

**City of Grant
City Council Agenda
May 1, 2014**

The regular monthly meeting of the Grant City Council will be called to order at 7:00 o'clock p.m. on Thursday, May 1, 2014, in the Grant Town Hall, 8380 Kimbro Ave. for the purpose of conducting the business hereafter listed, and all accepted additions thereto.

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **APPROVAL OF REGULAR AGENDA**
4. **APPROVAL OF CONSENT AGENDA**
 - A. April 1, 2014 City Council Meeting Minutes
 - B. Bill List, \$52,064.64
 - C. 2014 Pricing Addition, David's Consulting
 - D. Camp Odayin Application for Exempt Permit, One Day Raffle
 - E. Resolution No. 2014-10, Pohl Subdivision
 - F. Kline Bros. Excavating, Road Maintenance, \$10,325.00
5. **STAFF AGENDA ITEMS**
 - A. City Engineer, Phil Olson
 - i. Consideration of Brochman Roadway Maintenance Contract
 - B. City Planner, Jennifer Haskamp
 - i. Resolution No. 2014-11, Consideration Dellwood Barns Wedding Venue, CUP Application, 7373 120th Street
 - ii. Resolution No. 2014-12, Consideration of Verizon Cell Tower Application, 9254 Manning
 - iii. Resolution No. 2014-13, Consideration of Schmidt Supper Club CUP Application and Public Hearing, 11770 Dellwood Road North
 - C. City Attorney, Nick Vivian
6. **NEW BUSINESS**
 - i. Consideration of Resolution No. 2014-14, Nicholson-Stillwater Oaks LLC Liquor License
7. **UNFINISHED BUSINESS**
8. **DISCUSSION ITEMS**
 - A. City Council Reports (any updates from Council)
 - B. Staff Updates
9. **COMMUNITY CALENDAR MAY 2 THROUGH MAY 31, 2014:**

Mahtomedi Public Schools Board Meeting, Thursday, May 8th, 2014, Mahtomedi District Education Center, 7:00 p.m.

Stillwater Public Schools Board Meeting, Thursday, May 8th and 22nd, 2014, Stillwater City Hall, 7:00 p.m.

Charter Commission Meeting, Thursday, May 15th, 2014, Mahtomedi City Hall, 7:00 p.m.

Washington County Commissioners Meeting, Tuesdays, Government Center, 9:00 a.m.

10. ADJOURNMENT

PUBLIC INPUT

Citizen Comments – Individuals may address the City Council about any item not included on the regular agenda. The Mayor will recognize speakers to come to the podium. Speakers will state their name and address and limit their remarks to three (3) minutes. Generally, the City Council will not take any official action on items discussed at this time, but may typically refer the matter to staff for a future report or direct that the matter be scheduled on an upcoming agenda.

1. _____
2. _____
3. _____
4. _____

I. GUIDELINES FOR CONDUCT AT GRANT CITY MEETINGS

1. Public input (agenda item) and public comment during agenda items will be addressed as time allows and individuals must be recognized by the Meeting Chair prior to making comments.
2. Any individual addressing the Council will approach the microphone and clearly state their name and full address.
3. Comments and reading of written statements shall be limited to two (3) minutes. You are encouraged not to be repetitious of comments made by any previous speakers.
4. No personal attacks are allowed during any public input, public comment or public hearings.

II. PUBLIC INPUT

Public Input will be held after the meeting is adjourned. Four (4) speakers limited to three (3) minutes each.

III. PUBLIC COMMENT – DURING AGENDA ITEMS

Citizens may share their comments or concern on a specific agenda item if called upon by the City Council. This is the portion of the Council meeting that citizens may comment on an individual agenda item if called on to do so. All comments must be addressed to the Mayor and Council and name and full address must be stated clearly. If the agenda item has had a public hearing, this will not be a continuation of that hearing.

CITY OF GRANT
MINUTES

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DATE : April 1, 2014
TIME STARTED : 7:04 p.m.
TIME ENDED : 11:35 p.m.
MEMBERS PRESENT : Councilmember Bohnen, Tronrud, Huber,
and Mayor Carr
MEMBERS ABSENT : Lobin

Staff members present: City Attorney, Nick Vivian; City Planner, Jennifer Haskamp; City Engineer, Phil Olson; City Treasurer, Sharon Schwarze; and Administrator/Clerk, Kim Points

CALL TO ORDER

Mayor Carr called the meeting to order at 7:04 p.m.

PLEDGE OF ALLEGIANCE

SETTING THE AGENDA

Council Member Bohnen moved to approve the agenda, as presented. Council Member Huber seconded the motion. Motion carried unanimously.

CONSENT AGENDA

- March 4, 2014 City Council Meeting Minutes Approved
- Bill List, \$38,227.53 Approved
- City of Mahtomedi, 1st Quarter Fire Contract, \$30,490.00 Approved
- Washington County, Snow and Ice Control, \$10,723.20 Approved
- 2014 Field Maintenance Proposal Approved

Council Member Bohnen moved to approve the Consent Agenda, as presented. Council Member Huber seconded the motion. Motion carried unanimously.

STAFF AGENDA ITEMS

City Engineer, Phil Olson

1 **Class 5 Surfacing Quotes & Approval of Contract.** – City Engineer Olson advised the City
2 completes a class 5 surfacing project every year on roadways scheduled by the Road Commissioner.
3 The request for quotes was sent to Miller Excavating, Inc., and Raleigh Trucking, Inc.

4
5 A copy of the class 5 surfacing contract has been included for Council review.

6
7 Council Member Bohnen added the City has been utilizing two contractors for the last couple of
8 years. Utilizing both of them is a benefit to the City in terms of flexibility and type of product offered
9 by each contractor.

10
11 **Council Member Bohnen moved to approve the Class 5 Surfacing Quotes and Approval of**
12 **Contract, as presented. Council Member Huber seconded the motion. Motion carried**
13 **unanimously.**

14
15 **Resolution No. 2014-09, Browns Creek Trail Easements** – City Engineer Olson advised the DNR
16 has submitted an Application for Easement across the Browns Creek State Trail right-of-way. The
17 execution of this application will establish City easements across the Browns Creek State Trail,
18 owned by the DNR. The application includes three roadway crossings at Kimbro Avenue, 88th
19 Street, and Lofton Avenue.

20
21 An application fee of \$2000 is required by the DNR to process the application and easements. The
22 fee is used to cover the cost to review the application and prepare the easement documents. There is
23 no additional cost for the value of the easements.

24
25 Council Member Bohnen stated a meeting was held with the DNR and this is a good value for the
26 City as they are not asking for any reimbursement for the property.

27
28 City Attorney Vivian stated the City needs to go through this process to establish clear title.

29
30 Mayor Carr added they City is also working through the access issue at Manning Court.

31
32 **Mayor Carr moved to approve Resolution No. 2014-09, as presented. Council Member Bohnen**
33 **seconded the motion. Motion carried unanimously.**

34
35 **City Planner, Jennifer Haskamp**

36
37 **Dellwood Barns Wedding Venue, CUP Application and Public Hearing, 7373 120th Street** – City
38 Planner Haskamp advised the proposed application is for a Conditional Use Permit (CUP) to operate
39 a rural event facility on the subject site primarily hosting weddings throughout the spring, summer
40 and fall season. Prior to submitting this application for a CUP, the Applicant went through the City's
41 process to amend the City's zoning ordinance to allow for such use, now defined as Rural Event
42 Facilities, in the A1 and A2 zoning districts. In January, the City Council approved the text
43 amendment to the zoning ordinance; as such the Applicant has now submitted this application for
44 review related to the specific proposed facility. A duly noticed public hearing was posted for April
45 1st, 2014, for consideration and comment of the public related to this application.

1 The Applicant, Afton Architects & Planners is requesting approval of a CUP to renovate the existing
2 barn on the subject site for the purposes of operating a rural event facility, to be called the Dellwood
3 Wedding Barn.

4
5 City Planner Haskamp provided a summary regarding key aspects of the application with respect to
6 the site in relation to renovation of existing barn, main access and parking, stormwater control and
7 operations.

8
9 City Engineer Olson Plans were prepared by Afton Architects & Planners, Ltd. are dated February 27,
10 2014. Engineering review comments were generated from the submittal include the following:

- 11
- 12 1. The existing driveway access locations and the change in driveway use are required to be
- 13 approved by Washington County.
- 14 2. The existing driveway, access points, site, and buildings should be reviewed by the Fire
- 15 Marshal to ensure that the site is in compliance with fire code requirements.
- 16 3. The existing driveway access should be widened to a minimum width of 20 feet. This will
- 17 prevent congestion issues internal to the site by allowing two-way traffic.
- 18 4. "No Parking" signs are required to be placed along the driveway to ensure that parking occurs
- 19 in the parking lot.
- 20 5. The fence on the south side of the parking area is shown on the plan to remain in place. The
- 21 fence will need to be relocated due to the site grading and pond grading. The plan should be
- 22 updated with a revised location for the fence.
- 23 6. Signage for the ADA parking spaces is required.
- 24 7. The proposed contours on the north and east sides of the parking lot appear to be incorrect and
- 25 are required to be revised.

26 **PARKING LOT COMMENTS:**

- 27 1. The proposed gravel parking lot does not meet the City's requirements for an off-street
- 28 parking area with a durable and dustless surface. The applicant has stated in the CUP
- 29 narrative that the gravel surface will be treated with calcium chloride once per year. Due to
- 30 the amount of traffic anticipated with the parking lot, one treatment is not believed to be
- 31 adequate to provide a dustless surface. Listed below is the section of City Code related to the
- 32 requirement for a dustless off-street parking surface.

33
34 *Sec 32-373 Surface and drainage: Off-street parking area shall be improved with a durable*
35 *and dustless surface. Such areas shall be so graded and drained as to dispose of all surface*
36 *water accumulation within the parking area. Durable and dustless surface may include*
37 *crushed rock and similar treatment for parking accessory to one unit residential structures;*
38 *all other uses shall utilize asphalt, concrete or a reasonable substitute surface as approved by*
39 *the city engineer.*

40
41 The following are additional issues due to the proposed gravel surface in the parking lot.

- 42
- 43 2. The ADA parking is located in the gravel parking lot. The surface type does not meet ADA

1 requirements. The parking spaces are required to be in compliance with ADA requirements.
2 This includes a paved path from the parking spaces to the venue.

- 3 3. A parking plan should be provided to explain how applicant will ensure that guest will park as
4 shown in the layout. It is assumed that the gravel surface will not be striped for parking
5 spaces which may change the layout of the drive lanes.
- 6 4. The gravel parking lot is proposed to drain from north to south and erosion issues are likely
7 due to the large amount of runoff area. Permanent erosion control methods are required to be
8 incorporated into the plan.

9 **STORMWATER MANAGEMENT COMMENTS:**

- 10 5. A stormwater permit is required from the Rice Creek Watershed District (RCWD). The
11 applicant has already submitted a plan for review.
- 12 6. An erosion and sediment control plan needs to be submitted which meets the requirements of
13 RCWD Rule D and City Erosion Control Ordinances.
- 14 7. It appears that the east and west sides of the parking lot are not directed to the ponding area.
15 A swale or pipe with curb and gutter is required to direct the new impervious areas to the
16 ponding area. The swale or pipe design should include a conveyance method that prevents
17 erosion along the side slopes of the pond.
- 18 8. The plan is required to show the total amount of area included within the silt fence to verify if
19 an NPDES permit is required. If required, the applicant shall submit the approved permit to
20 the City.
- 21 9. High water elevations, pipe elevations, emergency overflow routes, and drainage routes are
22 required to be shown on the grading plan.
- 23 10. The outlet culvert in the stormwater model shows 6-inch CMP pipe. The minimum lateral
24 pipe diameter should be 12 inches.
- 25 11. A stormwater management plan is required that includes calculations for 2.5-inch rainfall
26 event to ensure stormwater pond is appropriately sized. A table summarizing pre and post
27 development discharge rates for the 2, 10, 100-year, 24-hour rainfall events is also required.
28

29 City Planner Haskamp referred to the staff report and summarized other agency reviews as well as the
30 draft findings.

31
32 Mayor Carr stated that originally when the City got the sketch plan for the project was much more
33 simple. He read the original letter from the application and stated the current plan is much different.
34 He thanked everyone for the emails and letter with their comments noting if they were not sent to the
35 City Clerk they will not be part of the public record. The City of Grant has changed a lot in the
36 previous years and this issue came up. The question for the City is if this is a good use for Grant.
37 The applicant could have applied for something else. The City Council did decide this may be a good
38 use. The Council does not regret the text amendment and this use does fit the Comprehensive Plan.
39 He noted there are commercial uses all over Grant.
40

41 Mayor Carr advised those wishing to speak during public comment will have a maximum of five
42 minutes and there will be no personal attacks. All comments should be made relating to the
43 application and he would like to keep the public comment period to one hour.
44

1 Mr. Scott Jordan, applicant, came forward and stated he would like to take the time to clear up some
2 misconceptions. He noted none of his neighbors have talked to him about the plan and he does not
3 plan on having more than three events per week. The hours of operation proposed is to give them
4 flexibility and to accommodate deliveries, set up, etc. He asked that a gravel parking lot be
5 constructed as opposed to pavement. He stated he lives in the house and he had never met the Mayor
6 prior to this process. He advised he is not dividing the property into three lots. There will be off duty
7 policemen at the events and he does not have several different businesses taking place on the
8 property. He doesn't think this will devalue property and a sound test has been conducted. He
9 reviewed those results noting he does not believe noise will be an issue. Traffic counts have been
10 reviewed and he does not believe 100 more cars per day will have a large impact. He stated he is a
11 good neighbor and if issues come up all people have to do is talk to him. He does not want to be
12 disruptive to anyone.

13
14 Council Member Bohnen clarified the parcel size and confirmed that a particular neighbor west of the
15 driveway was contacted and had no issues with the project.

16
17 Ms. Sara Kelzenberg, Afton Architects, came forward and pointed out that Mr. Jordan has put
18 together a team to work through this process and has some expenses to do so. They are currently
19 working with the Watershed District and approvals will be obtained with some minor revisions.

20
21 Mayor Carr opened the public hearing at 7:59 p.m.

22
23 Mr. Carlos McCarthy, 11565 Hillcrest Court, came forward and stated the neighborhood is calm and
24 quiet and he is not ready to relinquish that. That is why he moved here and he is not happy the project
25 has come as far as it has.

26
27 Mr. Larry Lanoux, Keswick Avenue, came forward and stated the City Code talks about a Planning
28 Commission and he is not for or against the project.

29
30 Mr. Bob Tufty, 6365 Jasmine, came forward and stated he had visited the farm prior to the application
31 and it is very beautiful and would be a great place for the plan. He is not a direct neighbor but he
32 doesn't see why they shouldn't be able to proceed.

