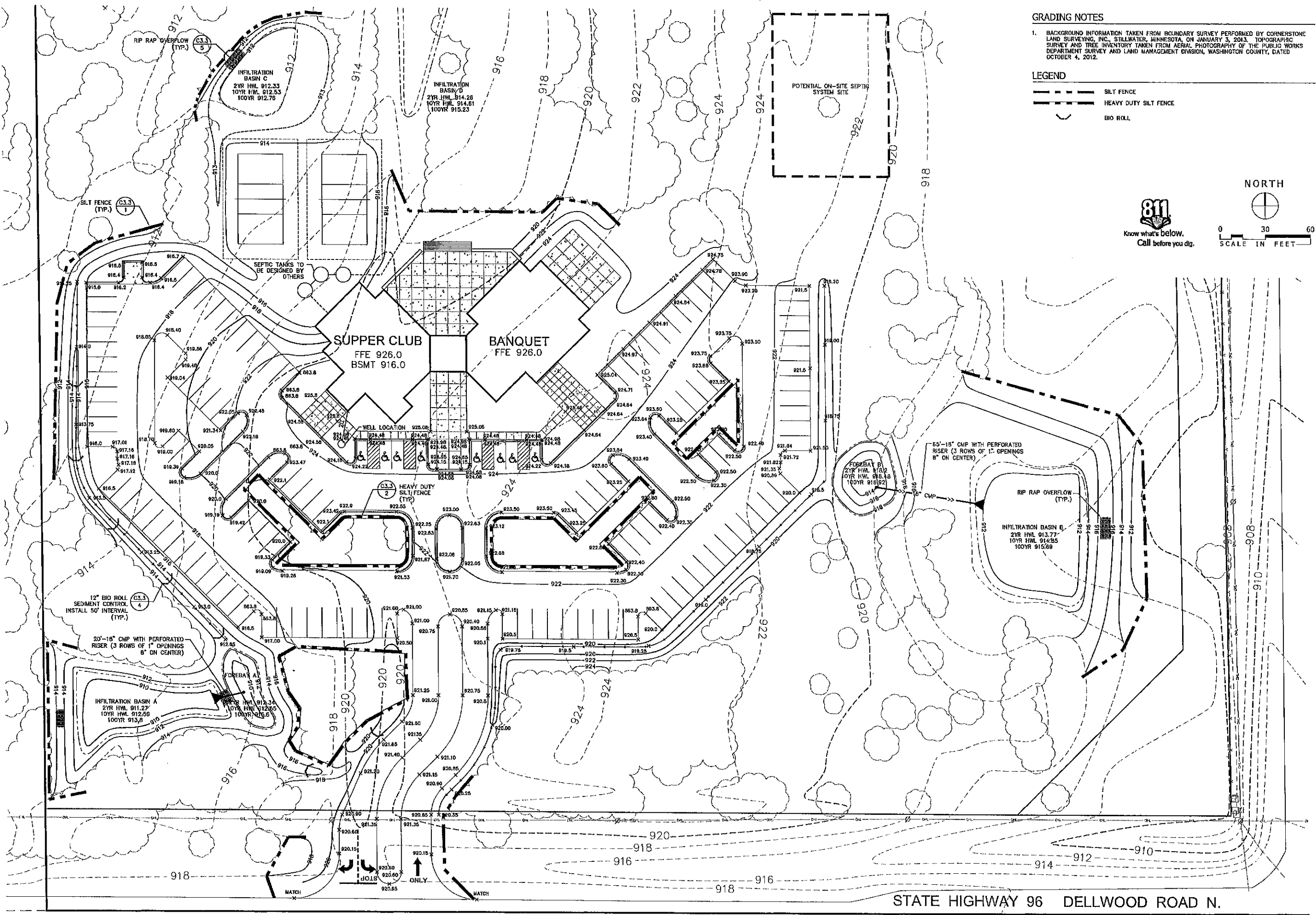
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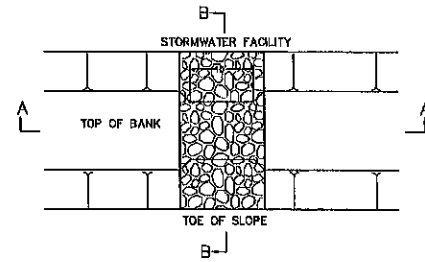
SHEET  
**C3.2**  
ENLARGED GRADING  
PLAN & PRIVATE UTILITY  
PLAN

PROJECT NO.  
**ZZZ14002**

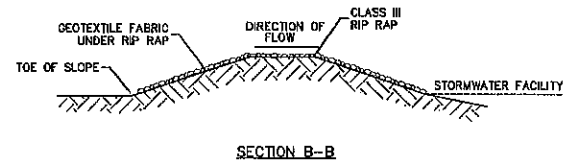
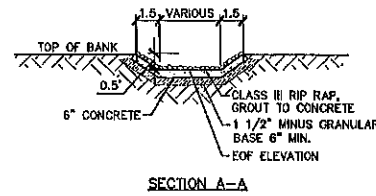


STATE HIGHWAY 96 DELLWOOD ROAD N.

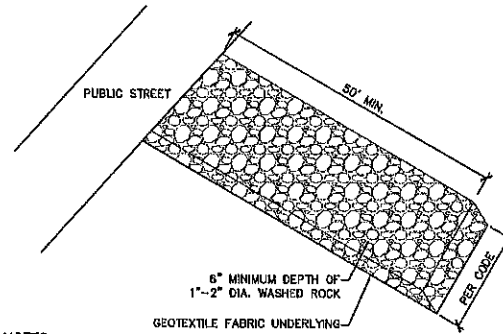




CONSTRUCT CLASS III RIP RAP (10" WIDE X 5' X 1' THICK) WITH TYPE IV GEOTEXTILE FABRIC.

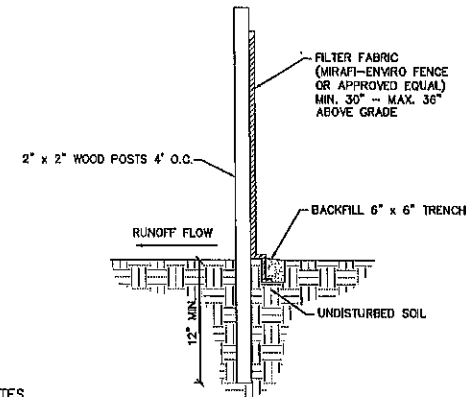


5 RIP RAP OVERFLOW NO SCALE



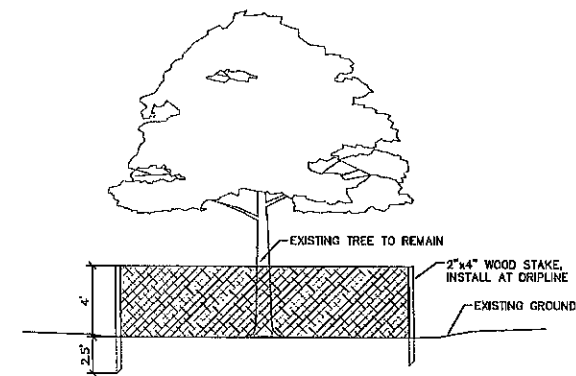
**KEYED NOTES**  
 1. MAINTAIN ROCK ENTRANCE TO PREVENT TRACKING MUD ONTO PUBLIC STREETS. ADD ROCK OR REINSTALL THE ROCK ENTRANCE AS NECESSARY.

3 ROCK CONSTRUCTION ENTRANCE NO SCALE



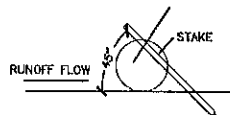
**NOTES**  
 1. DIG A 6"x6" TRENCH ALONG THE INTENDED FENCE LINE.  
 2. DRIVE ALL POSTS INTO THE GROUND AT THE DOWNHILL SIDE OF THE TRENCH.  
 3. LAY OUT SILT FENCE ON THE UPHILL SIDE ALONG THE FENCE LINE, AND BACK FILL.  
 4. SPACE WOOD POSTS UP TO 4' APART TO SUPPORT THE FABRIC.  
 5. REMOVE SILT FENCE AFTER TURF IS ESTABLISHED.

1 SILT FENCE NO SCALE

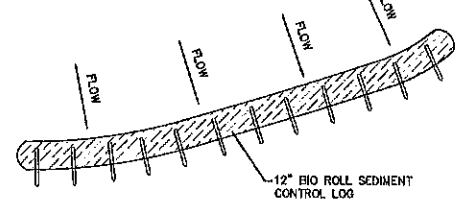


**NOTES**  
 1. INSTALL TREE PROTECTION FENCE PRIOR TO ANY LAND DISTURBANCE.  
 2. MAINTAIN TREE PROTECTION FENCE UNTIL FINAL INSTALLATION OF LANDSCAPE.  
 3. NO PARKING, STORAGE, OR OTHER CONSTRUCTION SITE ACTIVITIES WITHIN THE TREE PROTECTION AREA.

2 HEAVY DUTY SILT FENCE NO SCALE



2"x2"x16" LONG WOODEN STAKES AT 12" SPACING. STAKES SHALL BE DRIVEN THROUGH THE BACK HALF OF THE FILTER LOG AT AN ANGLE OF 45° WITH THE TOP OF THE STAKE POINTING UPSTREAM.



4 BIO ROLL SEDIMENT CONTROL NO SCALE

ED SCHMIDT  
 11205 ST. CROIX TRAIL  
 STILLWATER, MN 55082

PROJECT  
**WHITE PINES SUPPER CLUB & BANQUET FACILITY**  
 GRANT, MINNESOTA

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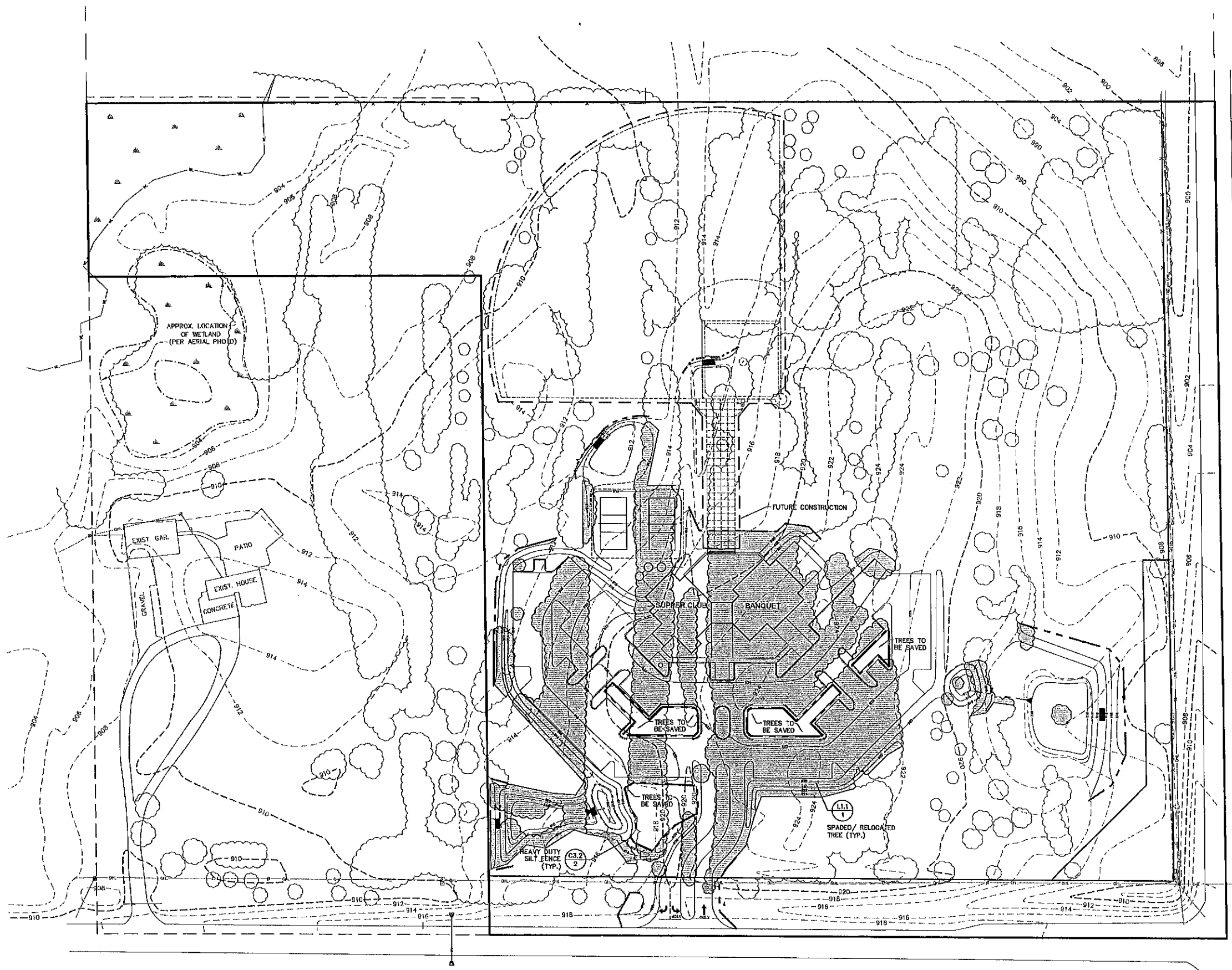
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L2.1	LANDSCAPE PLAN
L2.2	LANDSCAPE DETAILS
SWPPP	SWPPP PLAN