33
34 Mr. Kevin Rhodes, 12160 Upper Heather, came forward and stated he is opposed to this and
35 disappointed that the neighbors were not properly noticed about the project. He stated it seems as
36 though it is too late to talk about whether or not his is a good use for the area. He noted where he
37 lives in relation to the property and stated he would be able to hear the activity just like he did last
38 year. He stated the enjoyment of his property would be gone all summer long. It is his right to peace
39 and quiet and that would be gone. There is a definite lack of consideration for public participation
40 and this should not have been allowed in the first place. His rights have been disrespected and the
41 plan does not meet the covenants already in place. He asked the Council to reconsider the text
42 amendment.

43
44 Mr. Carl Swanson, 7665 120th Street, came forward and stated he is a neighbor to Mr. Jordan and Mr.
45 Jordan is a good neighbor. He recalled the story of going to a City of Hugo Council meeting

1 regarding lot sizes and was told it was Hugo development and being from Grant he had nothing to say
2 about it. He stated he believes the plan may be a good venue and he would like to see the project go
3 through. It is a conditional use and if there is a problem then it can be addressed.

4
5 Mr. Ed Kolova came forward and stated he is the previous property owner. He sold to Mr. Jordan in
6 2011 and his son was married there. It was a peaceful event that was very nice. He advised he is not
7 for or against but would like to speak to Mr. Jordan's integrity. He is a man of his word, very
8 reasonable and will work with the City and his neighbors.

9
10 Ms. Melinda Lopes, 12160 Upper Heather Avenue, came forward and stated last summer when they
11 had an event the noise was so loud she could not sleep but no complaint was made because she
12 thought it was a onetime event. She stated the house was vibrating from the noise and this plan
13 would be life changing for her family. She stated she has no assurances that her property values will
14 not go down. She stated she was not notified about the change in zoning and the conditions of this
15 use are very important as well as safety on the roadway. She asked the Council to reconsider the
16 zoning change and stated their business website shows they only have three open dates in 2014.

17
18 Ms. Jeanette Windish, 12150 Upper Heather Avenue, came forward and stated the hill there is
19 amplification and not a sound barrier as it carries through the valley. There are kids in school and
20 they need their sleep. She asked the Council to be cautious about the noise and hours of operation.

21
22 Mr. Tom Abena, 7115 Oneka Lake Boulevard, came forward and stated he has seen development
23 encroach in rural areas for many years. The best way to keep development at a minimum is to keep
24 large acreage lots. This would keep the rural character and he asked the neighbors to be fair with Mr.
25 Jordan.

26
27 Ms. Kathleen McCarthy, 11565 Hillcrest Court, came forward and stated the noise testing was done
28 but while there was still snow on the ground. There will also be noise from outside the barn. It is a
29 beautiful barn and it is one of the reasons why she chose to live there. Children to have to get up
30 early for school and she has not had the same experiences with Mr. Jordan as others have as he has
31 been found on her property.

32
33 Ms. Christine Flug, 75th Street, came forward and stated saying the Council did this for one person is
34 not true as it makes sense for other properties also. CUP's are not a given in Grant and noise is a big
35 issue. As a large property owner, she knows what a challenge it is to keep the large acreage. She has
36 done that with horses but maintaining the property also has to be looked at and there should be some
37 give and take here.

38
39 Mr. Ross Sanderson, 11545 Hillcrest, came forward and stated he moved here from Lino Lakes due to
40 a large development. He stated he likes Mr. Jordan but was shocked at the number of events he wants
41 to have. He asked that if the plan moves forward is to be clear about what is expected from him and
42 the neighbors. It is his property but he does not want to move again. Everyone has to get along but
43 this will affect a lot of homes and everyone should work together. Frequency, volume, alcohol, hours
44 need to be considered.

1 Mayor Carr closed the public hearing at 8:38 p.m.

2

3 City Attorney Vivian read a list of names of people who submitted letters. Three letters of support
4 were submitted and nine letters opposing the project were submitted. The letters will be part of the
5 public record and attached to the meeting minutes.

6

7 Mayor Carr stated the text amendment was not approved for this use. It was a zoning change that was
8 nudged by this proposal. Zoning changes are sometimes driven by events. A lot of things bring
9 traffic to the roads but 100 cars is not a large impact. He stated he does like to sleep with his
10 windows open and would be upset if he could not. It is hard to find a balance and property owners do
11 have the right to use their land.

12

13 Council Member Bohnen stated their job is to try and get everyone to live together. He stated he
14 hopes feuds don't happen over this. He referred to lack of notice some people talked about and said
15 the City is on cable every month and notices are in the newspaper. He apologized if people did not
16 feel properly noticed as there is more transparency now than ever. The City was not aware of the
17 applicant's website until recently but that is not a City issue.

18

19 Council Member Huber stated he is looking for a balance here. Everyone has property rights and the
20 City will do the best it can to address the issues raised this evening. He inquired about notices being
21 sent out regarding the text amendment.

22

23 City Attorney Vivian advised individual notices were not sent out because the text amendment change
24 applies to the whole City. All legal requirements regarding the text amendment change public
25 hearings have been met.

26

27 Council Member Huber stated citizens who spoke during the public hearing as well as comments
28 from the applicant have been heard.

29

30 City Attorney Vivian advised the covenants on the property have been reviewed. Lots 4 and 5 are
31 subject to their own restrictions. The protective covenants on those parcels could be eliminated. He
32 advised he does not see this use being expressly limited by the covenants and no architectural controls
33 apply to lots 4 and 5.

34

35 The City Council discussed at great length the hours of operation, the parking lot recommendation,
36 overflow parking, parking spots and striping number of events per week, set up and take down,
37 deliveries, amplification, sound studies, HVAC in the barn itself and signage on the property.

38

39 The following issues will be addressed when further information is available at the next Council
40 meeting:

41

- 42 1. Dust coat it at least once per year or more as needed to maintain dustless and durable surface.
43 Paved apron on main entrance into drive minimum of 50 feet. Parking lot attendant for all
44 events. Wider entrance per County specs. Additional parking signs on main driveway to

- 1 prevent parking. ADA parking – creating stalls adjacent to barn that will be paved to meet
- 2 ADA standards.
- 3 2. Hours of Operation – Proposed every day with weeknights until 11 p.m. and weekends until
- 4 midnight. # Limit to X number of events per week. Alcohol service stops by 10, everybody
- 5 out by 11. Operational hours v. Event hours. 11 – 2 Lunch weekdays. 10 at night on a school
- 6 night. 3 Sundays per year. 3 weekdays per year.
- 7 3. 3 events per week. Lunch 10 – 2 on weekdays. Weekends – Event start 1. Event set up can
- 8 start at 9:00 a.m. Dark by 11:00 p.m.
- 9 4. Amplification and noise. Require third-party sound study to confirm compliance with Noise
- 10 Ordinance both during application process and supplementing after first couple of events.
- 11 5. Applicant to have sound study by April 18th.
- 12 6. Off duty officer – Deputy
- 13 7. Officer on site until all guests are off of the property.
- 14 8. Lighting – other options should be presented.
- 15

16 **Mayor Carr moved to continue the Dellwood Wedding Barns Venue CUP Application to the**

17 **May City Council meeting. Council Member Tronrud seconded the motion. Motion carried**

18 **unanimously.**

19

20 Mayor Carr called for a short recess at 10:35 p.m.

21 Mayor Carr reconvened the meeting at 10:43 p.m.

22 **Cell Tower CUP Application and Public Hearing, 9254 Manning Avenue North** – City Planner

23 Haskamp advised the Applicant, Faulk & Foster Real Estate has made an application on behalf of

24 Verizon Wireless to construct a new wireless communications cell tower at 9254 Manning Avenue

25 North, Grant, MN. A few months ago the City was contacted with respect to an

26 historical/environmental review with respect to the site. It was communicated during that process that

27 there were no known historical resources (from the City’s perspective) on site, but that appropriate

28 permits and applications from the city would be required prior to construction of the cell tower. This

29 application for a CUP is the follow-up to the initial contact.

30

31 City Planner Haskamp reviewed the staff report and provided a summary of the application. She

32 reviewed in detail the following draft conditions and recommendations for Council consideration:

33

34 **Draft Conditions/Recommendations**

35

- 36 * If desired by the City Council, a visual impact demonstration may be requested from the Applicant
- 37 to more clearly describe how the monopole and ground equipment in relation to adjacent properties.
- 38
- 39 * The Equipment Shelter should be designed to be architecturally compatible with other existing
- 40 structures on the site. Based upon the design, it appears that some additional detail and/or alternate
- 41 materials and colors should be considered for compatibility with existing structures.
- 42
- 43 * The plan set shall be updated to indicate placement of the signage on the gate, driveway and
- 44 equipment shelter.

- 1
- 2 *An updated plan set reflecting the City Engineer’s recommendations and requirements shall be
- 3 submitted prior to issuance of any building permit.
- 4
- 5 * A landscape plan shall be developed to more adequately screen the Equipment Shelter and fenced
- 6 area. The plan shall be submitted for review and approval of the City Engineer and City Planner prior
- 7 to a building permit being issued.
- 8
- 9 * All ground equipment, including the Equipment Shelter, fencing and vegetation shall be kept in
- 10 good repair and shall be maintained in compliance with the standards set forth in this permit.
- 11 * All antennas shall be construction in compliance with city building and electrical codes. A building
- 12 permit must be obtained prior to construction.
- 13
- 14 * No advertising, of any type, shall be affixed to the monopole or any components within the Land
- 15 Area.
- 16
- 17 *Antennas shall not be artificially lit and may not display any strobe lights.
- 18
- 19 *The Applicant must obtain all necessary, applicable, federal state and local agency permits prior to
- 20 construction of the monopole and installation of the antennas.
- 21
- 22 *Written statement from the Fire Department shall be submitted as indicated in Section 32-449(8)
- 23 prior to a building permit being issued.
- 24
- 25 * All antennas shall be shall be subject to state and federal regulations pertaining to nonionizing
- 26 radiation and other health hazards related to such facility. If new, more restrictive standards are
- 27 adopted, antennas shall be brought into compliance with the new standards by the owner and
- 28 operator. The cost of verification of compliance shall be borne by the owner and operation of the
- 29 antenna.
- 30
- 31 * Any future antenna installation shall be subject to the regulations and standards as set forth in
- 32 Section 32-446 Permit Requirements, or corresponding section, of the City’s adopted ordinances.
- 33
- 34 * The Owner/Operator of the tower shall be required to submit yearly proof of insurance and
- 35 compliance of operations.
- 36
- 37 * Every five years the applicant shall submit a report consistent with those requirements stated within
- 38 Section 32-449(c), or corresponding section, of the City’s adopted ordinance.
- 39
- 40 Mayor Carr stated that in the past, the City has required dollars to take the tower down if necessary.
- 41 He also thought that the City could restrict towers to certain areas. The City can require Verizon to
- 42 prove this is the best location. He stated he would like to see towers in a preferred area but doesn’t
- 43 think the City can say no without ending up in court.
- 44

1 Council Member Huber stated they have to trust the placement by Verizon although he does have
2 concerns regarding the site as Brown's Creek runs through it. He stated he would like to make sure
3 bridge jumpers are always used for maintenance and any damage to the culvert would be their
4 responsibility. He referred to the south side setbacks and stated if it falls it will go over the property
5 line.

6
7 Mr. Blake Conklin, representative on behalf of Verizon, came forward and stated the tower can be
8 designed with a fall point so it will not fall over the property line. The fall zone can meet all criteria
9 and he is working with the watershed district on culvert issues. He commented on the landscaping
10 plan noting that will be within the builder permit process. The brick shelter will include two rows of
11 screening.

12
13 Mayor Carr opened the public hearing at 11:09 p.m.

14
15 Ms. Colleen Schoepe, 9370 Manning, came forward and stated she opposes the tower and putting it in
16 a residential area should be a last resort. The toxicology reports are inconclusive. There are other
17 properties to put the tower on and enforcement of the CUP is an issue. The source of fuel is also an
18 issue. She stated she believed collocation is an option and the application is incomplete.

19
20 Ms. Sharon Schwarze, 10707 Joliet, came forward and stated no data regarding coverage within the
21 City of Grant and that coverage is needed within the City was provided. No documentation regarding
22 not being able to collocate on other locations was submitted. Towers without this data have been
23 turned down before in Grant. She requested that type of data as well as data that shows the tower
24 would serve Grant residents.

25
26 Mayor Carr closed the public hearing at 11:14 p.m.

27
28 Mr. Conklin came forward and stated coverage maps were included in the materials submitted. Their
29 engineering report relates to why this site was chosen. There is a very small area where a tower can
30 be located. Generally, there is no shortage of sites to locate. He stated Verizon has met the criteria
31 outlined in the ordinance for location at this site.

32
33 Mayor Carr stated there are no restrictions in residential areas in Stillwater Township. There is not a
34 preferred area in Grant but it can be put somewhere else.

35
36 City Attorney Vivian advised locating in another City is not a reasonable argument. The Council
37 needs sufficient information that the tower cannot be put in a preferred area within the City.

38
39 Mayor Carr stated he does not have that information. He stated the City of Grant has 10 acre lots and
40 he is concerned as to why it has to go in the City of Grant when it can be located in Stillwater
41 Township.

42
43 Mr. Conklin stated he believes they have made the case that the tower is justified in the proposed site.
44 He referred to the additional information provided in the exhibits.

1 City Attorney Vivian advised the City can say Verizon has not provided enough information to prove
2 this is the best place for the tower. This item can be tabled and they can come back with better
3 justification. He noted the City can also place a moratorium on cell towers for additional study.
4

5 **Mayor Carr moved to continue the Verizon Cell Tower CUP Application to the May City**
6 **Council meeting. Council member Huber seconded the motion. Motion carried unanimously.**
7

8 **City Attorney, Nick Vivian**
9

10 **Resolution No. 2014-08, Revocation of Liquor License** – Upon adoption of the agenda, this item
11 was removed.
12

13 **NEW BUSINESS**
14

15 There was no new business.
16

17 **UNFINISHED BUSINESS**
18

19 There was no unfinished business.
20

21 **DISCUSSION ITEMS**
22

23 **City Council Reports:**
24

25 Council Member Tronrud advised he needs articles for the spring newsletter by April 15, 2014.
26

27 Council Member Bohnen provided a pot hole update.
28

29 Mayor Carr thanked the plowing contractor for getting all the snow moved off the shoulders.
30

31 **Staff Updates:**
32

33 There were no staff updates.
34

35 **COMMUNITY CALENDAR APRIL 2 THROUGH APRIL 30, 2014:**

36 **Mahtomedi Public Schools Board Meeting, Thursday, April 10, 2014, Mahtomedi District**
37 **Education Center, 7:00 p.m.**

38 **Stillwater Public Schools Board Meeting, Thursday, April 10th and 24th, 2014, Stillwater City**
39 **Hall, 7:00 p.m.**

40 **Charter Commission Meeting, Thursday, April 17th, 2014, Mahtomedi City Hall, 7:00 p.m.**

41 **Washington County Commissioners Meeting, Tuesdays, Government Center, 9:00 a.m.**
42

43 **ADJOURN**

COUNCIL MINUTES

APRIL 1, 2014

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There being no further business, Council Member Huber moved to adjourn at 11:35 p.m. Council Member Bohnen seconded the motion. Motion carried unanimously.