P.O. BOX 367  
 LONG LAKE, MN 56356  
 PHONE 612-392-4801  
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Stephan M. Johnston DATE  
 REGISTRATION NO. 18914 03/27/14

SHEET  
**C3.3**  
 GRADING DETAILS



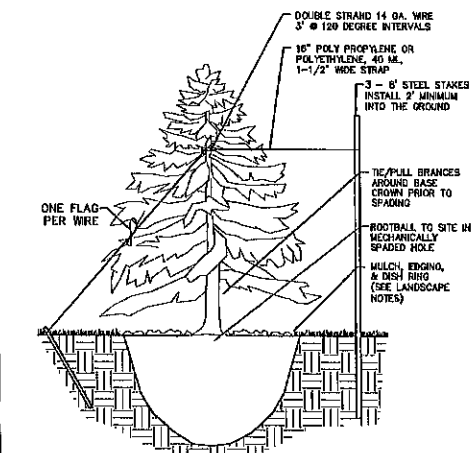
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2. NO VEGETATION CLEARING, PRUNING, SPAVING, AND REMOVAL TO BE STARTED WITHOUT COORDINATION WITH THE OWNER'S REPRESENTATIVE. TREES TO BE SAVED AND/OR RELOCATED TO BE MARKED IN THE FIELD. CONTRACTOR TO PROTECT EXISTING TREES, SHRUBS, AND VEGETATION WHERE NOTED. UNAUTHORIZED REMOVAL WILL REQUIRE REPLACEMENT AND POSSIBLE RESTITUTION.
3. NO MATERIALS, VEHICLES, OR EQUIPMENT CAN BE STORED WITHIN THE TREE PROTECTION AREAS.
4. REMOVE ALL DEAD WOOD IN TREE PROTECTION AREAS.

**LEGEND**

- SILT FENCE
- HEAVY DUTY SILT FENCE (TREE PROTECTION FENCE)
- ☐ TREES TO BE REMOVED OR TRANSPORTED AS DIRECTED BY OWNER (SEE L2.1 FOR PROPOSED PLANTING LOCATIONS)

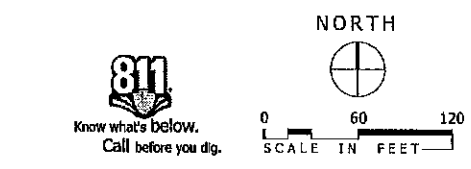
1. COORDINATE RELOCATION OF EXISTING TREES WITH GRADING CONTRACTOR. TREE SPAVE CONTRACTOR IS TO DETERMINE BEST STAGING PROCESS.
2. TREES TO BE RELOCATED HAVE BEEN TAGGED AND/OR PAINTED ON SITE.
3. IF TEMPORARY HOLDING AREA IS NECESSARY, CONTRACTOR IS RESPONSIBLE FOR WATERING, MULCHING, AND FERTILIZING TO MAINTAIN TREES IN HEALTHY CONDITIONS UNTIL TREES ARE SET IN NEW LOCATIONS.
4. MAINTAIN ORIGINAL ORIENTATION OF TREES WHEN SETTING TREES IN NEW LOCATIONS. PROVIDE PLANTING PIT AT SAME DEPTH AND WIDTH AS TREES ORIGINALLY GREW.
5. NEW LOCATIONS TO BE STAKED AND APPROVED BY OWNER PRIOR TO FINAL TRANSPLANTING.
6. PRUNE AND REMOVE ANY DAMAGED OR DEAD BRANCHES AS A RESULT OF TRANSPLANTING IMMEDIATELY.



1 SPAVED/ RELOCATED TREE NO SCALE

SEE SHEET C3.1 FOR GRADING & EROSION CONTROL PLAN

SEE SHEET L2.1 FOR PROPOSED TRANSPLANT



**HAF GROUP**  
ARCHITECTURE  
DESIGN  
CONSTRUCTION  
222 SOUTH MAIN STREET  
STILLWATER, MN 55082  
P. 612.981.1949

**ED SCHMIDT**  
11205 ST. CROIX TRAIL  
STILLWATER, MN 55082

**PROJECT**  
**WHITE PINES SUPPER CLUB & BANQUET FACILITY**  
GRANT, MINNESOTA

**SHEET INDEX**  
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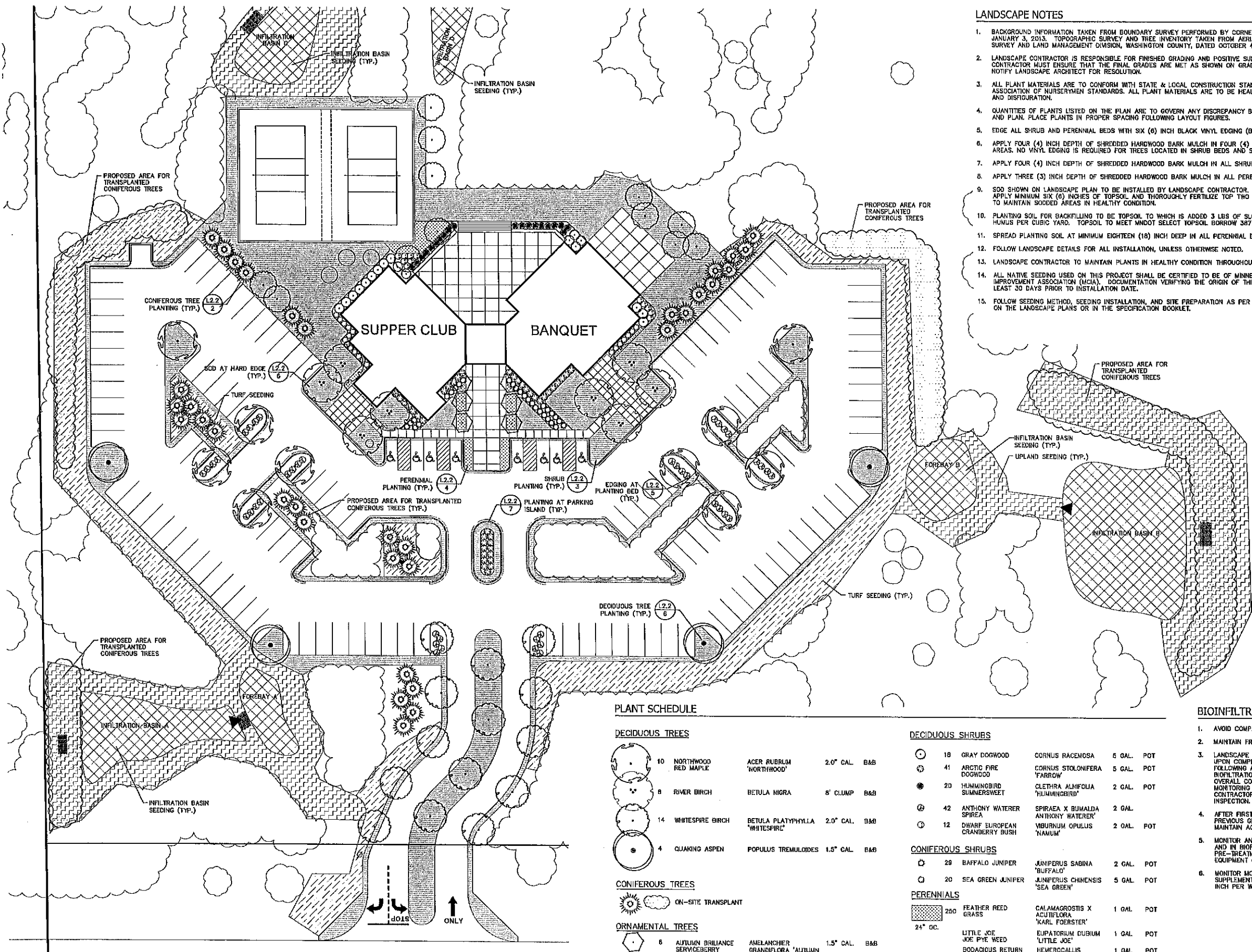
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Pilarsnee Sarathong DATE  
REGISTRATION NO. 45058 03/27/14

**SHEET**  
**L1.1**  
**TREE PRESERVATION PLAN**  
PROJECT NO. ZZZ14002



**LANDSCAPE NOTES**

1. BACKGROUND INFORMATION TAKEN FROM BOUNDARY SURVEY PERFORMED BY CORNERSTONE LAND SURVEYING, INC., STILLWATER, MINNESOTA, ON JANUARY 3, 2013. TOPOGRAPHIC SURVEY AND TREE INVENTORY TAKEN FROM AERIAL PHOTOGRAPHY OF THE PUBLIC WORKS DEPARTMENT SURVEY AND LAND MANAGEMENT DIVISION, WASHINGTON COUNTY, DATED OCTOBER 4, 2012.
2. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR MUST ENSURE THAT THE FINAL GRADES ARE MET AS SHOWN ON GRADING PLAN. IF ANY DISCREPANCIES ARE FOUND, IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT FOR RESOLUTION.
3. ALL PLANT MATERIALS ARE TO CONFORM WITH STATE & LOCAL CONSTRUCTION STANDARDS, AND THE CURRENT ADDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL PLANT MATERIALS ARE TO BE HEALTHY, HARDY STOCK, AND FREE FROM ANY DISEASES, DAMAGE, AND DISFIGURATION.
4. QUANTITIES OF PLANTS LISTED ON THE PLAN ARE TO GOVERN ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND PLAN. PLACE PLANTS IN PROPER SPACING FOLLOWING LAYOUT FIGURES.
5. EDGE ALL SHRUB AND PERENNIAL BEDS WITH SIX (6) INCH BLACK VINYL EDGING (BLACK DIAMOND OR APPROVED EQUAL).
6. APPLY FOUR (4) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN FOUR (4) FOOT DIAMETER RING AROUND ALL TREES LOCATED IN TURF AREAS. NO VINYL EDGING IS REQUIRED FOR TREES LOCATED IN SHRUB BEDS AND SEEDING AREAS.
7. APPLY FOUR (4) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN ALL SHRUB AREAS.
8. APPLY THREE (3) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN ALL PERENNIAL AREAS.
9. SOO SHOWN ON LANDSCAPE PLAN TO BE INSTALLED BY LANDSCAPE CONTRACTOR. SOO TO BE MNDOT 387&2A, FREE OF WEEDS AND DISEASE. APPLY MINIMUM SIX (6) INCHES OF TOPSOIL AND THOROUGHLY FERTILIZE TOP TWO (2) INCHES BEFORE LAYING SOO. LANDSCAPE CONTRACTOR TO MAINTAIN SOOED AREAS IN HEALTHY CONDITION.
10. PLANTING SOIL FOR BACKFILLING TO BE TOPSOIL TO WHICH IS ADDED 3 LBS OF SLOW RELEASE COMMERCIAL FERTILIZER AND 1/5 YARD OF PEAT HUMUS PER CUBIC YARD. TOPSOIL TO MEET MNDOT SELECT TOPSOIL BORROW 3877B.
11. SPREAD PLANTING SOIL AT MINIMUM EIGHTEEN (18) INCH DEEP IN ALL PERENNIAL BEDS PRIOR TO PLANTING.
12. FOLLOW LANDSCAPE DETAILS FOR ALL INSTALLATION, UNLESS OTHERWISE NOTED.
13. LANDSCAPE CONTRACTOR TO MAINTAIN PLANTS IN HEALTHY CONDITION THROUGHOUT GUARANTY PERIOD.
14. ALL NATIVE SEEDING USED ON THIS PROJECT SHALL BE CERTIFIED TO BE OF MINNESOTA (OR AS SPECIFIED) ORIGIN BY THE MINNESOTA CROP IMPROVEMENT ASSOCIATION (MCIA). DOCUMENTATION VERIFYING THE ORIGIN OF THIS SEED IS TO BE PROVIDED TO THE LANDSCAPE ARCHITECT AT LEAST 30 DAYS PRIOR TO INSTALLATION DATE.
15. FOLLOW SEEDING METHOD, SEEDING INSTALLATION, AND SITE PREPARATION AS PER THE MNDOT SEEDING MANUAL 2014 UNLESS NOTED OTHERWISE ON THE LANDSCAPE PLANS OR IN THE SPECIFICATION BOOKLET.

**LEGEND**

- SOO
- LOW MAINTENANCE COMMERCIAL TURF MNDOT SEED MIXTURE 25-131 SEEDING RATE PLS 220 LBS/AC.
- UPLAND SEED MIX MNDOT SEED MIXTURE 35-241 TEMPORARY - OATS SEEDING RATE PLS 36.5 LBS/AC.
- INFILTRATION POND MNDOT SEED MIXTURE 33-261 TEMPORARY - OATS SEEDING RATE PLS 35 LBS/AC.

**PLANT SCHEDULE**

DECIDUOUS TREES			
	10 NORTHWOOD RED MAPLE	ACER RUBRUM 'NORTHWOOD'	2.0" CAL. B&B
	8 RIVER BIRCH	BETULA NIGRA	8' CLUMP B&B
	14 WHITESPIRE BIRCH	BETULA PLATYPHYLLA 'WHITESPIRE'	2.0" CAL. B&B
	4 QUAKING ASPEN	POPULUS TREMULOIDES	1.5" CAL. B&B
CONIFEROUS TREES			
	2	ON-SITE TRANSPLANT	
ORNAMENTAL TREES			
	6 AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	1.5" CAL. B&B
	12 PAGODA DOGWOOD	CORNUS ALTERNIFOLIA	1.5" CAL. B&B

DECIDUOUS SHRUBS			
	18 GRAY DOGWOOD	CORNUS RACEMOSA	5 GAL. POT
	41 ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	5 GAL. POT
	20 HUMMINGBIRD SUMMERSWEET	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	2 GAL. POT
	42 ANTHONY WATERER SPIREA	SPIRAEA X BIMALDA ANTHONY WATERER'	2 GAL.
	12 DWARF EUROPEAN CRANBERRY BUSH	VBURNIUM OPULUS 'NAMUM'	2 GAL. POT
CONIFEROUS SHRUBS			
	29 BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	2 GAL. POT
	20 SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	5 GAL. POT
PERENNIALS			
	250 FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	1 GAL. POT
	24 LITTLE JOE	EUPATORIUM DUBIUM 'LITTLE JOE'	1 GAL. POT
	24 BODACIOUS RETURN DAYLILY	HEMEROCALLIS 'BODACIOUS RETURN'	1 GAL. POT
	24 KOBOLD BLAZING STAR	LIATRIS SPICATA 'KOBOLD'	1 GAL. POT
	24 RUSSIAN SAGE	PEROVSKIA ATRIPILICIFOLIA 'RUSSIAN SAGE'	1 GAL. POT
	24 BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'	1 GAL. POT

**BIOINFILTRATION NOTES**

1. AVOID COMPACTING SOILS IN PROPOSED BIOINFILTRATION BASIN.
2. MAINTAIN FREE FROM WEEDS AND OTHER INVASIVE PLANT MATERIAL.
3. LANDSCAPE ARCHITECT WILL INSPECT CONDITIONS OF BIOINFILTRATION BASIN UPON COMPLETION OF INSTALLATION AND GIVE WRITTEN INITIAL ACCEPTANCE. FOLLOWING ANNIVERSARY DATE LANDSCAPE ARCHITECT WILL INSPECT BIOINFILTRATION BASIN FOR FINAL ACCEPTANCE. INSPECTION WILL INCLUDE OVERALL CONDITIONS OF PLANTINGS, INDICATION OF ANY WEEDS, AND MONITORING OF ANY SEDIMENTATION. FINAL ACCEPTANCE WILL BE GIVEN TO CONTRACTOR AFTER ALL COMMENTS ARE ADDRESSED UPON THIS INSPECTION.
4. AFTER FIRST GROWING SEASON REMOVE ALL DEAD PLANT DEBRIS FROM PREVIOUS GROWING SEASON AND PRUNE SHRUBS AS NECESSARY TO MAINTAIN ACCEPTABLE APPEARANCE OF BIOINFILTRATION BASIN.
5. MONITOR AND CONTROL SEDIMENTATION IN PRE-TREATMENT AREAS (TURF) AND IN BIOINFILTRATION BASINS FOR ONE FULL YEAR. TURF IN PRE-TREATMENT AREAS SHALL BE MOWED WITH LOW GROUND PRESSURE EQUIPMENT (TO AVOID SOIL COMPACTION) TO 3-4" HEIGHT.
6. MONITOR MOISTURE IN ALL BIOINFILTRATION BASINS FOR ONE FULL YEAR. SUPPLEMENT WATER IF THERE IS INSUFFICIENT RAINFALL PER WEEK (ONE INCH PER WEEK).



**ED SCHMIDT**  
11205 ST. CROIX TRAIL  
STILLWATER, MN 55082

**PROJECT**  
WHITE PINES  
SUPPER CLUB &  
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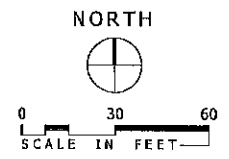
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**NO FOR CONSTRUCTION**  
Pilarinee Serrathong  
REGISTRATION NO. 45058  
DATE 03/27/14  
SHEET

**L2.1**  
LANDSCAPE PLAN  
PROJECT NO. ZZZ14002

STATE HIGHWAY 96 DELLWOOD ROAD N.



ED SCHMIDT  
11205 ST. CROIX TRAIL  
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PRELIMINARY SUBMITTAL	03/27/14

SHEET INDEX

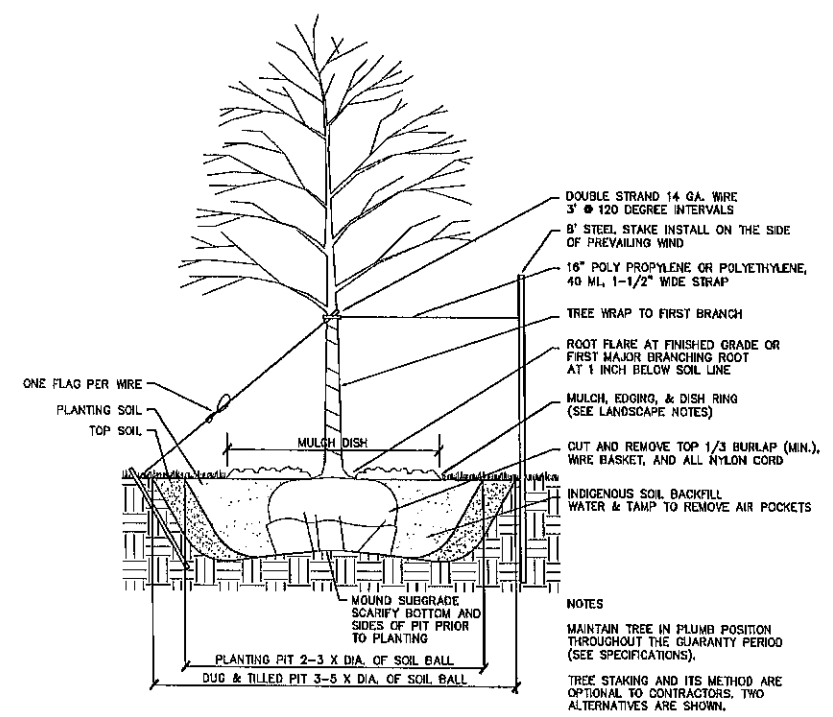
C1.1	EXISTING CONDITIONS & DEMOLITION PLAN
C2.1	SITE PLAN
C2.2	ENLARGED SITE PLAN
C3.1	GRADING & EROSION CONTROL PLAN
C3.2	ENLARGED GRADING PLAN & PRIVATE UTILITY PLAN
C3.3	GRADING DETAILS
L1.1	TREE PRESERVATION PLAN
L2.1	LANDSCAPE PLAN
L2.2	LANDSCAPE DETAILS
SWPPP	SWPPP PLAN



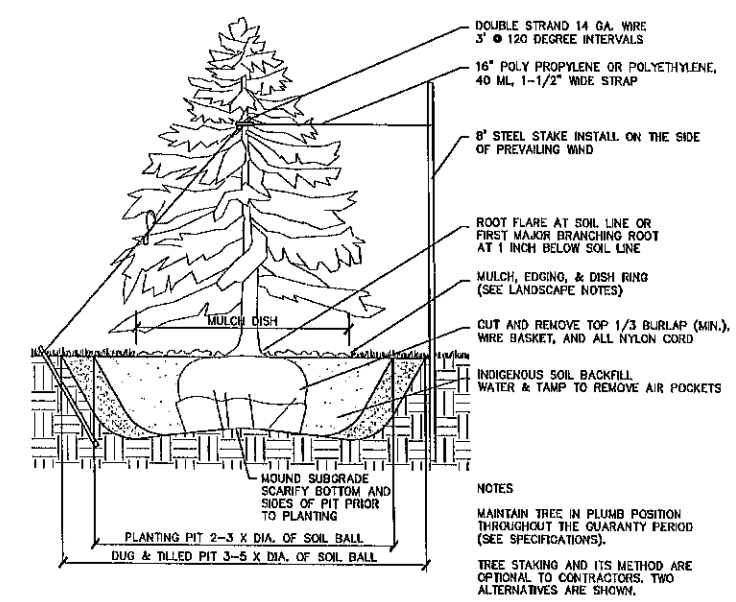
P.O. BOX 357  
LONG LAKE, MN 58365  
PHONE: 612-362-4894  
www.elanlab.com

**CERTIFICATION**  
I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Landscape Architect in the State of Minnesota.  
**NO CONSTRUCTION**  
Florance Scallthorn DATE 03/27/14  
REGISTRATION NO. 45059  
SHEET