The City Council adjourned to a work session to take public comment. No one was present to speak and no action was taken.

These minutes were considered and approved at the regular Council Meeting May 1, 2014.

Kim Points, Administrator/Clerk

Tom Carr, Mayor

April 2, 2014

Mayor Tom Carr
City of Grant
P.O. Box 577
Willernie, MN 55090

Dear Mr. Mayor,

I attended the Town Hall Meeting yesterday evening and was impressed to see the significant turnout of concerned citizens. Per your guidance I am writing you a letter with a copy to the Town Clerk voicing my strong objection to any conditional use permit progressing for the proposed wedding event business located at 7373 120th Street.

Although the owner of the property, presented himself as a sincere and decent individual, after listening to the plans presented, it is quite bizarre to think this proposed business will not have an adverse effect on the quality of life so many of us have worked countless years to achieve. Most of my neighbors are physicians, lawyers, executives or like me CEO's who have sacrificed many years of our lives to be able to afford to live where we do.

I appreciate the fact that the owner hired someone to use a decibel meter in an attempt to measure the noise generated from a wedding via simulation. However credible testimony came from neighbors who live directly across the street. They had to endure the fallout from one of his weddings. They were neither allowed to enjoy the use of their deck nor sleep that evening because of the noise. They were nice enough not to complain for this perceived one-time event. Those testimonies should carry a lot of credibility with you as they do me.

The argument or justification that the owner can't afford the upkeep to the property he bought in 2011 unless this scheme is approved is both illogical and irrelevant. We shouldn't have to choose between two bad alternatives; the threat that a barn fails to get painted or one of our kids getting killed by one of his intoxicated customers leaving his premise every summer weekend night. To imply people don't drink to excess at weddings, whether officially sanctioned or not is either naïve or insulting – we all know this can and does happen.

The argument that adding 'only' a couple hundred cars to the 'average' daily traffic count is both an inappropriate use of statistics and an attempt to obfuscate the truth. The appropriate question should be how many cars travel down that road between 1000 pm and 1100 pm every Friday, Saturday or Sunday night? Add to the normal traffic 200 more cars into those time slots, with a percentage of the drivers under the influence. How can it be said with a straight face that adding that many more cars, at night, to a curvy rural road with a significant percentage of drivers having consumed alcohol does not adversely affect those of us living here? Our families will be heading directly into that danger zone as they head home from school events or work, not once or twice, but every summer weekend!

In closing, most of us have lived here in this area a lot longer than 2011. My father was born here, my father-in-law was born here, and my wife was born here. We all went to the University of Minnesota for degrees. We have paid our dues and have earned the right to maintain our way of life. The issue of approving an every weekend party during the summer putting our children, our peace and quiet, and home values at risk is not something we will allow to happen without a very painful (and if necessary) expensive fight for the city as well as the owner. I ask that you do the right thing and stop this poorly thought out and ill-conceived scheme from progressing.

Sincerely,



Donald C. Kemp
5 Hillcrest Drive
Dellwood, MN

From: Benjamin and Casey Mueller
12174 Upper Heather Avenue N
Grant, MN 55038

To: The Honorable Mayor and City Council Members of the City of Grant, MN
111 Wildwood Road
Willernie, MN 55090

Re: CUP to Operate Rural Event Facility at 7373 120th Street N, Grant, MN

Date: March 28, 2014

To The Honorable Mayor,
Dear City Council Members of the City of Grant,
Dear Mr. Jordan,

We are citizens of the City of Grant, and live adjacent to the west of the property that is proposed in the above referenced CUP application to become a rural event facility, primarily to be used for hosting weddings with up to 300 guests throughout the spring, summer, and fall season. We oppose the granting of this permit due to a number of concerns.

We, and our neighbors, live on a hill to the north and west of the barn, across an already relatively busy county road. Our home is in the northwest corner of an S-shaped curve in the county road as it changes from 117th to 120th street.

Our primary concerns are disturbance of our peace, noise pollution, and public safety concerns through traffic alterations and intensification. Most patrons to the barn would arrive during a short time frame for the beginning of the event. The effect of arriving traffic from vehicles carrying 300 patrons to a 100 car parking lot at the event in a short time period should not be underestimated. Additional traffic is caused prior to and after the event by service staff, rehearsals, bands/DJs, catering services, etc. This intensification of traffic could lead to vehicle back up very close to our properties as cars enter the proposed main driveway to make their way to the parking lot. Traffic clearing onto the grounds itself will likely be slow due to pedestrians, including children and elderly, and back up will eventually be felt on the road. The intensified traffic above normal and resultant noise pollution prior to the event would occur primarily on weekends during daytime hours when we, too, with our families, want to enjoy the outdoors around our homes in the peace and tranquility for which we have chosen Grant as our home. Patrons to the event will likely leave at varying times throughout the evening, causing additional traffic above what is already present. Once the event ends and the majority of the patrons leave, there will be a number of cars accelerating outside of our homes, causing additional noise and traffic intensity late in the evening. As traffic backs up or obstructs the normal flow of it at any time, the S-shaped curve of the road poses a particular hazard. Drivers passing by the event will be affected by this traffic, possibly passing it with entrance into the oncoming lane. Due to the curved road, and its elevation, and the absence of safety rails or barriers, this is of particular safety concern to our properties. According to MNDOT, there were two recorded accidents in the S-shape of the road just last year during non-winter season (phone conversation with MNDOT official on 3-28-2014; personal injury or property damage >\$1000 required to be recorded). An additional car has veered off in the turn and entered our own property during wet but non-icy conditions. All *without* wedding traffic. The use of shuttles, although it may decrease the

intensity of traffic temporarily, does not avoid some of the above issues, and would likely require frequent coming/going of the shuttles with larger engines and increased noise.

The avoidance of noise pollution is exactly one of the main reasons for which we have chosen Grant as our home, "a home in the country." The background noise in a rural setting is considered to be approximately 30dB (decibel). An increase of only 5dB is required for humans with normal hearing to notice a change, and an increase of 10dB is an approximate doubling of the intensity of the noise. Sleep is disturbed by 45dB. Normal traffic noise is rated at 70dB. Amplified music, rated upwards of 100dB, albeit inside the barn, will leak outside because you cannot expect 300 people to be locked in with all doors closed for hours. The noise from 300 people themselves can be expected to be higher than 60dB, which is considered normal conversational speech. Although noise generally dissipates with distance, there are many variables in this process. Direct line of sight, wind, elevation of the noise's recipient on a hill, lower frequency (i.e. the base/speakers), and higher intensity of the original sound will allow it to travel far with less dissipation. A greater change from background noise will make it more easily perceptible. The noise caused by vehicles of a wedding event, whether sedans or shuttles or delivery trucks, and by 300 people enjoying amplified music will repeatedly elevate the noise intensity to noticeably bothersome levels at times of the day and night, and during a season, when we cherish 30dB. This is a clear disturbance of our peace.

Comparing this type of setting to that of a golf course's club house seems irrelevant as a club house clearly is more solidly constructed than an old barn, with better noise insulation, and is generally farther away from the neighbors, and surrounded by far more distance, landscaping and natural sound barriers.

Additional concerns include implications on the environment and local wildlife by the noise, traffic, and presence of people. The impact of 100 cars parked frequently in a region where people rely on water wells, and near wetlands (which Mr. Jordan owns) may be of consideration.

You may be surprised to hear that we have wished Mr. Jordan the best with his endeavor while also expressing our concerns to him in a recent phone conversation. The applicants will disagree with or dismiss many of our concerns. We feel that all of these concerns should be pre-emptively addressed by the applicant and his associates, with clear solutions to the potential problems, or presentation of *definitive* evidence that they are not an issue, and not be fixed as a work in progress after the granting of the permit. The burden of proof for any of these and other concerns should lie with the applicant. We are doubtful that the traffic and noise concerns can be effectively addressed. Perhaps a different business use of the barn may be more applicable to our rural area. According to the application, and the business's web-page (dellwoodbarnweddings.com) and facebook page, we can expect events to occur any day of the week, as well as during national holidays. According to the facebook page, there are only "3 Saturdays left in 2014" to be booked, and "dates are going fast." Although we agree that celebration should be part of any community, the people celebrating at the barn are highly unlikely to be *from* our community, and merely transplant their celebration and everything that comes with it into our community...very frequently.

We propose this final question: if you were about to make an offer for a home in Grant, to live there with your family and enjoy the tranquility, intended rural character and undisturbed privacy of the city, and it was disclosed to you that on an adjacent property there would be a party with 300 people on every weekend in the warm months when you, too, intend to enjoy your backyard and home outdoors, with a parking lot filled with 100 vehicles, bands, DJs, tent setup/breakdown, traffic, service staff, catering staff, etc, would this affect your decision to make the offer, or the amount of the offer? Would you consider that this may

be a disturbance of your peace? Although we wish Mr. Jordan all the best in finding a good business use for his property, we ask him and the Honorable Mayor and City Council Members with all due respect to consider the citizens directly affected by this proposal, our property values, and the disturbance of our peace, and implications on our safety and well being.

We thank you for your time and for hearing our thoughts.

Sincerely,

A handwritten signature in black ink, consisting of a large, stylized initial 'B' followed by a long horizontal line that ends in a cursive flourish.

Benjamin and Casey Mueller and family

Paul & Kristen Thalacker
1 Hillcrest Drive
Dellwood, MN 55110

April 2, 2014

City of Grant
P.O. Box 577
Willernie, MN 55090

Dear Mr. Mayor and City Council:

The purpose of this letter is to express our vehement disapproval of the land use and CUP the Grant City Council has granted to the Dellwood Barns Wedding Venue. We attended the City Council meeting on April 1st and were shocked by how far this process has proceeded with little consideration of the interests of anyone but the applicant. Within this letter we would like to address our concerns.

Our home is located along the Grant-Dellwood property line, just south of the Venue. We purchased our "dream home" in 2007 to escape the city for the beautiful, safe, serene, countryside all of us enjoy in Grant, Dellwood, and Hugo. Here, we have raised two daughters, ages 4 and 6, with hopes to stay in the neighborhood for decades to come. If the Dellwood Barns Venue opens, it will certainly cause a severe disruption to the tranquil setting we and our neighbors enjoy.

Besides the degraded quality of life this venue will cause throughout neighboring residential areas, I have yet to observe any conversation around the net economic impact of this venue to the community. When considering the property value loss that will certainly occur in surrounding neighborhoods, this aggregate economic loss will dwarf the potential gain of one property owner. From a pure financial point-of-view, this "deal" is an incredible economic loser for Grant, Dellwood, and Hugo.

In general, we struggle to understand how the interests of one party can trump the interests of dozens of neighbors only looking for a quiet, safe area to live, raise a family and have stable property values.

In the following paragraphs we would like to specifically address what we see as key issues in this matter:

1. We feel the Council used poor judgment in amending the Grant Zoning Ordinances to accommodate this "new" land use. The existing ordinances contain many land uses that would apply to this particular situation, such as the five below. All of these are listed as "Not-Permitted" uses within the A-1 Zoning District where the Dellwood Barns property sits.
 - a. Armories, convention halls, and similar uses
 - b. Bars and Taverns
 - c. Business – seasonal
 - d. Drive-in business
 - e. Clubs or lodges

We feel that a legal challenge of the Council's decision to amend the zoning ordinances may be warranted.

2. Should the Dellwood Barns land use proceed with/without legal challenges, we feel strongly that stringent conditions should be in place. Any violations of these conditions would warrant immediate termination of the CUP. Key conditions should include:
 - a. **Noise:** any non-natural noise should not travel beyond the property line of the venue.
 - b. **Police:** significantly upgraded police presence beyond what the application states. 2-3 on-duty police officers. This condition could save lives, as every event has the potential of streams of drunken drivers leaving the venue and endangering neighboring residents traveling home.
 - c. **Months:** June-July-August only
 - d. **Days:** Saturdays only
 - e. **Hours:** event closing time of 10pm
 - f. **Liability:** Dellwood Barns Weddings should be liable for any vandalism or "disturbance of the peace" that occurs in surrounding neighborhoods by event patrons before, during, or after each event. Due to the volume of patrons and presence of alcohol, we are very concerned about the overflow impact on our neighborhood and property if party revelers cruise our neighborhood.

Thank you for your consideration.

Sincerely,

Paul & Kristen Thalacker

Re: Conditional Use Permit for Dellwood Barn Weddings, 7373 120th Street, Grant

March 31, 2014

Via email: clerk@cityofgrant.us
City of Grant City Council
Grant Town Hall
8380 Kimbro Avenue N
Grant, MN 55082

Dear Mayor Carr and Members of the City Council:

I am writing to express my concerns regarding the zoning change and proposed conditional use permit at 7373 120th Street in Grant as well as my concerns regarding the City's handling of this matter. I live at 12465 Heather Avenue N. in Hugo in the Dellwood Ridge neighborhood, the neighborhood directly across 120th Street from the proposed Dellwood Barn Weddings venue.

In regard to the City's handling of the matter, I'm troubled by the fact that I learned about the zoning change and proposed conditional use permit from a neighbor just within the last 72 hours rather than from any official city correspondence. Sure, my family actually lives in Hugo and not Grant, but an entertainment complex less than ½ a mile from my home will significantly and negatively impact me and my family as well as our entire surrounding community. I'm perplexed by your city planning process, which apparently allows for the approval of an unprecedented zoning change without any public notification or input and that then is not required to notify homeowners who will surely be effected about a public hearing on a conditional use permit.

As it relates to a possible entertainment complex at 7373 120th Street, I feel strongly that the only one who will gain from it is the property's owner. There is no gain for the community of Grant at large, there is no gain for the City of Grant aside from perhaps a few tax dollars, and there is no gain for the homeowners who live nearby – or within Grant or Hugo at large. Do property owners have the right to use their property in a manner that pleases them? Certainly, as long as such use is within existing ordinances and doesn't disrupt the greater good of a community and neighboring residents' rights to use their own property. I'd like to become a world famous lion trainer. Okay, not really. But if I did, that doesn't mean I should be able to do so on my property.

Hugo and Grant are lovely rural communities that appeal to those of us who appreciate, respect and enjoy the combination of a sense of community, a sense of space, and a sense of safety. Most of these communities' residents moved here to raise their families in a safe, peaceful and private setting, my family included. Now, everything we moved here for is at risk because of Dellwood Barn Weddings. There will be disruptive noise and music at all hours of the day and night; there will be hundreds of people with absolutely no vested interest in the communities of Grant or Hugo coming and going at all hours of the day and night; and there will be increased traffic through our neighborhood as hundreds of cars come and go at all hours of the day and night. All of this raises significant concerns about our ability to enjoy our property and maintain our safety, our peace of mind, and our privacy.