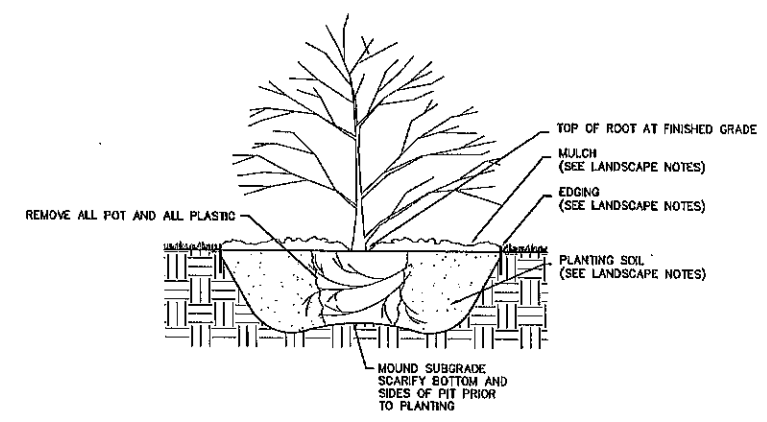
**L2.2**  
LANDSCAPE DETAILS



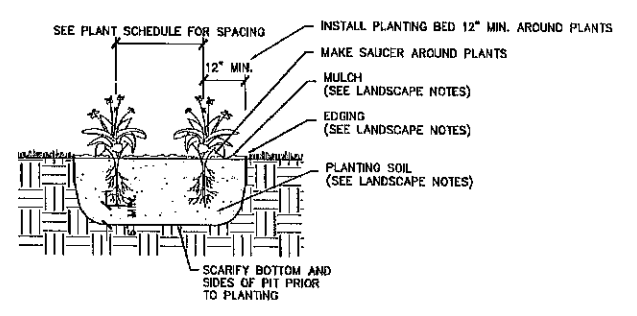
1 DECIDUOUS TREE PLANTING NO SCALE



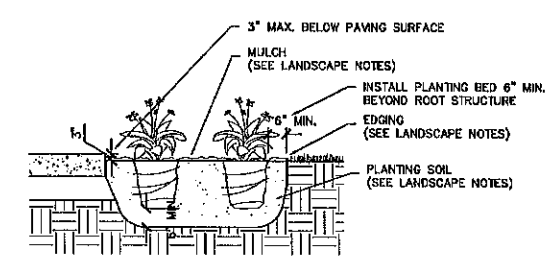
2 CONIFEROUS TREE PLANTING NO SCALE



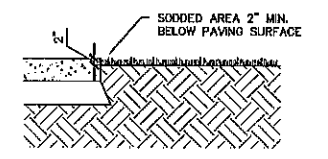
3 SHRUB PLANTING NO SCALE



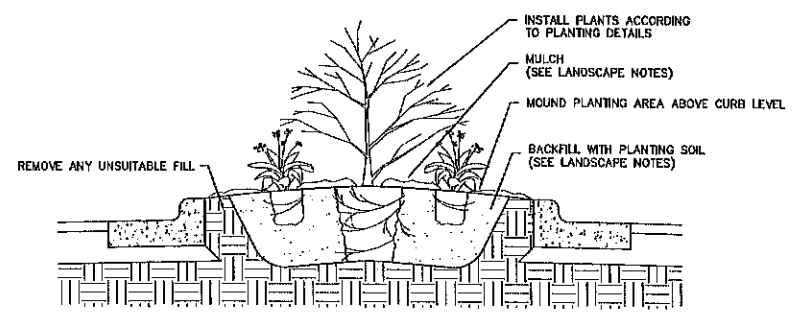
4 PERENNIAL PLANTING NO SCALE



5 EDGING AT PLANTING BED NO SCALE

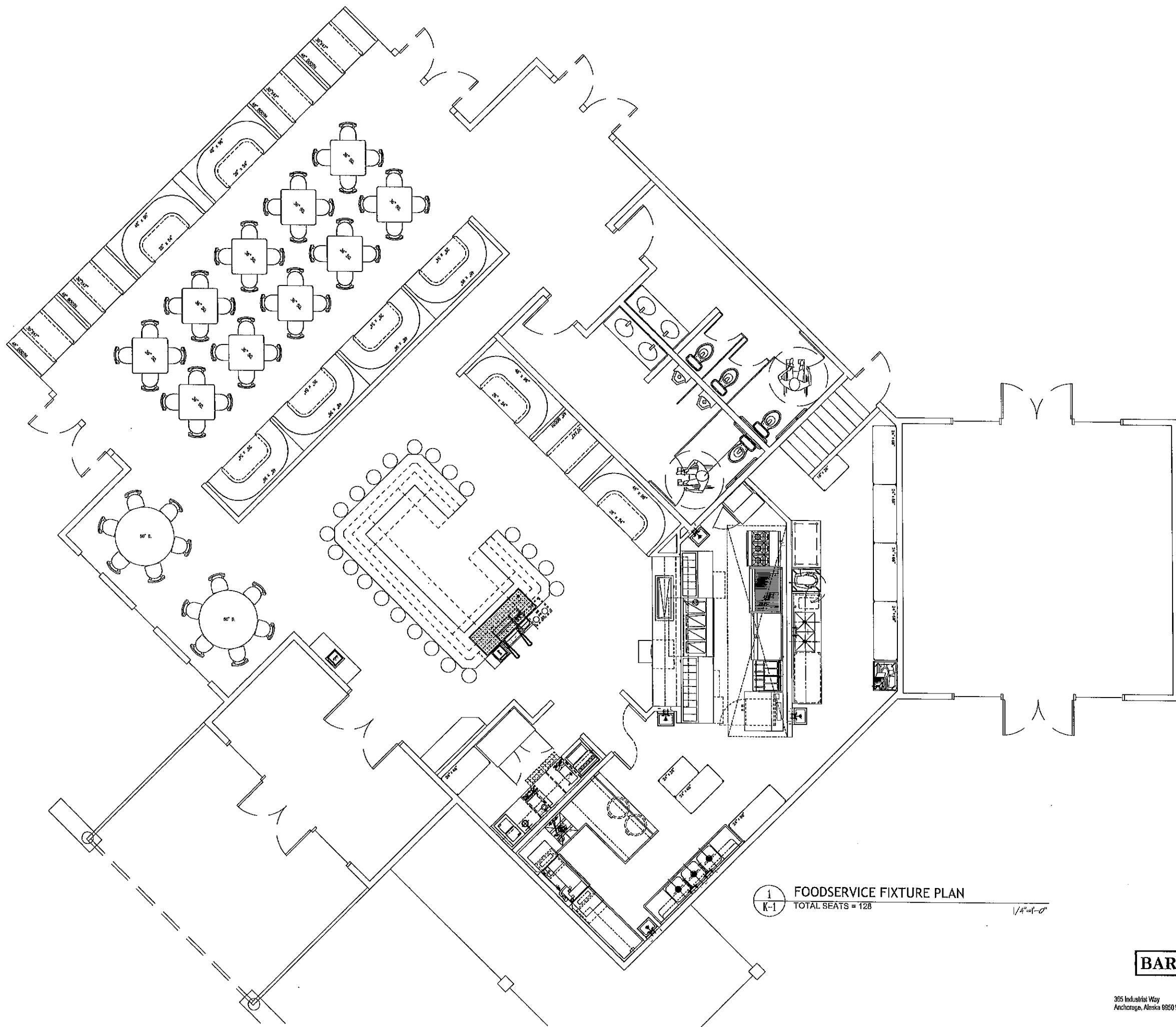


6 SOD AT HARDSCAPE EDGE NO SCALE



7 PLANTING AT PARKING ISLAND NO SCALE





1  
K-1 FOODSERVICE FIXTURE PLAN  
TOTAL SEATS = 128  
1/4" = 1'-0"

**HAF  
GROUP**  
ARCHITECTURE  
DEVELOPMENT  
CONSTRUCTION

233 SOUTH MAIN STREET  
STILLWATER, MN 55082  
P N 651.351.1740

**HAF**  
ARCHITECTS  
HOFFER ARCHITECTS LLC  
ARCHITECTURE  
PLANNING  
INTERIORS

233 SOUTH MAIN ST.  
STILLWATER, MN  
PHONE: 651.351.1740  
FAX: 651.430.0180

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233 SOUTH MAIN ST.  
STILLWATER, MN  
PHONE: 651.351.1740  
FAX: 651.430.0180

PROJECT:  
WHITE PINES SUPPER CLUB AND  
BANQUET FACILITY

11770 DELLWOOD ROAD NORTH  
STILLWATER, MN 55082

DATE	ISSUE	NOTES
05-12-10	SCHEMATIC	
05-18-10	MEETING	
05-27-10	REV. SCHEMATIC	

REVISION: CHECK THIS PLAN FOR ANY CHANGES OR ERRORS. THIS PLAN IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE ARCHITECT.

DATE: 05/27/10  
DRAWN BY: MGR  
CHECKED BY: MGR

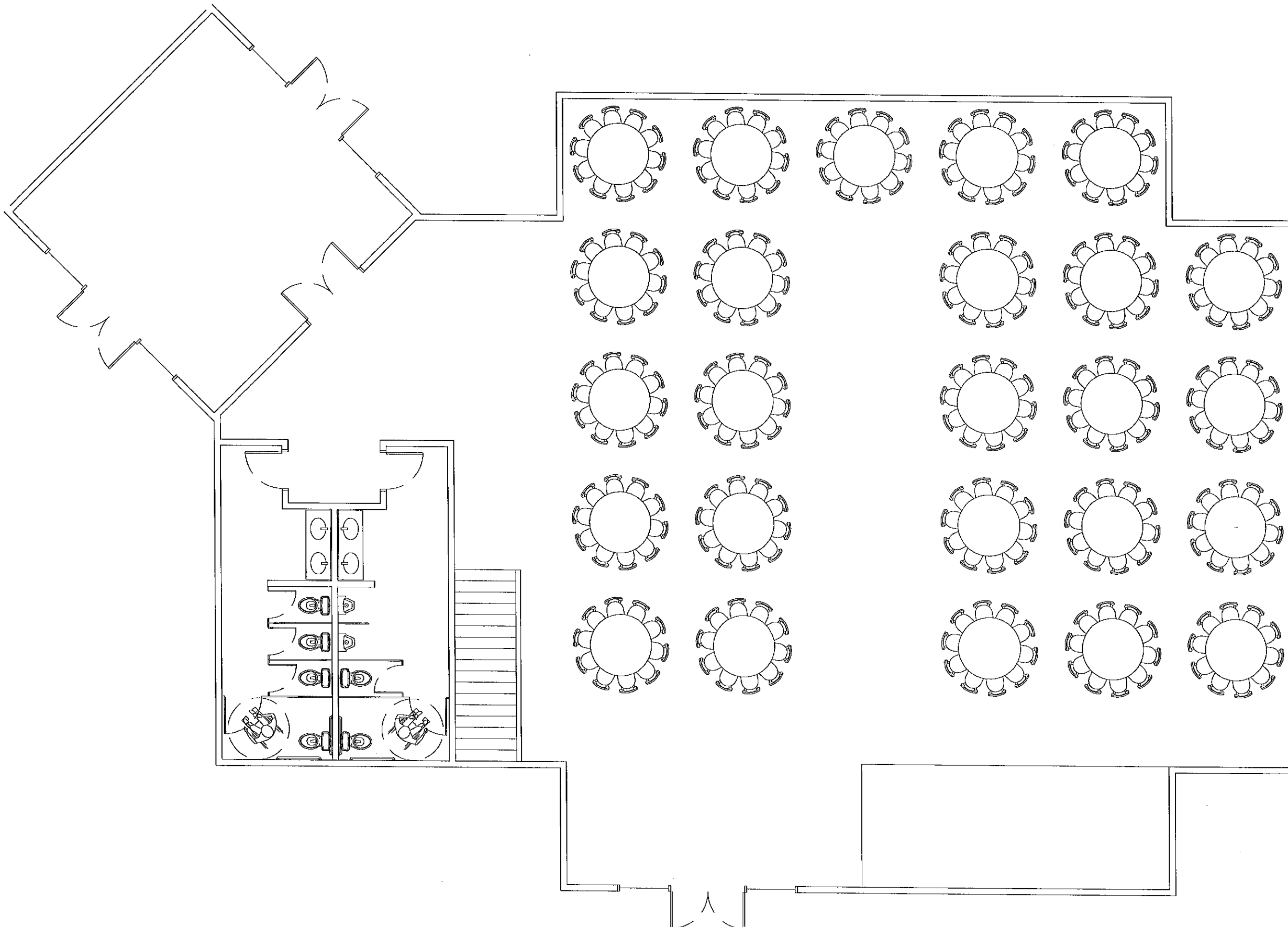
SCALE: 1/4" = 1'-0"

PROJECT NO: 14002  
DRAWN BY: MGR  
DATE: 05-27-2010  
CHECKED BY: MGR

SHEET INFORMATION:  
SUPPER CLUB MAIN FLOOR PLAN:  
**A1.2**

**BARGREEN ELLINGSON**  
FOODSERVICE SUPPLY & DESIGN

365 Industrial Way Anchorage, Alaska 99501 Phone: (907) 570-8140 Fax: (888) 208-4400 Website: www.bargreen.com



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CONSTRUCTION  
233 SOUTH MAIN STREET  
STILLWATER, MN 55082  
PH: 651.351.1740

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HOPPER ARCHITECTS, LLC  
ARCHITECTURE  
PLANNING  
INTERIORS

233 SOUTH MAIN ST.  
STILLWATER, MN  
PHONE: 651-351-1740  
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STILLWATER, MN

PHONE: 651-351-1740  
FAX: 651-430-0180

PROJECT:  
**WHITE PINES SUPPER CLUB AND BANQUET FACILITY**  
11770 DELLWOOD ROAD NORTH  
STILLWATER, MN 55082

DATE	ISSUE	NOTES
08-12-08	DESIGN DEVELOPMENT	
10-13-08	SCHEMATIC SET	
08-09-08	CIVIL SUBMITTAL	

I HEREBY CERTIFY THAT THE PLANNING AND/OR ARCHITECTURE WORKS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A REGISTERED ARCHITECT LICENSED BY THE STATE OF MINNESOTA.

Signature: [Signature] ARCHITECT/REGISTERED PROFESSIONAL

Registration No: 74310

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PROJECT No. 14010  
DRAWN BY: JAE  
DATE: 08-27-2008  
CHECKED BY: MGR

SHEET INFORMATION:  
BANQUET FACILITY  
MAIN FLOOR PLAN.

**A1.4**

# HAF GROUP

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233 SOUTH MAIN STREET  
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HOEFER ARCHITECTS, LLC  
ARCHITECTURE  
PLANNING  
INTERIORS

233 SOUTH MAIN ST.  
STILLWATER, MN  
PHONE: 651-351-1760  
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PHONE: 651-351-1760  
FAX: 651-430-0100

PROJECT:  
WHITE PINES SUPPER CLUB AND BANQUET FACILITY

11770 DELLWOOD ROAD NORTH  
STILLWATER, MN 55082

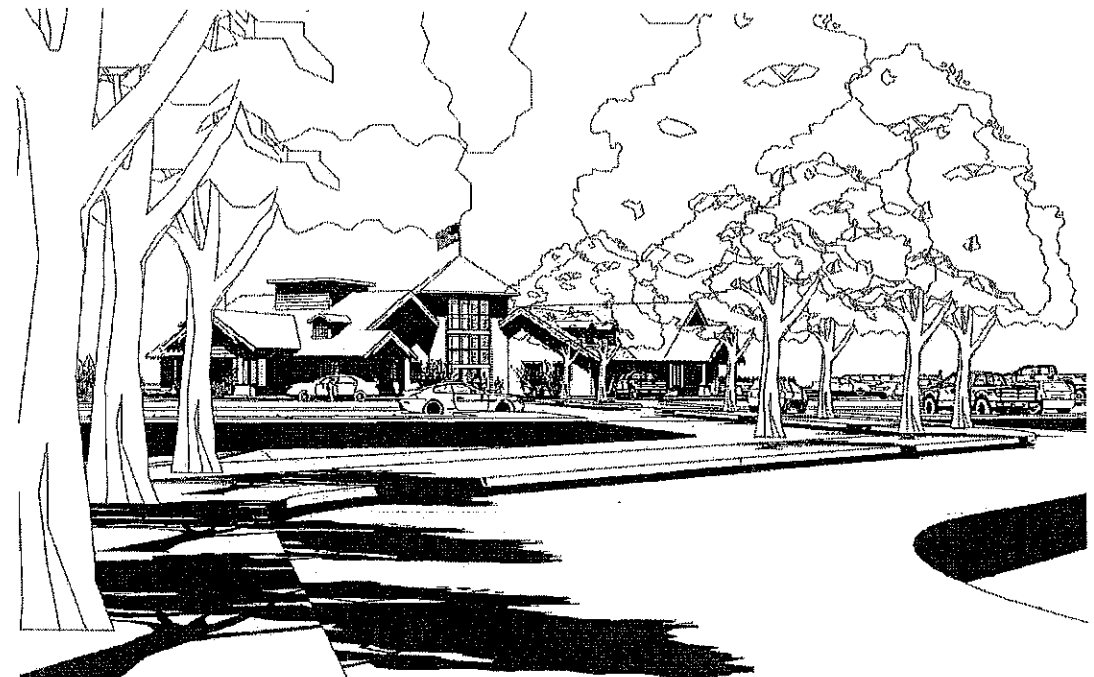
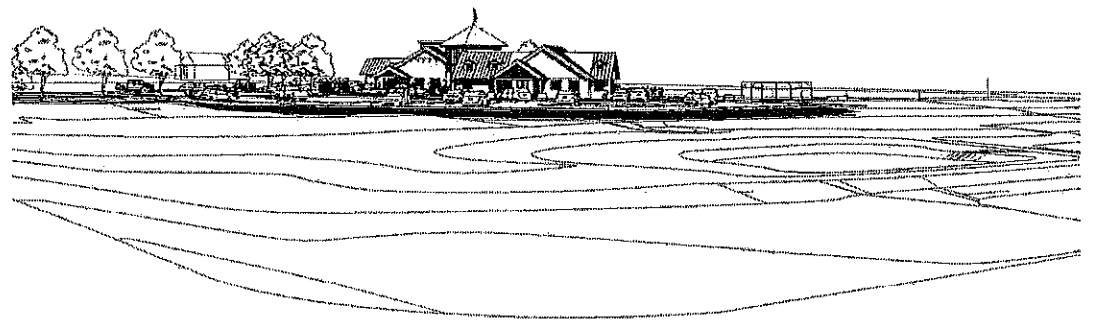
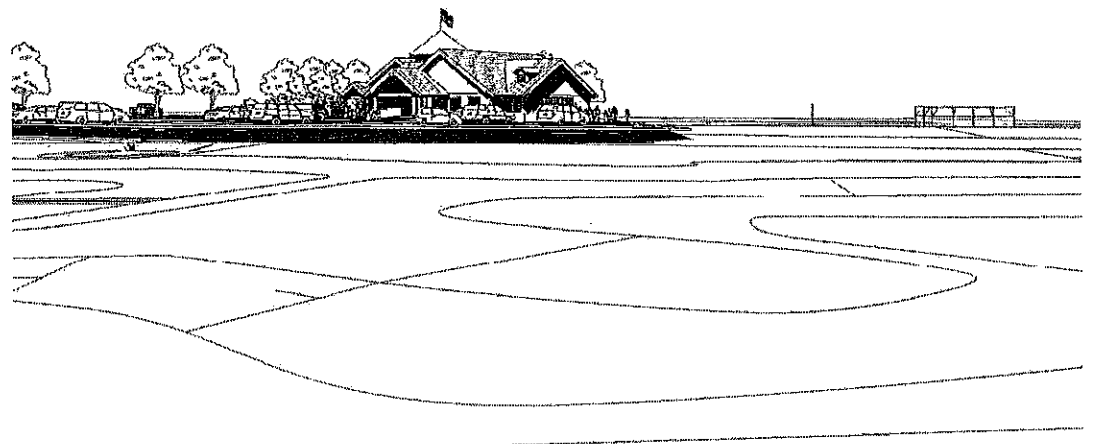
DATE	ISSUE	NO. REV
05-10-11	DESIGN DRAWING	
05-10-11	MARKING SET	
05-21-11	CITY SUBMITTAL	

DESIGNER: MICHAEL HOEFER  
PROJECT NO.: 24310

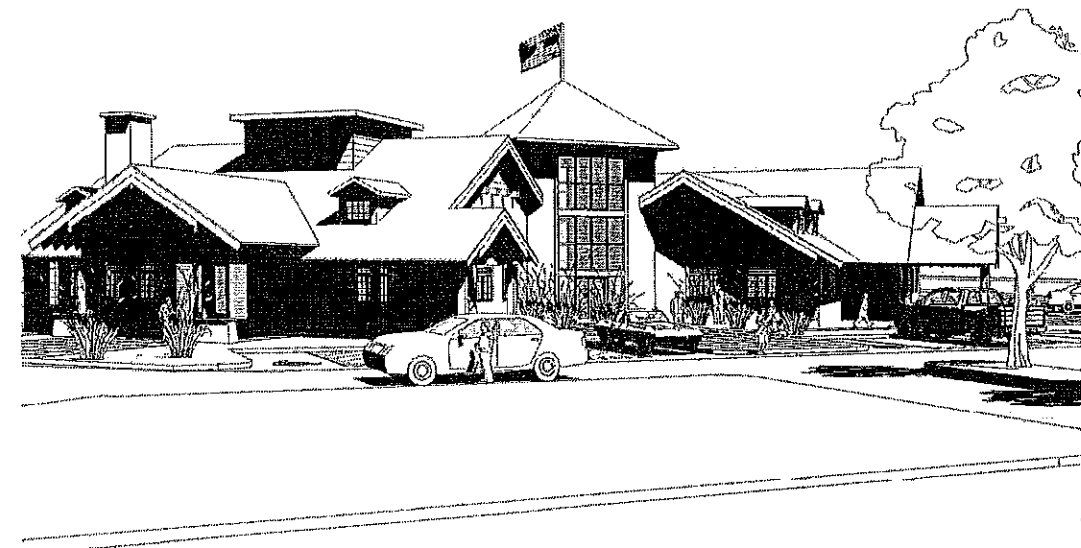
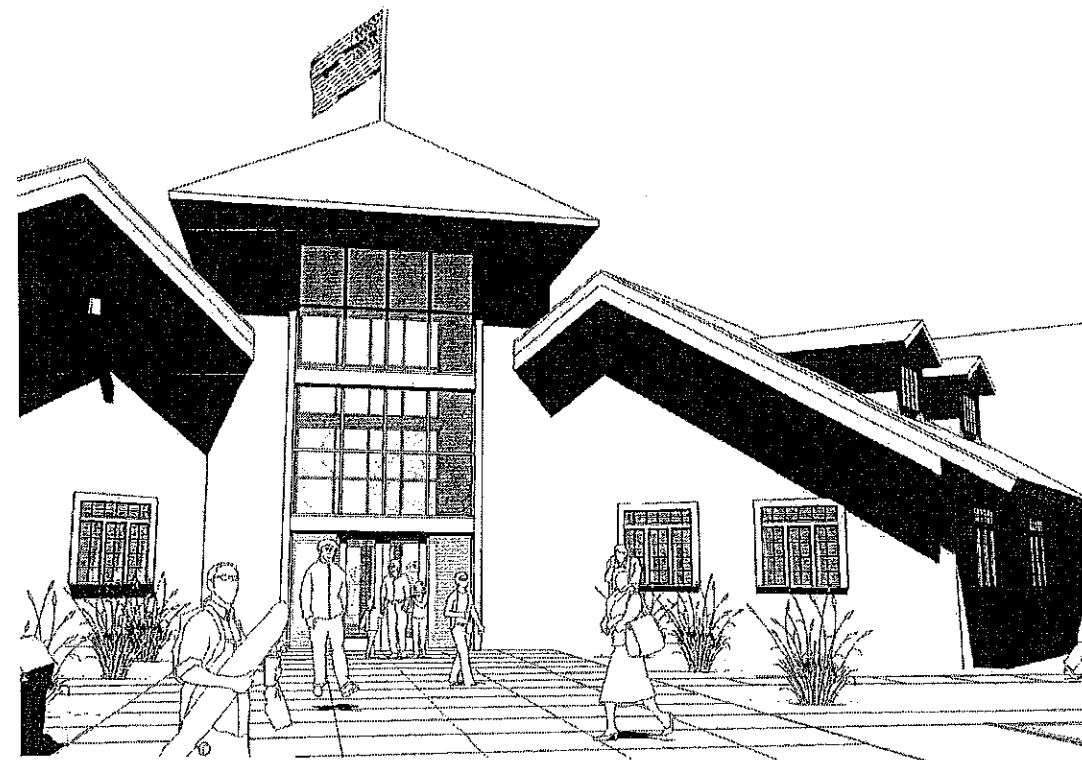
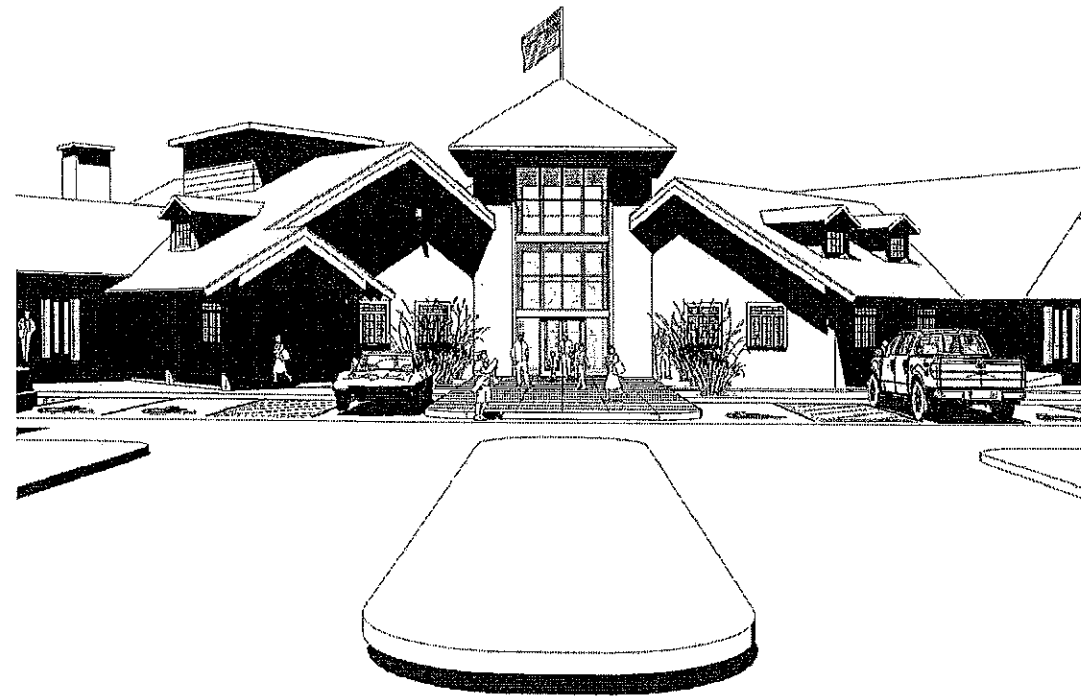
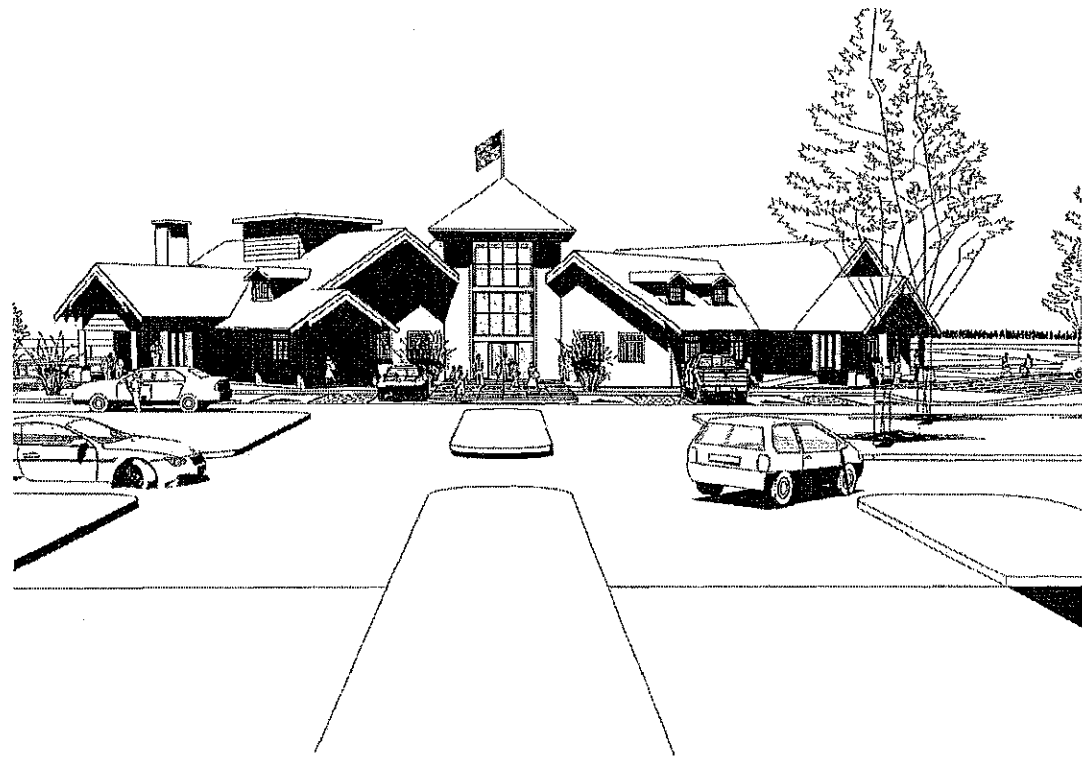
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PROJECT NO. 24310  
PROJECT NAME 14-09  
DRAWN BY: MHD  
DATE: 03-27-11  
CHECKED BY: MHD