And I'm wondering if you've considered that the venue is located on a dangerous "s" curve that in the spring, summer and fall sees hundreds of bicyclists who use it for recreation, training and racing. Adding several hundred cars to the roads potentially every night of the week for the same six months of the year that those bicyclists are using it is an accident waiting to happen.

From the communication I've seen thus far, the City of Grant has already granted permission for Dellwood Barn Weddings to operate, and the City is now simply looking for limited public input into the conditions or restrictions to place upon it. This is a sad day for Grant and Hugo as there is no restriction that will maintain the integrity of these rural communities and the livability of their residents. My hope and request is that the City of Grant will reconsider the CUP and the zoning change at 7373 120th Street in the interest of the greater good of Grant and Hugo and the thousands of residents who call those communities home.

Thank you for your time and consideration.

Sincerely,

Patty Gibbs
12465 Heather Avenue N.
Hugo, MN 55038

cc (via email):

Mayor Tom Carr (mayor@cityofgrant.us, trcarr@cbburnet.com)
Council Member Steve Bohnen (sbohnen@cityofgrant.us)
Council Member David Tronrud (dtronrud@cityofgrant.us)
Council Member Jeff Huber (jhuber@cityofgrant.us)
Council Member Tina Lobin (tlobin@cityofgrant.us)

March 31, 2104

By E-Mail: clerk@cityofgrant.us

City of Grant City Council
Grant Town Hall
8380 Kimbro Avenue N
Grant, Minnesota

Re: Proposed Conditional Use Permit for Dellwood Barns Weddings Venue

Dear Members of the Grant City Council:

It was 1998 when we purchased our home in the Dellwood Ridge Development. We did so to enjoy the country feel of the surrounding area. We have been very happy with our decision. Our way of life is quiet especially in the evening. Enjoying walks, conversation outdoors, spending time with our children and many grandchildren playing in the yard.

We were very surprised to have received an e-mail from our neighbors in Dellwood Ridge explaining the proposed CPU for the "Dellwood Wedding Barn ". We have been out of town and did not receive the notice of the meeting set for April 1st. We will, much to our regret, not be able to attend. In our leave, I will depend on this letter and the representation from the Dellwood Ridge Association along with other residents from Grant surrounding the subject property to voice our unequivocal rejection of the CPU application in its entirety.

I understand that the owner of subject property is only trying to be entrepreneurial, in fact I admire that. He already runs many different business ventures on the property. I am not aware of folks complaining about the boat storage, rental property, or the horse boarding. I have heard about the dogs issue but didn't think that was worth the fuss. Folks in this community are more than willing to let people do their own thing. To a point.

This is that point. Having a wedding venue approximately 200 feet from our homes with amplified music, liquor, traffic till well after midnight, potential for violence after a night of partying, not to mention turning night into day with the lit parking lot. Doesn't this sound like the perfect recipe for a great summer nights sleep. I wonder how the active farmstead just to the west will fare. Do you think the beef he raises will enjoy listening to the chaos created by the Wedding Barn? Even a cow knows what a barn should be used for, and not. Subject property is located on a nasty curve, and with the increased traffic flow, and only two lanes, with no shoulder to speak of, you will see an increase of accidents. This is also a very popular route for touring bicyclists. During the summer they travel in packs, they completely take over the lane of their travel direction. Now add this other chaos and you could be looking at fatalities.

I am trying to place the time line in a way that would be consistent with the norm. I just cannot understand how this could have gotten so far along in the process without us being informed of it sooner. I realize further that we are citizens of Hugo, however our homes are the closest to the Wedding Barn, and it was completely irresponsible for us not being in the loop from the beginning.

Maybe one should keep in mind that this is Washington County and not Washington DC. Transparency in government is what we need more of, not less of. At the end of the day we are all part of Washington County and should do everything possible to do what is right.

Douglas Carlson
12115 Upper Heather Avenue N.
Hugo, MN 55038

cc (via email):

Mayor Tom Carr (mayor@cityofgrant.us, trcarr@cbburnet.com)

Council Member Steve Bohnen (sbohnens@cityofgrant.us)

Council Member David Tronrud (dtronrud@cityofgrant.us)

Council Member Jeff Huber (jhuber@cityofgrant.us)

Council Member Tina Lobin (tlobin@cityofgrant.us)

April 1, 2104

By E-Mail: clerk@cityofgrant.us

City of Grant City Council
Grant Town Hall
8380 Kimbro Avenue N
Grant, Minnesota

Re: Proposed Conditional Use Permit for Dellwood Barns Weddings Venue

Dear Mayor Carr and Council Members,

We are writing to voice our concerns about the CUP for the Dellwood Wedding Barn. We live at 12150 Upper Heather Ave N, located diagonally across Cty Road 7 to the east of the barn location. We have 3 children ages 15, 12 and 9. When we moved here from Connecticut 7 years ago, we were drawn to this area for its open space, wildlife, peacefulness and yes, even for the "cute barn" just down the hill. We felt at home here right of way.

Noise is the biggest concern that this commercial establishment will create hosting up to 300 people celebrating, 100 vehicles coming and going and amplified music played by DJ's and bands. The CUP narrative says "The property is screened from neighbors by trees and elevation changes". Although those both seem like they would provide some sound barrier, the elevation change actually is more like an amplifier - sound travels right up the hill. We can hear bicyclists' conversations on Cty Road 7 as clear as if they were standing on our deck. Coyotes and dogs barking from down the hill sound as if they are standing in our yard. Now just imagine what the sound of 300 partying people will be like....every day of the summer. Sound in the valley travels straight up the hill like a megaphone!

Our other primary concern is traffic. Cty Road 7 has a pretty terrible "S" curve where the farm sits. For some reason, Cty Road 7 is also a draw for excessive speed among motorcyclists as well as automobiles. In addition, this road is used by many bicyclists and runners. We have personally come across a downed motorcyclist on the "S" curve and a dear friend of the family was rear ended by someone exceeding the speed limits - lucky to have lived. Now let's add another 100 cars going to and from this venue; it is a recipe for danger.

The CUP narrative states "Access to the property is off of Country Rd 7 and will not increase traffic through any neighborhood." All though the traffic would not directly pass through any neighborhood, Cty Road 7 is the primary access to multiple neighborhoods; Dellwood Ridge being one of them. We will all be affected by 100 vehicles coming and going to this property.

Additionally, we have many children in our neighborhood -up and coming teen drivers which is scary enough. So let's throw 100 more vehicles going to the farm and leaving after the wedding bash to add risk to their safety traveling to and from home!

It is truly amazing how dark the night is here. In that sort of darkness, light really stands out – just like the stars when we are star gazing. However, 3 light poles with 2 lights each will be like beacons to all.

We are still amazed that this is the first we have heard about the rezoning of this property and appalled that this business is already advertised on many websites. We understand that a person has a right to use their land, but if this business is allowed to move forward, our rights to use our land, to enjoy our deck and yard, have a nice family bbq, and quietly gaze at the stars will be stripped away by the loud music and 300 people celebrating and drinking.

The CUP for the Dellwood Wedding Barn needs to be denied!

Tom and Jannette Windisch
12150 Upper Heather Ave N.
Hugo, MN 55038

cc (via email):

Mayor Tom Carr (mayor@cityofgrant.us, trcarr@cbburnet.com)
Council Member Steve Bohnen (sbohnen@cityofgrant.us)
Council Member David Tronrud (dtronrud@cityofgrant.us)
Council Member Jeff Huber (jhuber@cityofgrant.us)
Council Member Tina Lobin (tlobin@cityofgrant.us)
Tom Windisch (tom.windisch@sealedair.com)

12160 Upper Heather Avenue North
Hugo, Minnesota 55038

March 30, 2014

By E-Mail: clerk@cityofgrant.us

City of Grant City Council
Grant Town Hall
8380 Kimbro Avenue N
Grant, Minnesota

**Re: Dellwood Barns Wedding Venue, 7373 120th Street
Conditional Use Permit Application & Public Hearing
Grant City Council Meeting – April 1, 2014**

Dear Mayor Carr and Members of the City Council:

My name is Kevin Rhodes. Along with my wife and three children (ages 17, 13 and 10), I live at 12160 Upper Heather Avenue N in Hugo, which is the property directly across 120th Street to the north of the proposed Dellwood Barns Wedding Venue. I write in opposition to the CUP application and to express my disappointment and concerns with the process by which the City of Grant has proceeded in this matter.

Our property is among those that will be most impacted by the proposed commercial activity at the Dellwood Barns Wedding Venue. As I mentioned, we are in the Dellwood Ridge neighborhood right across 120th Street from the "Wedding Barn" and our south-facing deck overlooks the barn. The proposed commercial activities are wholly out of character with the rural residential character of our neighborhood. There was one wedding at the barn last summer and the noise was unbearable. It was impossible to spend time comfortably on our deck or to enjoy any outdoor activities in our yard. If the City Council approves the CUP, it will ruin the use of our property all summer long. I cannot even begin to imagine a summer with weddings permitted every day from May 1st to October 31st, with the receptions going on until midnight on Friday and Saturday nights and 11:00 p.m. every other night of the week. At each one of those weddings, we can look forward to up to 300 guests, DJs and amplified music (indoors and outside), alcohol consumption, outdoor lighting and traffic coming in and out of a 100 car parking lot.

Frankly, the scale of what is being proposed is astonishing, given the character of our community. There is no denying that the proposed activities will disturb the peace of our neighborhood, negatively impact property values and preclude us and our neighbors in the Dellwood Ridge neighborhood from enjoying our property. The increased noise alone provides sufficient grounds to deny the application: according to the Grant City Code, "[e]vents shall not generate noise that unreasonably annoys, disturbs, or endangers the comfort or peace of any persons, or precludes their enjoyment of property or affects their property's value." Section 32-352.

I also must express my dismay at the lack of transparency and apparent disregard for those members of the public most impacted that the City of Grant has displayed in this matter. As a neighbor of the property in question who received his first notice of any of this in a letter from Grant's Consulting City Planner dated March 18, 2014, you might imagine my surprise when I looked on the internet and found that "Dellwood Barns Weddings" has been in existence since last September at the latest. Indeed, its twitter page proudly announced on January 6, 2014 that ***"Contracts are now ready for 2014! Call to book today!"*** (<https://twitter.com/DellwoodBarnWed>). By January 13th, its Facebook page stated: ***"Friday night wedding special for 2014. \$2995! We only have a few dates left so hurry in to book your day!"*** And by March 5th, the same Facebook page announced that there were only ***"3 Saturdays left for 2014!"*** (<https://www.facebook.com/Dellwoodbarnweddings>).

This timeline certainly calls into question the City's approval process. By January, months before nearby property owners like myself were given any notice, whatever the City had communicated to Dellwood Barns Weddings convinced Dellwood Barns Weddings that it could begin to enter into binding contracts with customers for the 2014 summer wedding season. The fact that Dellwood Barns Weddings seems to have been a "done deal" for 2014 before any notice was provided to any homeowners, any public hearing had taken place, or any approval was extended at a noticed City Council meeting, calls into question whether the City has followed proper public notice and open meeting procedures, and more generally whether the City has been transparent and forthcoming with its residents and the residents of neighboring communities to ensure that their due process rights have been respected.

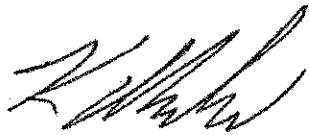
And that is just the beginning of our concerns with a process that seems to have progressed for months without adequate notice to surrounding property owners. The City Council's meeting minutes indicate that Mr. Scott Jordan, the owner of the Dellwood Barns Weddings property, presented his plans to the City Council on September 3, 2013 and was told that his property was not zoned for such use. Nonetheless, without providing any public notice to nearby landowners, the City Council, at its January 7, 2014 meeting, then approved Mr. Jordan's specific request to amend the City's Zoning Ordinance so that his plans could proceed. The City Council knew full well that the change to the Zoning Ordinance was designed specifically to permit Dellwood Barns Weddings to operate its commercial enterprise on Mr. Jordan's property.

Thus, it is circular to argue now that the proposed use is one that is permitted by the Zoning Ordinance, when in fact that is now the case only because the City Council just amended the Zoning Ordinance to accommodate this specific use on this specific site, without public notice so that I and other impacted members of the public could assert our rights to object that such use is not permitted under the Zoning Ordinance. Had we been afforded proper notice, we would have pointed out that amending the zoning ordinance to permit property zoned as A-1 to be used as a "wedding/banquet venue" would be an arbitrary and capricious action by the City, given that all other comparable uses are prohibited by Section 32-245 of the Grant City Code, including: "bars and taverns," "business-seasonal," "cafes and restaurants," and "retail business."

March 30, 2014

The City of Grant's Seal includes the motto: "A Home in the Country." That is what we were looking for, and found, when we moved into our home thirteen years ago. That is what is reflected in the City's Comprehensive Plan, accepted by the Metropolitan Council, under which Grant is to be a rural community. I urge you to vote against a massive commercial use of the property across the street from our home that is so contrary to the character of the surrounding neighborhood and so detrimental to our family's enjoyment of our Home in the Country.

Very truly yours,



Kevin H. Rhodes

cc (via email):

Mayor Tom Carr (mayor@cityofgrant.us)

Council Member Steve Bohnen (sbohnen@cityofgrant.us)

Council Member David Tronrud (dtronrud@cityofgrant.us)

Council Member Jeff Huber (jhuber@cityofgrant.us)

Council Member Tina Lobin (tlobin@cityofgrant.us)

March 30, 2104

By E-Mail: clerk@cityofgrant.us
City of Grant City Council
Grant Town Hall
8380 Kimbro Avenue N
Grant, Minnesota

Re: Proposed Conditional Use Permit for Dellwood Barns Weddings Venue

Dear Members of the Grant City Council:

Last week, we received notice that the Grant City Council would be considering an application for a conditional use permit for the Dellwood Barns Wedding Venue, 7373 120th Street, and holding a public hearing on April 1, 2014. I am writing to express my very strong concerns about the proposed permit and to ask that it not be approved.

I live at 12160 Upper Heather Avenue N., in Hugo on the property that will likely be one of those most impacted by this proposed venture. Our property borders the barn—we are close enough to be awoken by the sound of their dogs barking. In the past, the owners have hosted occasional parties in the barn. The noise from those events was so loud that it caused the south side of our house to vibrate, kept us indoors and interrupted our family's sleep. We seriously considered calling the police about the noise but decided that it was an infrequent occurrence and not worth the potential aggravation. If the conditional use permit is granted, that infrequent occurrence will become an everyday occurrence at our home, compounded by the addition of sound amplification, lights and a parking lot. The proposed hours of operation are from May 1 – October 31 every day until at least 11:00 pm and until midnight on Fridays and Saturdays. The addition of sound amplification, lights, and a parking lot would create a public nuisance, diminish our property value and seriously disrupt our quality of life.

We moved to this area from downtown Chicago thirteen years ago to raise our family away from busy streets, noise and lights. We chose a rural area so that we would not have to deal with congestion, traffic and noise. This area is largely residential and the proposed use completely undermines the character of the neighborhood. It is unfair to have an entire community disturbed by the noise, traffic and lights from one property. Please vote not to allow this use of property that will negatively impact so many families and properties.