SHEET INFORMATION:  
ELEVATIONS  
**A2.0**







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ARCHITECTURE  
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232 SOUTH MAIN ST.  
STILLWATER, MN  
PHONE: 651-351-1760  
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PROJECT:  
WHITE PINES SUPPER CLUB AND  
BANQUET FACILITY  
11770 DELLWOOD ROAD NORTH  
STILLWATER, MN 55082

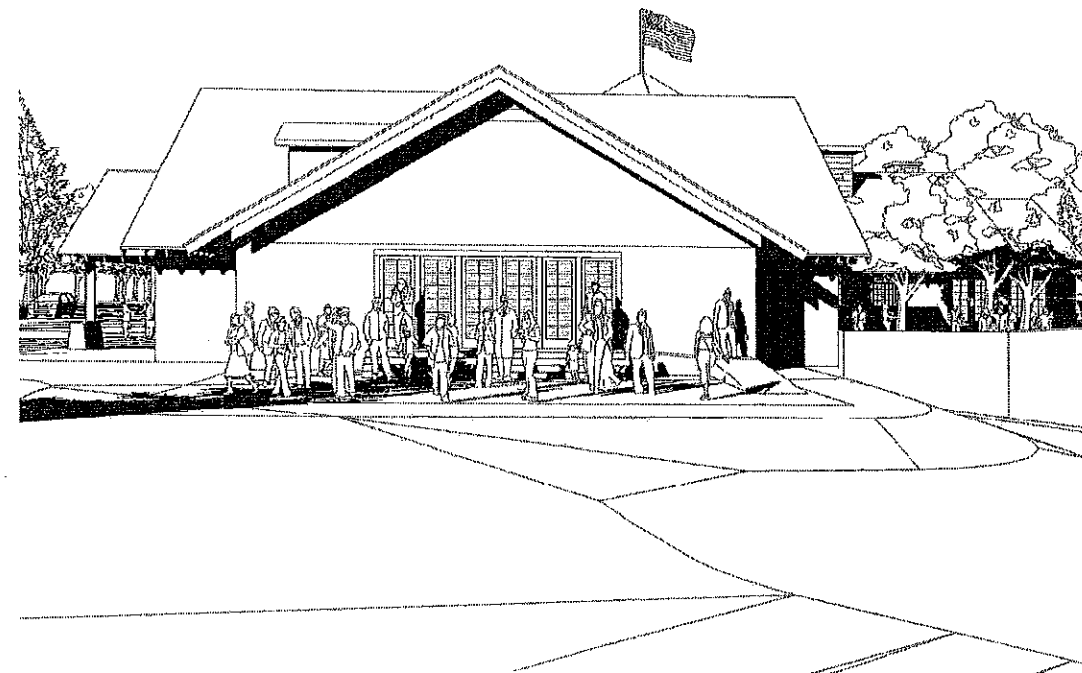
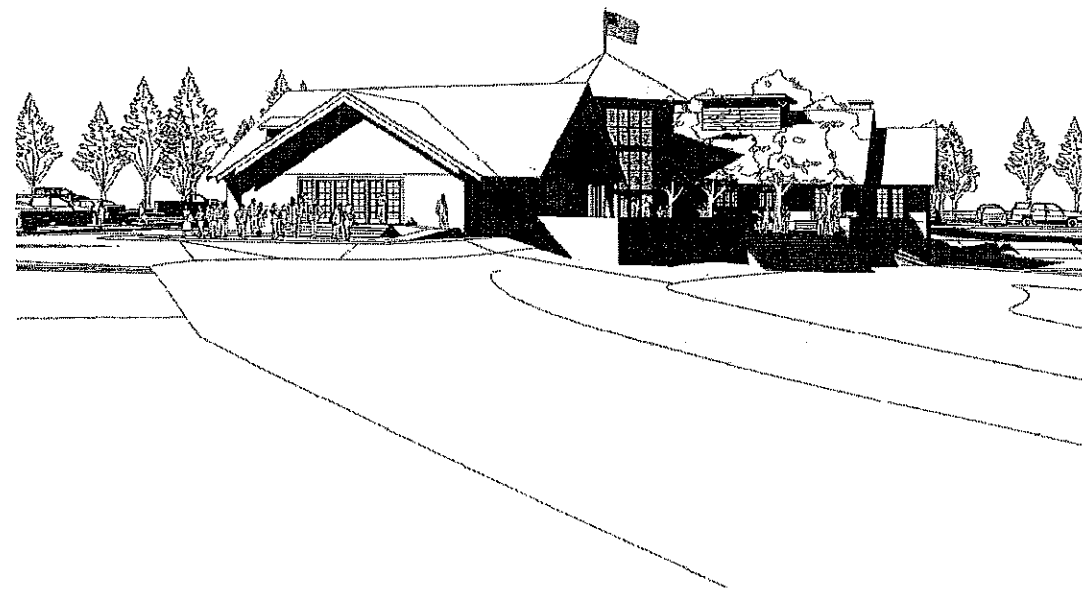
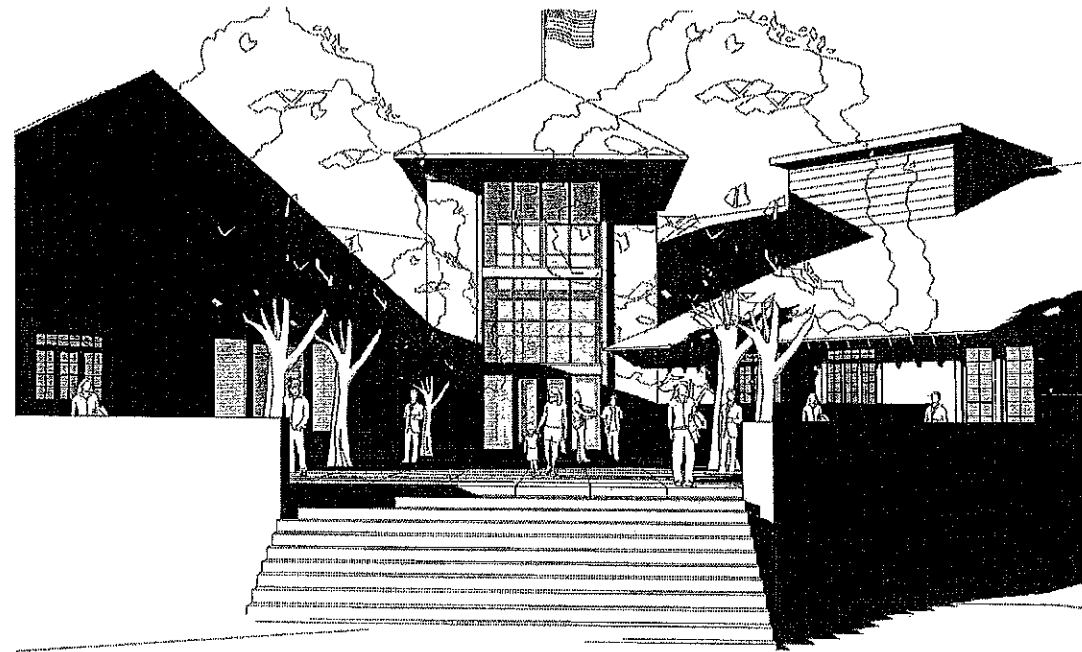
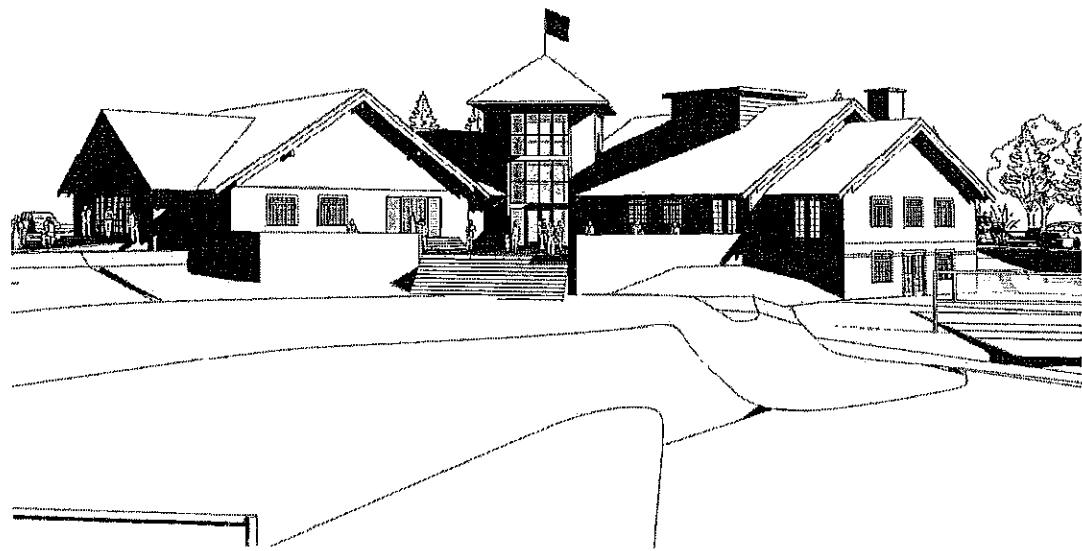
DATE	ISSUE	NOTES
01-17-10	DESIGN DEVELOPMENT	
02-12-11	MEETING SET	
03-21-11	CITY SUBMITTAL	

DESIGNER: MICHAEL HOEFLER  
REGISTRATION NO.: 54510

PROJECT NO.: 1400  
DRAWN BY: MKH  
DATE: 09-27-2014  
CHECKED BY: MKH

SHEET INFORMATION:  
ELEVATIONS  
**A2.1**





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PHONE 651.351.1760  
FAX 651.430.0100

PROJECT:  
WHITE PINES SUPPER CLUB AND  
BANQUET FACILITY

11770 DELLWOOD ROAD NORTH  
STILLWATER, MN 55082

REV	DESCRIPTION	DATE
05-10-09	ISSUE PERMITS	
05-10-09	ISSUE SET	
05-27-09	REV SUBMITTAL	

ISSUES CHECKED FOR THIS PROJECT: PERMITS CHECKED FOR PERMITS TO BE ISSUED TO THE CITY OF STILLWATER. ALL OTHERS ARE THE RESPONSIBILITY OF THE CLIENT OR THE CITY OF STILLWATER.

DESIGNED BY: MICHAEL MOFFITT  
DRAWN BY: MICHAEL MOFFITT

NOTES: THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, AND COSTS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, AND COSTS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, AND COSTS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, FEES, AND COSTS.