I am not persuaded by arguments that this an event venue is an allowed use under the City of Grant zoning ordinance, since it appears that the zoning ordinance was just recently amended to allow for this specific use. I am disturbed by the apparent casualness with which the zoning ordinance was altered. With this precedence, how do you possibly deny the next property owner who wants a zoning amendment? In substance, how is an events venue different from a bar or restaurant? 300 guests, eating, drinking and partying until midnight, but paying a catering company rather than a bar or restaurant owner? This is a distinction without a difference. The City Council is setting a troubling precedent here. You have set yourselves up to have no principled basis to deny the establishment of bars and restaurants all over the City of Grant, even in areas zoned as agricultural. How will you feel

when the next application comes from one of your neighbors who wants to open up a bar next to your home?

I ask that the Grant City Council deny the CUP application and also repeal its zoning ordinance amendment in light of citizen's concerns. The City Council should act decisively to protect Grant neighborhoods from disruption and commercialization. I will attend the meeting on Tuesday evening but wanted you to have advance notice of my concerns.

Sincerely,

Melinda Lopes
12160 Upper Heather Avenue N.
Hugo, MN 55038

cc (via email):

Mayor Tom Carr (mayor@cityofgrant.us, trcarr@cbburnet.com)
Council Member Steve Bohnen (sbohnen@cityofgrant.us)
Council Member David Tronrud (dtronrud@cityofgrant.us)
Council Member Jeff Huber (jhuber@cityofgrant.us)
Council Member Tina Lobin (tlobin@cityofgrant.us)

March 30, 2014

By E-Mail: clerk@cityofgrant.us

City of Grant City Council
Grant Town Hall
8380 Kimbro Avenue N
Grant, Minnesota

*Re: Dellwood Barns Wedding Venue, 7373 120th Street
Conditional Use Permit Application & Public Hearing
Grant City Council Meeting – April 1, 2014*

Dear Mayor and Members of the City Council:

My husband and I live at 12460 Heather Ave N along with our 3 young children. I write in opposition to the CUP application and to express my concern with the process by which the City of Grant has already begun to proceed regarding this matter.

You can imagine our surprise to first hear just two days ago of the new and amended yet already approved zoning ordinance that took place relating to the "Dellwood Wedding Barn." There is no denying that the proposed activities will disrupt the peace of our neighborhood, negatively impact property values and prevent us, our neighbors in Dellwood Ridge and other adjacent neighborhoods from enjoying our properties with our families. The addition of a Wedding Barn hosting events with hundreds of guests May through October certainly does not resonant with "A Home in the Country."

We are disappointed that the first public hearing is taking place April 1, just one month prior to the apparent launch of a Barn that boasts online they only have a few dates left open in 2014. I urge you to vote against the proposed permit and also repeal its zoning ordinance amendment.

Kind Regards,

Monica Beulke

Monica Beulke

cc (via email):

Mayor Tom Carr (mayor@cityofgrant.us, trcarr@cbburnet.com)

Council Member Steve Bohnen (sbohnen@cityofgrant.us)

Council Member David Tronrud (dtronrud@cityofgrant.us)

Council Member Jeff Huber (jhuber@cityofgrant.us)

Council Member Tina Lobin (tlobin@cityofgrant.us)

Administrator/Clerk

From: info@halogenwebstudio.com on behalf of City of Grant, Minnesota
<clerk@cityofgrant.us>
Sent: Wednesday, April 02, 2014 6:17 AM
To: clerk@cityofgrant.us
Subject: Form submission from: General Public Comment Form

Submitted on Wednesday, April 2, 2014 - 06:17 Submitted by anonymous user: [107.2.122.168] Submitted values are:

Full Name: James Collins

Email: collins.james.e@comcast.net

Telephone: 612-840-4860

Direct Comment or Question To: Administrator/Clerk

Comment/Question: I attended the Town Hall Mtg last evening regarding the CUP for the Dellwood Barns Wedding Venue. Being a resident in the Meadowlark Preserve, with my address being 11515 Hillcrest Ct. N., I am appalled by the City Council granting a CUP to Scott Jordan. My understanding is the Scott's two lots fall under the Declaration of Protective Covenants for Meadowlark Preserve. Article III, section 3.2 Business Use Restricted, if followed, should have ended his application for a zoning change and subsequent CUP being granted in the first place. This local "covenant" should NOT be overruled by City Council changes prior to discussions with the local residents of Meadowlark Preserve, which is what has taken place. Scott's "character witnesses" that he had speak on his behalf is not the issue. The issue is that he was granted a CUP which violated the covenant for Meadowlark Preserve already in place. In my opinion, this represents gross negligence on the part of the City Council and steps need to be addressed to rectify this mistake now. No one of the Meadowlark Preserve residents should be allowed to supplement their income at the expense of the neighbors simply because they feel they need the income to stay on that property. This violates the Meadowlark Covenant. The Covenant exists to prevent such a ruling from taking place, as the City Council has done in granting the CUP. Correct it now; it is legally the right thing to do.

The results of this submission may be viewed at:

<http://www.cityofgrant.us/node/56/submission/536>

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Version: 2014.0.4355 / Virus Database: 3722/7279 - Release Date: 04/01/14

Administrator/Clerk

From: Michele Lindau <MLindau@ci.hugo.mn.us>
Sent: Tuesday, April 01, 2014 2:16 PM
To: clerk@cityofgrant.us; max
Cc: Bryan Bear
Subject: FW: Zoning request

Max, I have forwarded this to the City of Grant.

Michele Lindau
Hugo City Clerk
651-762-6315

-----Original Message-----

From: max [<mailto:maxrsoliveira@gmail.com>]
Sent: Tuesday, April 01, 2014 8:53 AM
To: Michele Lindau
Cc: Max Oliveira
Subject: Zoning request

Dear Sirs,

I live at 12010 Heather Ave. N. The farm property across the street at the S curve on county rd. 7th is requesting to use their property for special events and related activities; the public hearing is tonight and I am traveling and I'm not able to attend.

As one of the closes property to the barn where the events are to be held, I am strongly opposed to this proposal.

In the recent past they've had at least two events; parking was an issue as people had to park on the shoulder of County 7 around the S curve. The music and people noise lasted early in the the morning hours, that even with my windows closed the sounds were very evident.

Please relay my opposition to this proposal in my absence.

Best Regards,
Max Oliveira

651-428-3055

12010 heather ave. n.
Hugo, 55038

Sent from Max's I Pad

No virus found in this message.

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Version: 2014.0.4355 / Virus Database: 3722/7276 - Release Date: 03/31/14

Administrator/Clerk

From: Trish-Yahoo <Trish_oliveira@yahoo.com>
Sent: Tuesday, April 01, 2014 10:22 PM
To: clerk@cityofgrant.us
Subject: re : conditional use permit for Scott Jordan

Dear Mr. Carr and Board Members of the City of Grant:

Hello. I am writing regarding the meeting I attended this evening concerning Scott Jordan's request for a permit for his property on 120th St. Thank you in advance for taking the time to read this. I appreciate the opportunity.

I am the third house in the row that is directly above the property. I can see the barn from my house. Two other neighborhood women spoke who are in the first row above him as I am.

I, too, was kept awake from the music playing until late at the wedding last summer. It was a frustrating evening. We had to shut our windows and turn fans on to drown out the loud music. But we too, thought "well its one special occasion, we can be neighborly and endure it this one night." We never in our wildest dreams, in the almost 20 years we have lived here thought there could ever be that on possibly a weekly or bi-weekly basis.

I don't believe it is even remotely realistic to say that the doors to the barn can be kept closed on a hot summer night. All those people in there? They would need cross ventilation and with that fresh air, neighbors on both side of the barn would be affected by the loud sound. No berm can help us up on the hill.

I am very concerned also with people leaving at midnight, their lights shining up the drive directly into our bedrooms. But I am especially concerned with the possibility of many of them having consumed alcohol. I am a licensed alcohol and drug counselor and people leaving at midnight on that highway is so very dangerous but with the chance they have even had one or two drinks is so scary.

We did not realize how wonderful we have it out here until you see that you can lose it. I want to quote my kids and say "its not fair." Mr Jordan will be making money and my property value will undoubtedly drop being directly across the road from this event center. I wish we had been notified sooner so we could've put our house up for sale.

Please try to put yourself in our shoes. Its not fair that many of us will be kept awake many nights of the month. I work early on some weekends and I don't infringe on his sleep and I should not have my sleep and health infringed upon either.

Thanks so much for your consideration.

Sincerely,

Patricia A Oliveira
12010 Heather Ave N
Hugo, MN 55038
651-428-3054

No virus found in this message.
Checked by AVG - www.avg.com

Administrator/Clerk

From: Ken Kramer <kkramer@TheSolutionFits.com>
Sent: Thursday, April 17, 2014 7:05 PM
To: clerk@cityofgrant.us
Subject: In regards to 4/1/2014 City Meeting Dellwood Barns Wedding
Attachments: untitled-[2].htm

Ken Kramer
11810 Hamlet Ave N
City of Grant, MN 55110
April 17, 2014

Tom Carr
Mayor
City of Grant
Via email

Dear Mr. Carr:

I'm writing today in support of the Dellwood Barn Wedding proposal that was presented at council April 1st.

I live across the street from Scott and my driveway is directly across from Scott's driveway on Washington County Rd 7.

Scott approached me some time prior to the April 1st meeting about his idea to host wedding receptions at his farm. I told him that I had no problem with his idea and I also indicated that I thought it would be a fun attraction. Since that time I did receive notice in the mail about the hearing and I chose not to attend as I figured the proposed use of the barn and property would be a slam dunk for Scott. I did have an opportunity, however, to review the city meeting over the internet and I was so pleased to see Scott responding to rumors and concerns of the neighbors as it shows a person that is committed to fulfilling a dream. A dream that appears to not be just about creating a business and revenue stream but a dream that includes preservation of a city landmark. I could not count how many times I try to explain where my home is only to hear "you must be right by the red barn on that beautiful farm."

I want to thank Scott and Grant for sharing this treasure with the community and making it available for weddings.

On another positive note. I have been at home during two wedding events one last summer and one hosted by the prior owner of the farm. What a fun and positive event.

We have no concerns about the sound.

Our home is up on a hill and has the benefit of providing a fabulous view of the landscape to our south, but our hill also, I've noticed over the years, provides for amplification of any sounds coming from the south of our property. I can hear clearly conversations going on from the homes in the Meadow Ridge area of Dellwood (straight south of me). I can hear clearly conversations bicyclist have when riding on County Road 7. That being said, the hill I'm on provides a natural sound barrier from anything coming from the East.

In fact, the car traffic easily eclipses any sound coming from my east (the direction of Scott's barn).

On the topic of sound, I would submit that I'm OK with the road noise and overhearing conversations because I live on a hill. That's it, I'm on a hill. It's not the laws of the city that are making noise come up, it's physics - sound is going to travel up this darn hill. I do not expect any one else to do anything about it.

I know that Scott is doing due diligence to protect his neighbors from any inconvenience. He had some sound checks done the weekend of March 30th and I was home and heard no noise. I do suspect that homes to the north of Scott's

property may have noise concerns but no concerns from our property.

Please consider my statement in support of the Dellwood Barn Weddings.

Sincerely,

Ken Kramer

11810 Hamlet Ave N

City of Grant, MN 55110

Ken Kramer

kkramer@TheSolutionFits.com

612-280-7229 .

No virus found in this message.

Checked by AVG - www.avg.com

Version: 2014.0.4355 / Virus Database: 3882/7360 - Release Date: 04/17/14

To whom it may concern:

As stated in the narrative, the main purpose of developing my barn into a rural event facility, Dellwood Barn Weddings, is to preserve the historic barn and farm site. Without additional income, it would not be affordable for me to maintain or keep the property as is, especially in the event of another recession like the one we recently went through. I also would not be able to make the payments and afford the cost of maintaining my buildings and property at the time of retirement without additional income.

There are very few old-style barns still remaining in the area and without constant maintenance and upkeep they deteriorate quickly. The dairy barn is currently not a functional building to me now that there is no dairy farming going on here. Without another functional use, such as wedding receptions, it is not probable the barn would ever be re-built or maintained to its original condition in the case of fire, storm, deterioration, etc. It is much more likely that the barn would be replaced with a much more usable and functional building, such as a pole building, that would be much easier to heat, drive in and out of, and keep maintained.

I have a great love and passion for this land and the history of this barn. I'm sure the passion I have for my farm has been witnessed by the multiple hours and dollars I have spent maintaining and beautifying the property and buildings on it. I have no intentions, as long as I can afford it, to do any developing or major changes to the existing farm other than the possibility of some day building a house on the vacant 14 acre lot that I own to the east of my barn for one of my two sons and eventually replacing my existing house with a new farm-style house.

I would hate to see this farm fall into the hands of a developer or someone who didn't have the same passion that I have to preserve the historic look of this iconic farm. I feel that I have done my due diligence during the process of getting a CUP for this new business venture. I have visited with all three homeowners that have property that adjoins mine. The closest neighbor to my east has no problem with the barn being used as an event center. Of the other three adjoining neighbors to the south, I have encountered no objections but did have some legitimate concerns from two of them. They stated they had a concern that the noise would be too loud and disruptive to them. I also visited with other neighbors who I had been told were concerned, this included Hugo resident Theodore Wicks, who has objection to the whole concept, and the other's whose main concerns seemed to be with noise and traffic.

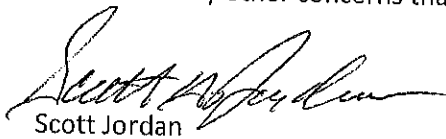
I could not hear any noise inside my house, which is right next to the barn, during the only wedding party we conducted last summer. When I asked the concerned neighbors if they remember hearing any noise or having any disruptions due to the event, and they stated they had not, I decided to do some sound testing. On Saturday, March 29, 2014 I had music playing louder than what would be permitted at any event for most of the day with the barn door open. I heard of no complaints and could only faintly hear the music from any distances off my property. On Sunday, March 30, 2014 I hired a sound company to hook up their sound system, which is used at events, and took readings from three

different property lines. Decibel readings from all three locations, with no music playing, averaged 53 decibels, and with car traffic passing by the average reading was 82 decibels. Motorcycle traffic increased the decibel readings to an average of 94 decibels. With the sound system playing at a louder volume than what would be allowed (94 decibels) and having the barn door partially open, the decibel readings at the closest location to my barn, which was at the end of my east driveway, increased by only 2 decibels to an average of 55 decibels. The readings at the other two locations, the end of my west driveway and the northeast property line, had no change in decibel reading, they remained at an average of 53 decibels. I also drove to some of the concerned neighbors properties and none of us could hear any sound coming from my barn.

As far as the traffic issue, none of the concerned people that I have heard about have a driveway located on County 7 and the roads they do live on are not routes to my farm. I received a car count for County 7 from Washington County traffic engineer stating that the average daily car count on County 7 for 2013 was 2,250 cars. The impact of a maximum of 100 additional cars on less than 10% of the days in a year is hardly a noticeable difference.

I would also like to put to rest some false accusations and slander that has been stated in a letter that was dispersed by a Hugo resident, Theodore Wicks. In addition to slandering Afton Architects and Swanson-Haskamp Consulting by stating they are uniquely unqualified and grossly irresponsible, he states in the letter that my home is not owner occupied, I maintain several horses on my property, I have a dog training and kennel facility, I do commercial animal training, I do boat/trailer/marine sales, and I need a permit for a gun range. None of these accusations are true. I've lived in my house since I purchased the farm, I've always had only two to three horses here (all owned by me), I have three of my own personal hunting dogs, and I have never boarded or trained anyone else's animals. I have never sold or serviced any marine items. I store some boats inside my buildings only for the winter season. I do not have a gun range and I'm allowed to shoot guns on my property. I am very respectful of my neighbors and keep the shooting to a bare minimum. I mentor a boy from our church who I have taught to hunt and shoot. The few times I have thrown clay pigeons for him to shoot, the cops have been called and they followed up with a visit to me. Each time the officers were very courteous and found nothing illegal being done, stating they are required to follow procedure when getting a call.

If there are any other concerns that require clarification, please notify me as soon as possible.


Scott Jordan

To: City of Grant

Re: Scott Jordan

Being a property owner in the City of Grant (11425 Grenelefe Ave N), I am aware of a permit application submitted by Scott Jordan to host weddings & special events in his barn located on Hwy 7. I have known Scott since the purchase of his property and I've had the pleasure of watching him transform his farm from the state it was in to the impeccably beautiful property it's become today. The big Red barn is almost of an iconic stature for all to see as they pass through the north side of our city and it breathes to be explored by all who pass it.

In times such as ours, finding a "safe" **Down on the Farm, Romantic Wedding, High School Graduation, Family Pig Roast** or any other meaningful occasion **Venue** of the quality Scott would provide has become nearly impossible.

In my opinion there would be no burden to any neighbor due to the distance of Scott's farm to his nearest neighbor and no congestion to hwy 7 because of the long driveways entering from the west and east sides of his property.

I urge you give his application serious consideration, as a property owner in Grant it has mine.

Sincerely,

Steve Cossack
Founder / CEO

Priority VANEX
Courtes Experts.

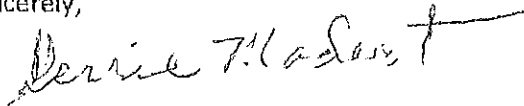
(651) 748-4464

March 31, 2014

To whom it may concern:

I am Scott Jordan's closest neighbor to the east. I received my letter regarding the CUP Scott is requesting for an event center on what I call the Arcand Farm. I am neutral in my feelings towards having an event center next door, but I do not feel it would affect my lifestyle as a neighbor. I am aware of the two wedding parties that have occurred at the Arcand Farm, one by the previous owner and one that occurred last summer. I can say that I had no inconveniences, disruptions, or heard any noise to speak of during either of the wedding parties.

Sincerely,

A handwritten signature in cursive script that reads "Derrice T. Adams". The signature is written in black ink and includes a long horizontal flourish at the end.

To Whom It May Concern

I wanted to express my delight in finding out that Mr. Jordan's farm on County Road J could potentially be utilized for celebratory functions. I live on Ironwood in the City of Grant and many of times have friends and family commented on the quant farm nestled in the valley with the "big red barn". It is a shame that we have lost so many historic barns in our community from lack of upkeep or they no longer suit the owner's need and are replaced with a more conventional (boring) pole barn. It would be terrible but understandable to have that "big red barn" replaced by a more effective building, but what an eye sore that would be and a loss to our picturesque community. To hear that Mr. Jordan's barn could be utilized and appreciated for weddings, anniversaries or whatever happy occasion gave me hope that these historic monuments that dot our landscape in the City of Grant may once again be used and deemed useful. And let's not forget, who doesn't like to see a country wedding...wasn't that the way it was done in the "olden days". ..and isn't that one of the many reasons that we live in Grant, to preserve a semblance of past traditions?

Thank you for letting me express my opinion and I hope to drive by many celebrations hosted at Mr Jordan's beautiful farm.

Dessy Johnson
11969 Ironwood Avenue N
Grant, MN 55082

Theodore J. Wicks
12015 Heather Ave N., Hugo 55038
email: tjwicks@gmail.com

To: Honorable Mayor Thomas Carr and City Council, City of Grant
Kim Points, City Administrator, City of Grant
Nick Vivian, City Attorney, City of Grant

CC: Lonnie Van Klei, Washington County Sheriff's Office
Afton Architects & Planners, Ltd.
Jennifer Haskamp, Swanson Haskamp Consulting, LLC ("SHP")
Phil Olson, City Engineer, WSB & Associates, Inc.
Bryan Bear, City Administrator, City of Hugo

Date: March 28, 2014

RE: (i) Conditional Use Permit ("CUP") to Operate Rural Event Facility at 7373 120th Street N., Grant MN, zoned A-1 herein referred to as "Subject Property".

(ii) Briggs & Morgan - Notification of Legal Correspondence.

The Dellwood Ridge Home Owners Association and surrounding neighbors were recently informed of a pending CUP to Operate a Rural Event Facility, which is strongly opposed. Pursuant to Afton Architects & Planners, Ltd ("AAP") CUP Narrative memorandum ("AAP Memo") dated February 27, 2014, addressed to the City of Grant, Minnesota, presents numerous inconsistencies and falsehoods. Many of us believe AAP and SHP have demonstrated they are uniquely 'unqualified' and grossly irresponsible to deliver a false CUP Narrative to the Grant City Council. AAP's CUP Narrative's inconsistencies and falsehoods regarding the subject property include the following:

1. The barn, out-buildings and adjacent land is not vacant and used to operate a boat storage facility and business for profit.
2. The red pole barn adjacent to barn is not vacant and used as a dog training and kennel facility.
3. Several horses maintained on the property.
4. Firearms discharge reports.
5. The home is not owner occupied.

Furthermore, the AAP Memo falsely states:

- a. "...This CUP supports the goals of the *Comprehensive Plan* by protecting Grant's rural character. Re-purposing the existing barn contributes to the preservation of agricultural land, facilities & lifestyles. The proposed use will not negatively affect the general welfare, public health or safety... The property is screened from the neighbors by trees and elevation changes."

If a CUP is approved by the City of Grant, this event facility will have a significant negative affect on the neighborhood, our quality of life and significantly decrease property valuations due to an adjacent

commercial property. The subject property is not screened by trees while sitting on a low elevation for all around to hear and see. Installing a blacktop asphalt parking lot with lighting for 100+ vehicles does not protect or preserve rural character. Increased traffic and party goers does not protect public safety or children in the neighborhood. Some residents thought the barn on subject property had already been repurposed for boat storage and weddings/banquets that have already taken place.

Motorist safety on County Road 7 continues to be a significant public safety hazard issue, which has been frequently reported to the Washington County Sheriff's office. Motorists' continue to far exceed speed limits on the hilly and curved roads and endanger oncoming traffic, bicyclists and pedestrians. Law enforcement has been ineffective to stop or ticket speeders. On any given weekend, motorcycles typically exceed 100+ mphs on County Road 7 between Portland Ave and Manning Ave. A "traffic study" was previously requested by the City of Hugo and results have not been forthcoming. This past winter several auto accidents occurred as speeders jettisoned off the curved roads into the deep ditches which have no guard rails.

According to the City of Grant, Minnesota, Zoning Article III, Sec. 32-245, Table of Uses; the A-1 zoned subject property referenced herein is currently in violation of many zoning ordinances and required to have: (i) a Conditional Use Permit ("C") for commercial animal training; (ii) a Permit ("P") for domestic farm animals; (iii) Boat, Traller, marine sales are Not Permitted ("N"); (iv) a Conditional Use Permit ("C") for Storage—as a principal use; and (v) gun ranges are Not Permitted ("N").

I believe the City of Grant would be grossly negligent in approving a commercial facility of this nature in our rural community, especially since it's already failed to enforce current zoning ordinances on said referenced subject property. Two Wrongs don't make a Right.

Briggs & Morgan ("BM"), Minneapolis based legal counsel, has been retained. BM is currently evaluating legal options related to land use planning and zoning and other possible injunctions.

Best Regards,

A handwritten signature in cursive script, appearing to read "Ted".

From: Benjamin and Casey Mueller
12174 Upper Heather Avenue N
Grant, MN 55038

To: The Honorable Mayor and City Council Members of the City of Grant, MN
111 Wildwood Road
Willernie, MN 55090

Re: CUP to Operate Rural Event Facility at 7373 120th Street N, Grant, MN

Date: March 28, 2014

To The Honorable Mayor,
Dear City Council Members of the City of Grant,
Dear Mr. Jordan,

We are citizens of the City of Grant, and live adjacent to the west of the property that is proposed in the above referenced CUP application to become a rural event facility, primarily to be used for hosting weddings with up to 300 guests throughout the spring, summer, and fall season. We oppose the granting of this permit due to a number of concerns.

We, and our neighbors, live on a hill to the north and west of the barn, across an already relatively busy county road. Our home is in the northwest corner of an S-shaped curve in the county road as it changes from 117th to 120th street.

Our primary concerns are disturbance of our peace, noise pollution, and public safety concerns through traffic alterations and intensification. Most patrons to the barn would arrive during a short time frame for the beginning of the event. The effect of arriving traffic from vehicles carrying 300 patrons to a 100 car parking lot at the event in a short time period should not be underestimated. Additional traffic is caused prior to and after the event by service staff, rehearsals, bands/DJs, catering services, etc. This intensification of traffic could lead to vehicle back up very close to our properties as cars enter the proposed main driveway to make their way to the parking lot. Traffic clearing onto the grounds itself will likely be slow due to pedestrians, including children and elderly, and back up will eventually be felt on the road. The intensified traffic above normal and resultant noise pollution prior to the event would occur primarily on weekends during daytime hours when we, too, with our families, want to enjoy the outdoors around our homes in the peace and tranquility for which we have chosen Grant as our home. Patrons to the event will likely leave at varying times throughout the evening, causing additional traffic above what is already present. Once the event ends and the majority of the patrons leave, there will be a number of cars accelerating outside of our homes, causing additional noise and traffic intensity late in the evening. As traffic backs up or obstructs the normal flow of it at any time, the S-shaped curve of the road poses a particular hazard. Drivers passing by the event will be affected by this traffic, possibly passing it with entrance into the oncoming lane. Due to the curved road, and its elevation, and the absence of safety rails or barriers, this is of particular safety concern to our properties. According to MNDOT, there were two recorded accidents in the S-shape of the road just last year during non-winter season (phone conversation with MNDOT official on 3-28-2014; personal injury or property damage >\$1000 required to be recorded). An additional car has veered off in the turn and entered our own property during wet but non-icy conditions. All *without* wedding traffic. The use of shuttles, although it may decrease the

intensity of traffic temporarily, does not avoid some of the above issues, and would likely require frequent coming/going of the shuttles with larger engines and increased noise.

The avoidance of noise pollution is exactly one of the main reasons for which we have chosen Grant as our home, "a home in the country." The background noise in a rural setting is considered to be approximately 30dB (decibel). An increase of only 5dB is required for humans with normal hearing to notice a change, and an increase of 10dB is an approximate doubling of the intensity of the noise. Sleep is disturbed by 45dB. Normal traffic noise is rated at 70dB. Amplified music, rated upwards of 100dB, albeit inside the barn, will leak outside because you cannot expect 300 people to be locked in with all doors closed for hours. The noise from 300 people themselves can be expected to be higher than 60dB, which is considered normal conversational speech. Although noise generally dissipates with distance, there are many variables in this process. Direct line of sight, wind, elevation of the noise's recipient on a hill, lower frequency (i.e. the base/speakers), and higher intensity of the original sound will allow it to travel far with less dissipation. A greater change from background noise will make it more easily perceptible. The noise caused by vehicles of a wedding event, whether sedans or shuttles or delivery trucks, and by 300 people enjoying amplified music will repeatedly elevate the noise intensity to noticeably bothersome levels at times of the day and night, and during a season, when we cherish 30dB. This is a clear disturbance of our peace.

Comparing this type of setting to that of a golf course's club house seems irrelevant as a club house clearly is more solidly constructed than an old barn, with better noise insulation, and is generally farther away from the neighbors, and surrounded by far more distance, landscaping and natural sound barriers.

Additional concerns include implications on the environment and local wildlife by the noise, traffic, and presence of people. The impact of 100 cars parked frequently in a region where people rely on water wells, and near wetlands (which Mr. Jordan owns) may be of consideration.

You may be surprised to hear that we have wished Mr. Jordan the best with his endeavor while also expressing our concerns to him in a recent phone conversation. The applicants will disagree with or dismiss many of our concerns. We feel that all of these concerns should be pre-emptively addressed by the applicant and his associates, with clear solutions to the potential problems, or presentation of *definitive* evidence that they are not an issue, and not be fixed as a work in progress after the granting of the permit. The burden of proof for any of these and other concerns should lie with the applicant. We are doubtful that the traffic and noise concerns can be effectively addressed. Perhaps a different business use of the barn may be more applicable to our rural area. According to the application, and the business's web-page (dellwoodbarnweddings.com) and facebook page, we can expect events to occur any day of the week, as well as during national holidays. According to the facebook page, there are only "3 Saturdays left in 2014" to be booked, and "dates are going fast." Although we agree that celebration should be part of any community, the people celebrating at the barn are highly unlikely to be *from* our community, and merely transplant their celebration and everything that comes with it into our community...very frequently.

We propose this final question: if you were about to make an offer for a home in Grant, to live there with your family and enjoy the tranquility, intended rural character and undisturbed privacy of the city, and it was disclosed to you that on an adjacent property there would be a party with 300 people on every weekend in the warm months when you, too, intend to enjoy your backyard and home outdoors, with a parking lot filled with 100 vehicles, bands, DJs, tent setup/breakdown, traffic, service staff, catering staff, etc, would this affect your decision to make the offer, or the amount of the offer? Would you consider that this may

be a disturbance of your peace? Although we wish Mr. Jordan all the best in finding a good business use for his property, we ask him and the Honorable Mayor and City Council Members with all due respect to consider the citizens directly affected by this proposal, our property values, and the disturbance of our peace, and implications on our safety and well being.

We thank you for your time and for hearing our thoughts.

Sincerely,

A handwritten signature in black ink, consisting of a large, stylized initial 'M' followed by a long horizontal line extending to the right.

Benjamin and Casey Mueller and family

Re: Conditional Use Permit for Dellwood Barn Weddings, 7373 120th Street, Grant

March 31, 2014

Via email: clerk@cityofgrant.us
City of Grant City Council
Grant Town Hall
8380 Kimbro Avenue N
Grant, MN 55082

Dear Mayor Carr and Members of the City Council:

I am writing to express my concerns regarding the zoning change and proposed conditional use permit at 7373 120th Street in Grant as well as my concerns regarding the City's handling of this matter. I live at 12465 Heather Avenue N. in Hugo in the Dellwood Ridge neighborhood, the neighborhood directly across 120th Street from the proposed Dellwood Barn Weddings venue.