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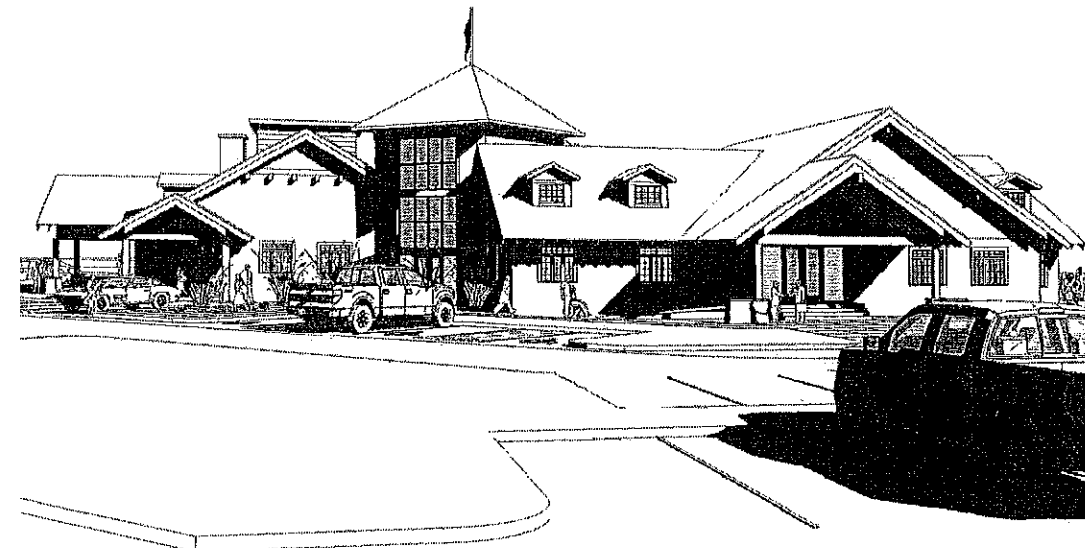
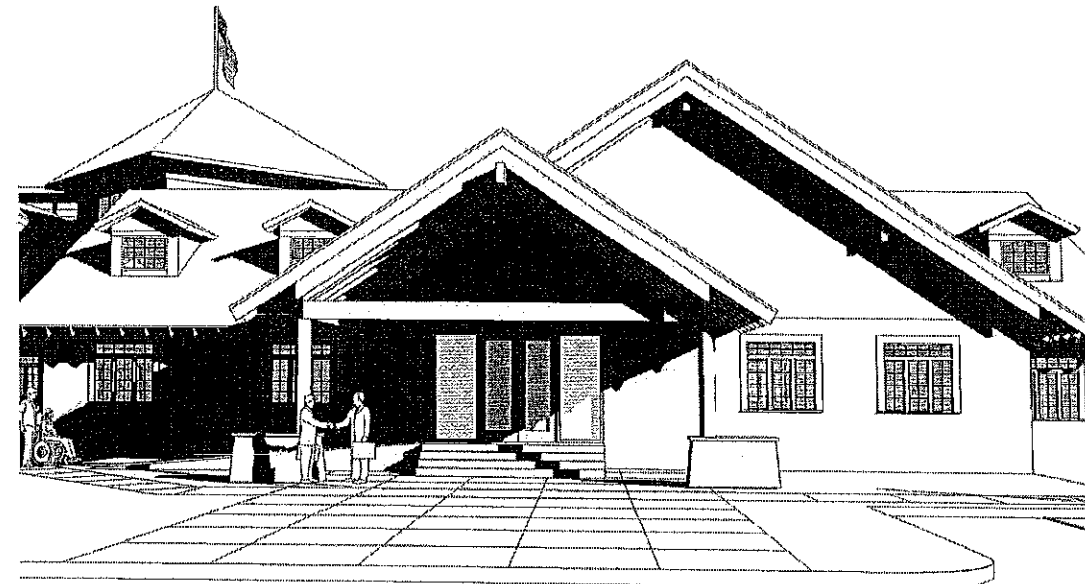
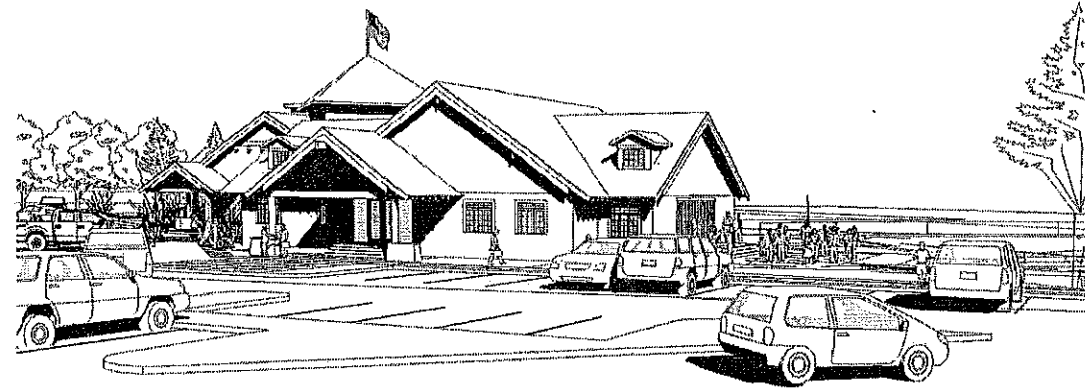
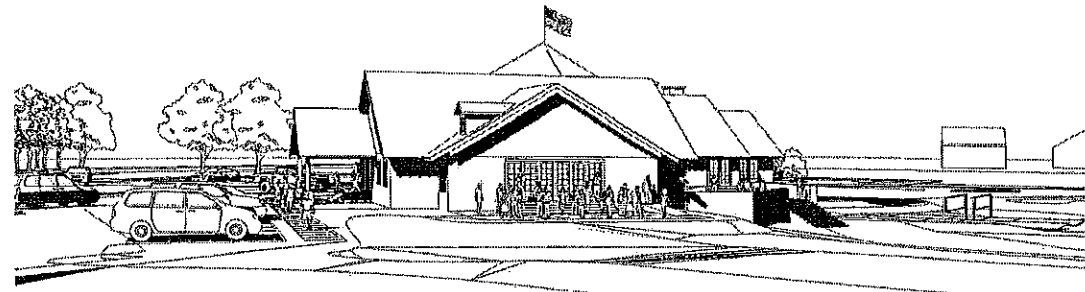
PROJECT NO: 1401

DATE: 03-27-09

CHECKED BY: MOH

SHEET INFORMATION:  
ELEVATIONS

A2.3



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ARCHITECTURE  
PLANNING  
INTERIORS

233 SOUTH MAIN ST.  
STILLWATER, MN  
PHONE: 651.351.1760  
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STILLWATER, MN  
PHONE: 651.351.1760  
FAX: 651.430.0180

**PROJECT:**  
WHITE PINES SUPPER CLUB AND  
BANQUET FACILITY

11770 DELLWOOD ROAD NORTH  
STILLWATER, MN 55082

DATE	ISSUE	NOTES
02-11-04	SCHEMATIC	
05-14-04	MEETING	
05-28-04	CITY COUNCIL	

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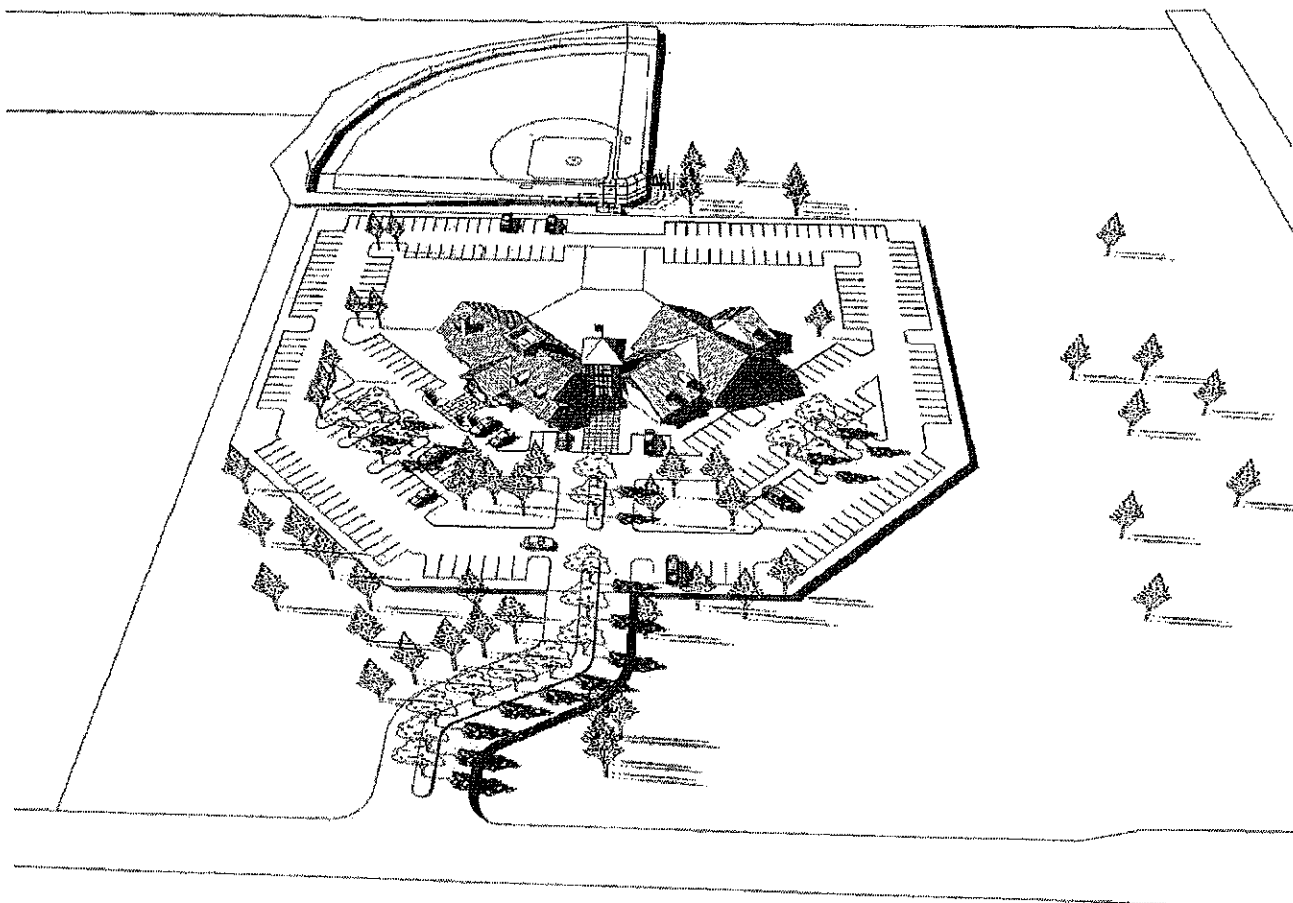
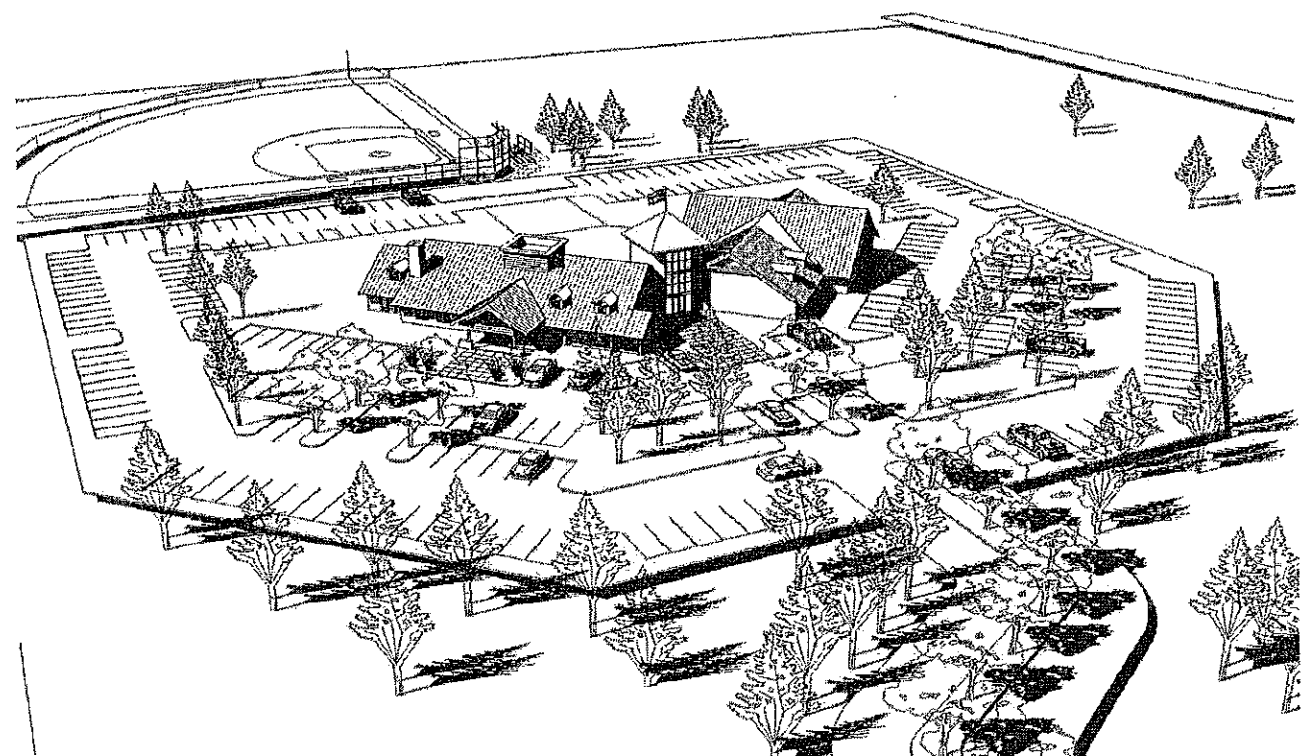
DESIGNED BY: MICHAEL HOFFER  
DATE: 04/20/04

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DATE: 04/20/04  
DRAWN BY: JAC  
CHECKED BY: JAC  
DATE: 04/20/04

DRAWING INFORMATION  
ELEVATIONS  
**A2.4**





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ARCHITECTS  
KOEFLER ARCHITECTS, LLC

ARCHITECTURE  
PLANNING  
INTERIORS

233 SOUTH MAIN ST.  
STILLWATER, MN

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KOEFLER-CONSTRUCTION, LLC

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STILLWATER, MN

PHONE: 651-351-1760  
FAX: 651-430-0100

PROJECT:

SUPPER CLUB AND EVENT CENTER

11770 DELLWOOD ROAD NORTH  
STILLWATER, MN 55082

DATE	ISSUE	NOTES
08-18-14	DESK REVIEW	

I HEREBY CERTIFY THAT THE ABOVE INFORMATION REPORTS AND DRAWINGS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE: 08/18/14 ARCHITECT: [Signature]

CONSTRUCTION: [Signature]

SCALE: AS SHOWN

OWNER: [Signature]

PROJECT NO: [Blank]

DATE: 08-18-14

CHECKED BY: [Signature]

DATE: 08-18-14

DATE: 08-18-14

DATE: 08-18-14

DATE: 08-18-14

DATE: 08-18-14

DATE: 08-18-14

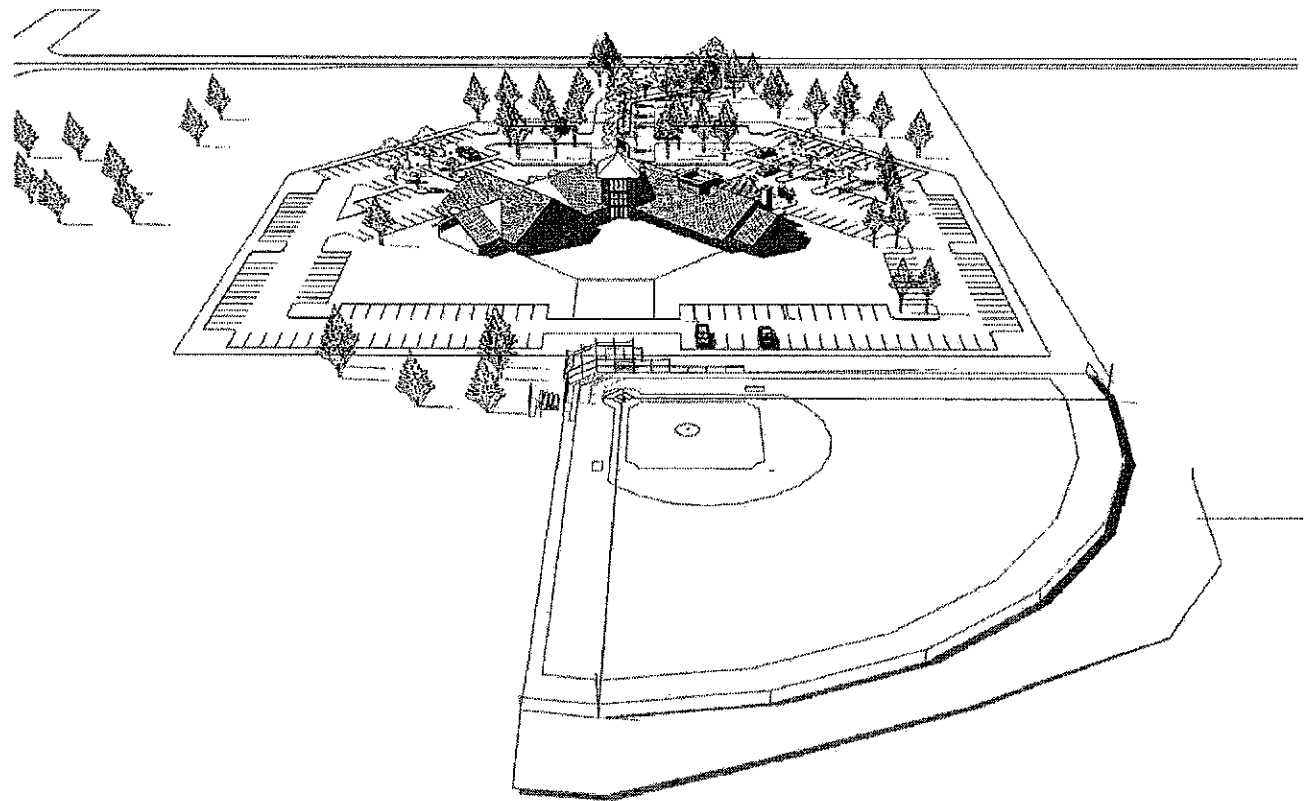
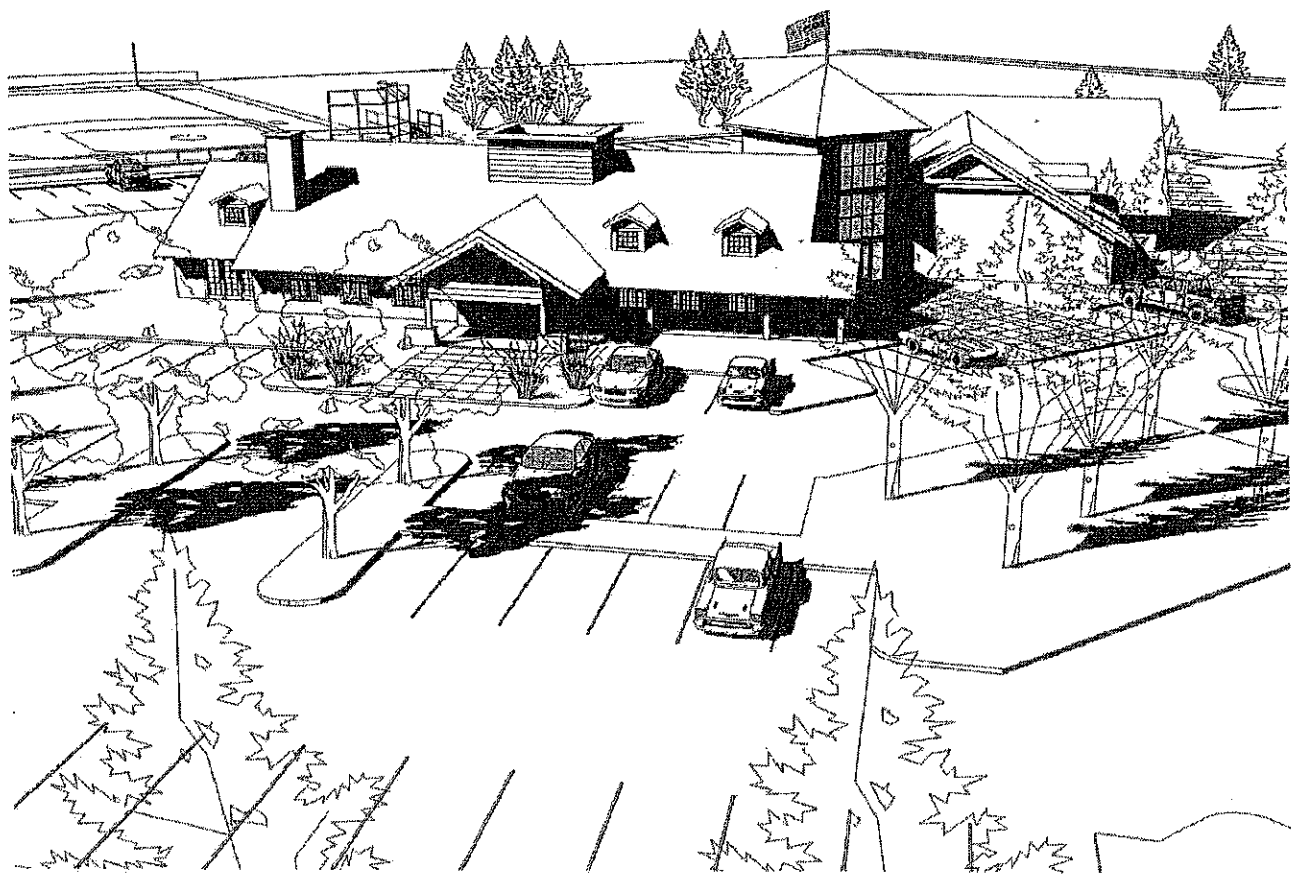
DATE: 08-18-14

DATE: 08-18-14

DATE: 08-18-14

DATE: 08-18-14

SHEET INFORMATION:  
MODEL IMAGES



# HAF GROUP

ARCHITECTURE  
DEVELOPMENT  
CONSTRUCTION

333 SOUTH MAIN STREET  
STILLWATER, MN 55082  
PH: 651.251.1760

# Haf ARCHITECTS

HOEFER ARCHITECTS LLC

ARCHITECTURE  
PLANNING  
INTERIORS

333 SOUTH MAIN ST.  
STILLWATER, MN

PHONE: 651.251.1760  
FAX: 651.250.0180

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STILLWATER, MN

PHONE: 651.251.1760  
FAX: 651.250.0180

PROJECT:  
SUPPER CLUB AND EVENT CENTER  
11770 DELLWOOD ROAD NORTH  
STILLWATER, MN 55082

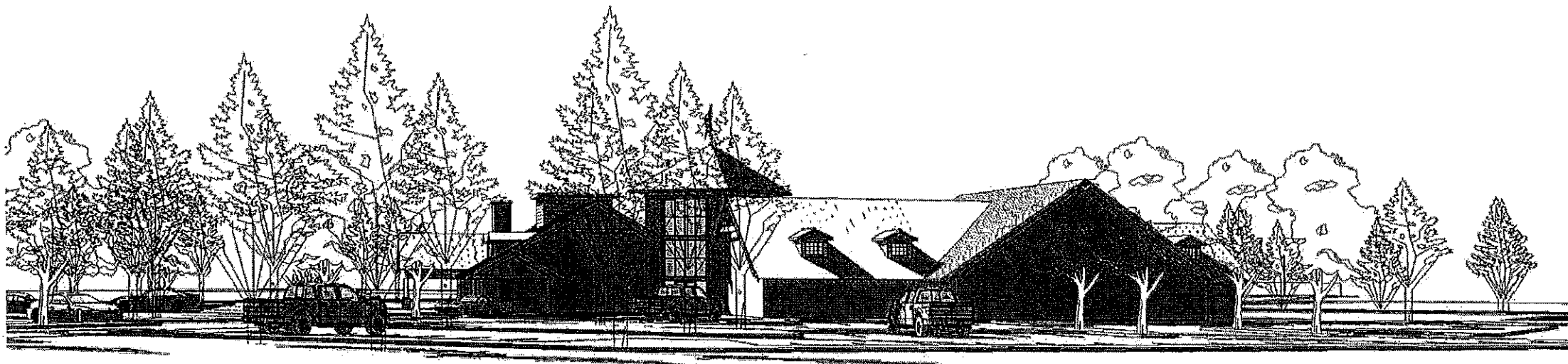
DATE	ISSUE	NOTE
08-10-14	ISSUE 01	

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DATE: 08-10-14  
DRAWN BY: [Signature]  
CHECKED BY: NICKLAS HOEFER

PROJECT NO.	1408
DATE	08-10-2014
CHECKED BY	NH

EXREE INFORMATION:  
MODEL IMAGES



# HAF

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CONSTRUCTION

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STILLWATER, MN 55082  
PH: 651-351-1760

# Haf

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PLANNING  
INTERIORS

233 SOUTH MAIN ST.  
STILLWATER, MN

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## CONSTRUCTION

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STILLWATER, MN

PHONE: 651-351-1760  
FAX: 651-430-0180

PROJECT:

SUPPER CLUB AND EVENT CENTER

11770 DELLWOOD ROAD NORTH  
STILLWATER, MN 55082

DATE	ISSUE	NOTES
03-23-14	Issue 000001	

OWNER: HAF ARCHITECTS. THIS SHEET IS PART OF A LARGER SET OF SHEETS FOR THE SUPPER CLUB AND EVENT CENTER. PLEASE REFER TO THE PROJECT SHEET FOR THE FULL LIST OF SHEETS.

DATE: 03/23/2014  
DRAWN BY: [Signature]  
CHECKED BY: NICHOLAS HODRICE  
PROJECT NO: 14210

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DATE: 03/23/2014

PROJECT NO: 14210

DRAWN BY: [Signature]

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## **Resolution No. 2014-14**

**Resolution to Approve On-Sale/Sunday Liquor License for Nicholson-Stillwater Oaks LLC.  
(DBA: Stillwater Oaks Golf Course)**

WHEREAS, Stillwater Oaks Golf Course . submitted an application for the issuance of an On-Sale/Sunday Intoxicating Liquor License; and

WHEREAS, the Washington County Sheriff's Department completed the required Background check and found nothing to prevent issuance.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Grant that the City Council does hereby approve issuance of an On-Sale/Sunday Intoxicating Liquor License to the applicant listed below for the period of May 1, 2014 through December 31, 2014:

Stillwater Oaks Golf Course  
11177 McKusick Road  
Grant, MN 55082  
Licensee: Nicholson-Stillwater Oaks LLC

BE IT FURTHER RESOLVED that licensing is contingent upon said applicant making payment of their taxes and submission of appropriate license fees, necessary liability insurance, to the Administrator/Clerk..

PASSED: May 1, 2014 by the City Council of the City of Grant

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Tom Carr, Mayor

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Kim Points, Administrator/Clerk