In regard to the City's handling of the matter, I'm troubled by the fact that I learned about the zoning change and proposed conditional use permit from a neighbor just within the last 72 hours rather than from any official city correspondence. Sure, my family actually lives in Hugo and not Grant, but an entertainment complex less than ½ a mile from my home will significantly and negatively impact me and my family as well as our entire surrounding community. I'm perplexed by your city planning process, which apparently allows for the approval of an unprecedented zoning change without any public notification or input and that then is not required to notify homeowners who will surely be effected about a public hearing on a conditional use permit.

As it relates to a possible entertainment complex at 7373 120th Street, I feel strongly that the only one who will gain from it is the property's owner. There is no gain for the community of Grant at large, there is no gain for the City of Grant aside from perhaps a few tax dollars, and there is no gain for the homeowners who live nearby – or within Grant or Hugo at large. Do property owners have the right to use their property in a manner that pleases them? Certainly, as long as such use is within existing ordinances and doesn't disrupt the greater good of a community and neighboring residents' rights to use their own property. I'd like to become a world famous lion trainer. Okay, not really. But if I did, that doesn't mean I should be able to do so on my property.

Hugo and Grant are lovely rural communities that appeal to those of us who appreciate, respect and enjoy the combination of a sense of community, a sense of space, and a sense of safety. Most of these communities' residents moved here to raise their families in a safe, peaceful and private setting, my family included. Now, everything we moved here for is at risk because of Dellwood Barn Weddings. There will be disruptive noise and music at all hours of the day and night; there will be hundreds of people with absolutely no vested interest in the communities of Grant or Hugo coming and going at all hours of the day and night; and there will be increased traffic through our neighborhood as hundreds of cars come and go at all hours of the day and night. All of this raises significant concerns about our ability to enjoy our property and maintain our safety, our peace of mind, and our privacy.

And I'm wondering if you've considered that the venue is located on a dangerous "s" curve that in the spring, summer and fall sees hundreds of bicyclists who use it for recreation, training and racing. Adding several hundred cars to the roads potentially every night of the week for the same six months of the year that those bicyclists are using it is an accident waiting to happen.

From the communication I've seen thus far, the City of Grant has already granted permission for Dellwood Barn Weddings to operate, and the City is now simply looking for limited public input into the conditions or restrictions to place upon it. This is a sad day for Grant and Hugo as there is no restriction that will maintain the integrity of these rural communities and the livability of their residents. My hope and request is that the City of Grant will reconsider the CUP and the zoning change at 7373 120th Street in the interest of the greater good of Grant and Hugo and the thousands of residents who call those communities home.

Thank you for your time and consideration.

Sincerely,

Patty Gibbs
12465 Heather Avenue N.
Hugo, MN 55038

cc (via email):

Mayor Tom Carr (mayor@cityofgrant.us, trcarr@cbburnet.com)
Council Member Steve Bohnen (sbohnen@cityofgrant.us)
Council Member David Tronrud (dtronrud@cityofgrant.us)
Council Member Jeff Huber (jhuber@cityofgrant.us)
Council Member Tina Lobin (tlobin@cityofgrant.us)

March 31, 2104

By E-Mail: clerk@cityofgrant.us
City of Grant City Council
Grant Town Hall
8380 Kimbro Avenue N
Grant, Minnesota

Re: Proposed Conditional Use Permit for Dellwood Barns Weddings Venue

Dear Members of the Grant City Council:

It was 1998 when we purchased our home in the Dellwood Ridge Development. We did so to enjoy the country feel of the surrounding area. We have been very happy with our decision. Our way of life is quiet especially in the evening. Enjoying walks, conversation outdoors, spending time with our children and many grandchildren playing in the yard.

We were very surprised to have received an e-mail from our neighbors in Dellwood Ridge explaining the proposed CPU for the "Dellwood Wedding Barn ". We have been out of town and did not receive the notice of the meeting set for April 1st. We will, much to our regret, not be able to attend. In our leave, I will depend on this letter and the representation from the Dellwood Ridge Association along with other residents from Grant surrounding the subject property to voice our unequivocal rejection of the CPU application in its entirety.

I understand that the owner of subject property is only trying to be entrepreneurial, in fact I admire that. He already runs many different business ventures on the property. I am not aware of folks complaining about the boat storage, rental property, or the horse boarding. I have heard about the dogs issue but didn't think that was worth the fuss. Folks in this community are more than willing to let people do their own thing. To a point.

This is that point. Having a wedding venue approximately 200 feet from our homes with amplified music, liquor, traffic till well after midnight, potential for violence after a night of partying, not to mention turning night into day with the lit parking lot. Doesn't this sound like the perfect recipe for a great summer nights sleep. I wonder how the active farmstead just to the west will fare. Do you think the beef he raises will enjoy listening to the chaos created by the Wedding Barn? Even a cow knows what a barn should be used for, and not. Subject property is located on a nasty curve, and with the increased traffic flow, and only two lanes, with no shoulder to speak of, you will see an increase of accidents. This is also a very popular route for touring bicyclists. During the summer they travel in packs, they completely take over the lane of their travel direction. Now add this other chaos and you could be looking at fatalities.

I am trying to place the time line in a way that would be consistent with the norm. I just cannot understand how this could have gotten so far along in the process without us being informed of it sooner. I realize further that we are citizens of Hugo, however our homes are the closest to the Wedding Barn, and it was completely irresponsible for us not being in the loop from the beginning.

Maybe one should keep in mind that this is Washington County and not Washington DC. Transparency in government is what we need more of, not less of. At the end of the day we are all part of Washington County and should do everything possible to do what is right.

Douglas Carlson
12115 Upper Heather Avenue N.
Hugo, MN 55038

cc (via email):

Mayor Tom Carr (mayor@cityofgrant.us, trcarr@cbburnet.com)

Council Member Steve Bohnen (sbohn@cityofgrant.us)

Council Member David Tronrud (dtronrud@cityofgrant.us)

Council Member Jeff Huber (jhuber@cityofgrant.us)

Council Member Tina Lobin (tlobin@cityofgrant.us)

April 1, 2104

By E-Mail: clerk@cityofgrant.us

City of Grant City Council
Grant Town Hall
8380 Kimbro Avenue N
Grant, Minnesota

Re: Proposed Conditional Use Permit for Dellwood Barns Weddings Venue

Dear Mayor Carr and Council Members,

We are writing to voice our concerns about the CUP for the Dellwood Wedding Barn. We live at 12150 Upper Heather Ave N, located diagonally across Cty Road 7 to the east of the barn location. We have 3 children ages 15, 12 and 9. When we moved here from Connecticut 7 years ago, we were drawn to this area for its open space, wildlife, peacefulness and yes, even for the "cute barn" just down the hill. We felt at home here right of way.

Noise is the biggest concern that this commercial establishment will create hosting up to 300 people celebrating, 100 vehicles coming and going and amplified music played by DJ's and bands. The CUP narrative says "The property is screened from neighbors by trees and elevation changes". Although those both seem like they would provide some sound barrier, the elevation change actually is more like an amplifier - sound travels right up the hill. We can hear bicyclists' conversations on Cty Road 7 as clear as if they were standing on our deck. Coyotes and dogs barking from down the hill sound as if they are standing in our yard. Now just imagine what the sound of 300 partying people will be like....every day of the summer. Sound in the valley travels straight up the hill like a megaphone!

Our other primary concern is traffic. Cty Road 7 has a pretty terrible "S" curve where the farm sits. For some reason, Cty Road 7 is also a draw for excessive speed among motorcyclists as well as automobiles. In addition, this road is used by many bicyclists and runners. We have personally come across a downed motorcyclist on the "S" curve and a dear friend of the family was rear ended by someone exceeding the speed limits - lucky to have lived. Now let's add another 100 cars going to and from this venue; it is a recipe for danger.

The CUP narrative states "Access to the property is off of Country Rd 7 and will not increase traffic through any neighborhood." All though the traffic would not directly pass through any neighborhood, Cty Road 7 is the primary access to multiple neighborhoods; Dellwood Ridge being one of them. We will all be affected by 100 vehicles coming and going to this property.

Additionally, we have many children in our neighborhood -up and coming teen drivers which is scary enough. So let's throw 100 more vehicles going to the farm and leaving after the wedding bash to add risk to their safety traveling to and from home!

It is truly amazing how dark the night is here. In that sort of darkness, light really stands out – just like the stars when we are star gazing. However, 3 light poles with 2 lights each will be like beacons to all.

We are still amazed that this is the first we have heard about the rezoning of this property and appalled that this business is already advertised on many websites. We understand that a person has a right to use their land, but if this business is allowed to move forward, our rights to use our land, to enjoy our deck and yard, have a nice family bbq, and quietly gaze at the stars will be stripped away by the loud music and 300 people celebrating and drinking.

The CUP for the Dellwood Wedding Barn needs to be denied!

Tom and Jannette Windisch
12150 Upper Heather Ave N.
Hugo, MN 55038

cc (via email):

Mayor Tom Carr (mayor@cityofgrant.us, tcarr@cbburnet.com)
Council Member Steve Bohnen (sbohnens@cityofgrant.us)
Council Member David Tronrud (dtronrud@cityofgrant.us)
Council Member Jeff Huber (jhuber@cityofgrant.us)
Council Member Tina Lobin (tlobin@cityofgrant.us)
Tom Windisch (tom.windisch@sealedair.com)

12160 Upper Heather Avenue North
Hugo, Minnesota 55038

March 30, 2014

By E-Mail: clerk@cityofgrant.us

City of Grant City Council
Grant Town Hall
8380 Kimbro Avenue N
Grant, Minnesota

**Re: Dellwood Barns Wedding Venue, 7373 120th Street
Conditional Use Permit Application & Public Hearing
Grant City Council Meeting – April 1, 2014**

Dear Mayor Carr and Members of the City Council:

My name is Kevin Rhodes. Along with my wife and three children (ages 17, 13 and 10), I live at 12160 Upper Heather Avenue N in Hugo, which is the property directly across 120th Street to the north of the proposed Dellwood Barns Wedding Venue. I write in opposition to the CUP application and to express my disappointment and concerns with the process by which the City of Grant has proceeded in this matter.

Our property is among those that will be most impacted by the proposed commercial activity at the Dellwood Barns Wedding Venue. As I mentioned, we are in the Dellwood Ridge neighborhood right across 120th Street from the "Wedding Barn" and our south-facing deck overlooks the barn. The proposed commercial activities are wholly out of character with the rural residential character of our neighborhood. There was one wedding at the barn last summer and the noise was unbearable. It was impossible to spend time comfortably on our deck or to enjoy any outdoor activities in our yard. If the City Council approves the CUP, it will ruin the use of our property all summer long. I cannot even begin to imagine a summer with weddings permitted every day from May 1st to October 31st, with the receptions going on until midnight on Friday and Saturday nights and 11:00 p.m. every other night of the week. At each one of those weddings, we can look forward to up to 300 guests, DJs and amplified music (indoors and outside), alcohol consumption, outdoor lighting and traffic coming in and out of a 100 car parking lot.

Frankly, the scale of what is being proposed is astonishing, given the character of our community. There is no denying that the proposed activities will disturb the peace of our neighborhood, negatively impact property values and preclude us and our neighbors in the Dellwood Ridge neighborhood from enjoying our property. The increased noise alone provides sufficient grounds to deny the application: according to the Grant City Code, "[e]vents shall not generate noise that unreasonably annoys, disturbs, or endangers the comfort or peace of any persons, or precludes their enjoyment of property or affects their property's value." Section 32-352.

March 30, 2014

I also must express my dismay at the lack of transparency and apparent disregard for those members of the public most impacted that the City of Grant has displayed in this matter. As a neighbor of the property in question who received his first notice of any of this in a letter from Grant's Consulting City Planner dated March 18, 2014, you might imagine my surprise when I looked on the internet and found that "Dellwood Barns Weddings" has been in existence since last September at the latest. Indeed, its twitter page proudly announced on January 6, 2014 that *"Contracts are now ready for 2014! Call to book today!"* (<https://twitter.com/DellwoodBarnWed>). By January 13th, its Facebook page stated: *"Friday night wedding special for 2014. \$2995! We only have a few dates left so hurry in to book your day!"* And by March 5th, the same Facebook page announced that there were only *"3 Saturdays left for 2014!"* (<https://www.facebook.com/Dellwoodbarnweddings>).

This timeline certainly calls into question the City's approval process. By January, months before nearby property owners like myself were given any notice, whatever the City had communicated to Dellwood Barns Weddings convinced Dellwood Barns Weddings that it could begin to enter into binding contracts with customers for the 2014 summer wedding season. The fact that Dellwood Barns Weddings seems to have been a "done deal" for 2014 before any notice was provided to any homeowners, any public hearing had taken place, or any approval was extended at a noticed City Council meeting, calls into question whether the City has followed proper public notice and open meeting procedures, and more generally whether the City has been transparent and forthcoming with its residents and the residents of neighboring communities to ensure that their due process rights have been respected.

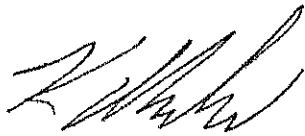
And that is just the beginning of our concerns with a process that seems to have progressed for months without adequate notice to surrounding property owners. The City Council's meeting minutes indicate that Mr. Scott Jordan, the owner of the Dellwood Barns Weddings property, presented his plans to the City Council on September 3, 2013 and was told that his property was not zoned for such use. Nonetheless, without providing any public notice to nearby landowners, the City Council, at its January 7, 2014 meeting, then approved Mr. Jordan's specific request to amend the City's Zoning Ordinance so that his plans could proceed. The City Council knew full well that the change to the Zoning Ordinance was designed specifically to permit Dellwood Barns Weddings to operate its commercial enterprise on Mr. Jordan's property.

Thus, it is circular to argue now that the proposed use is one that is permitted by the Zoning Ordinance, when in fact that is now the case only because the City Council just amended the Zoning Ordinance to accommodate this specific use on this specific site, without public notice so that I and other impacted members of the public could assert our rights to object that such use is not permitted under the Zoning Ordinance. Had we been afforded proper notice, we would have pointed out that amending the zoning ordinance to permit property zoned as A-1 to be used as a "wedding/banquet venue" would be an arbitrary and capricious action by the City, given that all other comparable uses are prohibited by Section 32-245 of the Grant City Code, including: "bars and taverns," "business-seasonal," "cafes and restaurants," and "retail business."

March 30, 2014

The City of Grant's Seal includes the motto: "A Home in the Country." That is what we were looking for, and found, when we moved into our home thirteen years ago. That is what is reflected in the City's Comprehensive Plan, accepted by the Metropolitan Council, under which Grant is to be a rural community. I urge you to vote against a massive commercial use of the property across the street from our home that is so contrary to the character of the surrounding neighborhood and so detrimental to our family's enjoyment of our Home in the Country.

Very truly yours,



Kevin H. Rhodes

cc (via email):

Mayor Tom Carr (mayor@cityofgrant.us)

Council Member Steve Bohnen (sbohnen@cityofgrant.us)

Council Member David Tronrud (dtronrud@cityofgrant.us)

Council Member Jeff Huber (jhuber@cityofgrant.us)

Council Member Tina Lobin (tlobin@cityofgrant.us)

March 30, 2104

By E-Mail: clerk@cityofgrant.us

City of Grant City Council
Grant Town Hall
8380 Kimbro Avenue N
Grant, Minnesota

Re: Proposed Conditional Use Permit for Dellwood Barns Weddings Venue

Dear Members of the Grant City Council:

Last week, we received notice that the Grant City Council would be considering an application for a conditional use permit for the Dellwood Barns Wedding Venue, 7373 120th Street, and holding a public hearing on April 1, 2014. I am writing to express my very strong concerns about the proposed permit and to ask that it not be approved.

I live at 12160 Upper Heather Avenue N., in Hugo on the property that will likely be one of those most impacted by this proposed venture. Our property borders the barn—we are close enough to be awoken by the sound of their dogs barking. In the past, the owners have hosted occasional parties in the barn. The noise from those events was so loud that it caused the south side of our house to vibrate, kept us indoors and interrupted our family's sleep. We seriously considered calling the police about the noise but decided that it was an infrequent occurrence and not worth the potential aggravation. If the conditional use permit is granted, that infrequent occurrence will become an everyday occurrence at our home, compounded by the addition of sound amplification, lights and a parking lot. The proposed hours of operation are from May 1 – October 31 every day until at least 11:00 pm and until midnight on Fridays and Saturdays. The addition of sound amplification, lights, and a parking lot would create a public nuisance, diminish our property value and seriously disrupt our quality of life.

We moved to this area from downtown Chicago thirteen years ago to raise our family away from busy streets, noise and lights. We chose a rural area so that we would not have to deal with congestion, traffic and noise. This area is largely residential and the proposed use completely undermines the character of the neighborhood. It is unfair to have an entire community disturbed by the noise, traffic and lights from one property. Please vote not to allow this use of property that will negatively impact so many families and properties.

I am not persuaded by arguments that this an event venue is an allowed use under the City of Grant zoning ordinance, since it appears that the zoning ordinance was just recently amended to allow for this specific use. I am disturbed by the apparent casualness with which the zoning ordinance was altered. With this precedence, how do you possibly deny the next property owner who wants a zoning amendment? In substance, how is an events venue different from a bar or restaurant? 300 guests, eating, drinking and partying until midnight, but paying a catering company rather than a bar or restaurant owner? This is a distinction without a difference. The City Council is setting a troubling precedent here. You have set yourselves up to have no principled basis to deny the establishment of bars and restaurants all over the City of Grant, even in areas zoned as agricultural. How will you feel

when the next application comes from one of your neighbors who wants to open up a bar next to your home?

I ask that the Grant City Council deny the CUP application and also repeal its zoning ordinance amendment in light of citizen's concerns. The City Council should act decisively to protect Grant neighborhoods from disruption and commercialization. I will attend the meeting on Tuesday evening but wanted you to have advance notice of my concerns.

Sincerely,

Melinda Lopes
12160 Upper Heather Avenue N.
Hugo, MN 55038

cc (via email):

Mayor Tom Carr (mayor@cityofgrant.us, tcarr@cbburnet.com)
Council Member Steve Bohnen (sbohnen@cityofgrant.us)
Council Member David Tronrud (dtronrud@cityofgrant.us)
Council Member Jeff Huber (jhuber@cityofgrant.us)
Council Member Tina Lobin (tlobin@cityofgrant.us)

March 30, 2014

By E-Mail: clerk@cityofgrant.us

City of Grant City Council
Grant Town Hall
8380 Kimbro Avenue N
Grant, Minnesota

*Re: Dellwood Barns Wedding Venue, 7373 120th Street
Conditional Use Permit Application & Public Hearing
Grant City Council Meeting – April 1, 2014*

Dear Mayor and Members of the City Council:

My husband and I live at 12460 Heather Ave N along with our 3 young children. I write in opposition to the CUP application and to express my concern with the process by which the City of Grant has already begun to proceed regarding this matter.

You can imagine our surprise to first hear just two days ago of the new and amended yet already approved zoning ordinance that took place relating to the "Dellwood Wedding Barn." There is no denying that the proposed activities will disrupt the peace of our neighborhood, negatively impact property values and prevent us, our neighbors in Dellwood Ridge and other adjacent neighborhoods from enjoying our properties with our families. The addition of a Wedding Barn hosting events with hundreds of guests May through October certainly does not resonant with "A Home in the Country."

We are disappointed that the first public hearing is taking place April 1, just one month prior to the apparent launch of a Barn that boasts online they only have a few dates left open in 2014. I urge you to vote against the proposed permit and also repeal its zoning ordinance amendment.

Kind Regards,

Monica Beulke

Monica Beulke

cc (via email):

Mayor Tom Carr (mayor@cityofgrant.us, tcarr@cbburnet.com)
Council Member Steve Bohnen (sbohnens@cityofgrant.us)
Council Member David Tronrud (dtronrud@cityofgrant.us)
Council Member Jeff Huber (jhuber@cityofgrant.us)
Council Member Tina Lobin (tlobin@cityofgrant.us)

Administrator/Clerk

From: Michele Lindau <MLindau@ci.hugo.mn.us>
Sent: Tuesday, April 01, 2014 2:16 PM
To: clerk@cityofgrant.us; max
Cc: Bryan Bear
Subject: FW: Zoning request

Max, I have forwarded this to the City of Grant.

Michele Lindau
Hugo City Clerk
651-762-6315

-----Original Message-----

From: max [<mailto:maxrsoliveira@gmail.com>]
Sent: Tuesday, April 01, 2014 8:53 AM
To: Michele Lindau
Cc: Max Oliveira
Subject: Zoning request

Dear Sirs,

I live at 12010 Heather Ave. N. The farm property across the street at the S curve on county rd. 7th is requesting to use their property for special events and related activities; the public hearing is tonight and I am traveling and I'm not able to attend.

As one of the closes property to the barn where the events are to be held, I am strongly opposed to this proposal.

In the recent past they've had at least two events; parking was an issue as people had to park on the shoulder of County 7 around the S curve. The music and people noise lasted early in the the morning hours, that even with my windows closed the sounds were very evident.

Please relay my opposition to this proposal in my absence.

Best Regards,
Max Oliveira

651-428-3055

12010 heather ave. n.
Hugo, 55038

Sent from Max's I Pad

No virus found in this message.
Checked by AVG - www.avg.com
Version: 2014.0.4355 / Virus Database: 3722/7276 - Release Date: 03/31/14

Date range: 04/01/2014 to 04/25/2014

<u>Vendor</u>	<u>Date</u>	<u>Check #</u>	<u>Total</u>	<u>Description</u>	<u>Void</u>	<u>Account #</u>	<u>Detail</u>
Payroll Period Ending 04/30/2014	04/22/2014	12384	\$3,262.64		No	100-41101-100	\$3,262.64
Xcel Energy	04/22/2014	12385	\$331.26	Utilities	No	100-43004-381 100-43010-381 100-43117-381	\$272.80 \$11.59 \$46.87
Sprint	04/22/2014	12386	\$30.00	City Cell Phone	No	100-43116-321	\$30.00
Petty Cash	04/22/2014	12387	\$200.00	Election Expenses	No	100-41310-210 100-41313-210	\$100.00 \$100.00
KEU Enterprises	04/22/2014	12388	\$3,530.00	Snow Removal/Signs	No	100-43108-400 100-43110-300 100-43113-300	\$280.00 \$930.00 \$2,320.00
Croix Valley Inspector	04/22/2014	12389	\$6,040.50	Building Inspector	No	100-42004-300	\$6,040.50
Washington County Transportation	04/22/2014	12390	\$638.66	Snow and Ice Control	No	100-43113-210	\$638.66
M.J. Raleigh Trucking	04/22/2014	12391	\$110.00	Salt/Sand	No	100-43113-210	\$110.00
Lyle Signs, Inc.	04/22/2014	12392	\$309.42	Sign Replacement	No	100-43110-330	\$309.42
Sherrill Reid Animal Control	04/22/2014	12393	\$90.00	Animal Control/Inv2014-26	No	100-42006-300	\$90.00
Maroney's	04/22/2014	12394	\$46.35	Roadside Garbage	No	100-43105-384	\$46.35
MN Department of Labor & Industry	04/22/2014	12395	\$339.23	Cont#19558163060	No	100-42005-520	\$339.23
Smith Appraisal Service	04/22/2014	12396	\$1,810.83	Monthly Assessment Services	No	100-41208-300	\$1,810.83
CenturyLink	04/22/2014	12397	\$161.35	City Phone	No	100-41309-321	\$161.35
Wells Fargo Business Card	04/22/2014	12398	\$230.00	Municipal Clerk's Institute	No	100-41305-310	\$230.00
Waste Management	04/22/2014	12399	\$4,347.38	Recycling	No	100-43011-384	\$4,347.38
Ken Ronnan	04/22/2014	12400	\$155.00	Video Tech Services	No	100-41318-300	\$155.00
AirFresh Industries	04/22/2014	12401	\$125.00	PortaPot #16399	No	100-43007-210	\$125.00
Press Publications	04/22/2014	12402	\$161.64	Legals	No	872-49310-351 878-49310-351 879-49310-351	\$67.50 \$60.08 \$34.06
WSB & Associates	04/22/2014	12403	\$2,058.75	Engineering	No	100-41203-300	\$2,058.75
Washington County Property Records	04/22/2014	12404	\$2,666.00	2014 Property Taxes	No		

City of Grant

Disbursements List

04/25/2014

<u>Vendor</u>	<u>Date</u>	<u>Check #</u>	<u>Total</u>	<u>Description</u>	<u>Void</u>	<u>Account #</u>	<u>Detail</u>
Eckberg Lammers	04/22/2014	12405	\$5,298.67	Legal Services	No	100-41204-300	\$2,402.00
						100-41205-300	\$360.00
						100-41206-300	\$1,637.67
						801-49310-300	\$40.00
						872-49310-300	\$532.20
						878-49310-300	\$326.80
PERA	04/22/2014	12406	\$602.55	PERA	No	100-41102-120	\$323.59
						100-41113-100	\$278.96
IRS	04/22/2014	EFT48	\$1,079.91	Payroll Taxes	No	100-41103-100	\$341.44
						100-41107-100	\$397.03
						100-41110-100	\$276.72
						100-41112-100	\$64.72
David's Consulting	04/24/2014	12414	\$2,592.50	Roadside Services	No	100-43113-300	\$2,422.50
						100-43114-300	\$170.00
Mike Perron	04/24/2014	12415	\$2,625.00	Tree Removal	No	100-43114-300	\$2,625.00
Brockman Blacktopping Co.	04/24/2014	12416	\$8,465.00	Roads/Pothole Repair	No	100-43109-300	\$8,465.00
Kline Bros Excavating	04/25/2014	12407	\$10,325.00	Road Maintenance	No	100-43101-300	\$6,887.50
						100-43106-224	\$150.00
						100-43111-220	\$135.00
						100-43113-300	\$1,777.50
						100-43126-300	\$1,375.00
Swanson Haskamp Consulting	04/25/2014	12408	\$4,757.00	Planning	No	100-41209-300	\$1,629.00
						871-49310-300	\$345.00
						872-49310-300	\$1,127.00
						878-49310-300	\$943.00
						879-49310-300	\$713.00

Total For Selected Checks

\$62,389.64

\$62,389.64



Memorandum

To: *Honorable Mayor and City Council, City of Grant
Kim Points, Administrator, City of Grant*

From: *Phil Olson, PE, City Engineer
WSB & Associates, Inc.*

Date: *April 24, 2014*

Re: *Roadside Service Contract Update*

David's Consulting currently has a three year contract for Roadside Services. Council previously discussed that David's Consulting owns a rotary snow blower that is available for use in the winter. An update to the existing roadside services contract is recommended to include this equipment for future use.

The rotary snow blower has been included in the revised contract at the rate of \$85.00/hour. A revised contract is attached.

Consent Agenda Item: Authorize updated roadside services contract with David's Consulting.



for children with heart disease

Thursday, April 17, 2014

City Council
City of Grant
P.O. Box 577
Willernie, MN 55090

RE: Request for approval of Camp Odayin's Application for Exempt Permit

Dear City Council,

We are respectfully requesting that the City of Grant consider for approval at the May 2014 City Council meeting the Application for Exempt Permit that will be submitted by Camp Odayin to the Minnesota Gambling Control Board.

Camp Odayin is a nonprofit organization that provides a residential camping experience for young people with heart disease. Camp Odayin will be held during four weekends this summer at Camp Knutson in Minnesota. The only charge for a camper to attend is a \$25 registration fee. Camp Odayin also conducts a week-long day camp in West St. Paul for children ages 6-7 as well a young adult retreat and two weekends of family camp.

On behalf of Camp Odayin a volunteer committee has organized the 13th annual Whole Heart Golf Tournament to be held at Indian Hills on Monday, June 16, 2014. With the City of Grant's approval, Camp Odayin intends to conduct a raffle during the event.

The application along with a stamp addressed envelope is enclosed. Please sign in the upper left corner of page two under the city authorization. Once the application has been signed, please mail the application to Cassie McLemore using the envelope provided.

If you have any questions or concerns, please contact me at 651.351.9185. Thank you for your time and attention to this matter.

Sincerely,

Cassie McLemore
Office Manager
Camp Odayin

Cc: Sara Meslow, Camp Odayin

LG220 Application for Exempt Permit

An exempt permit may be issued to a nonprofit organization that: - conducts lawful gambling on five or fewer days, and - awards less than \$50,000 in prizes during a calendar year. If total prize value for the year will be \$1,500 or less, contact the licensing specialist assigned to your county.	<p>Application fee (non refundable)</p> If application is postmarked or received 30 days or more before the event \$50 ; otherwise \$100 .
--	---

ORGANIZATION INFORMATION

Organization name Camp Odayin	Previous gambling permit number x-33603-13-007			
Minnesota tax ID number, if any	Federal employer ID number (FEIN), if any 41-2014358			
Type of nonprofit organization. Check one. <input type="checkbox"/> Fraternal <input type="checkbox"/> Religious <input type="checkbox"/> Veterans <input checked="" type="checkbox"/> Other nonprofit organization				
Mailing address PO Box 2068	City Stillwater	State MN	Zip code 55082	County Washington
Name of chief executive officer [CEO] Sara Meslow	Daytime phone number 651.351.9185	E-mail address info@campodayin.org		

NONPROFIT STATUS

Attach a copy of ONE of the following for proof of nonprofit status.

Nonprofit Articles of Incorporation OR a current Certificate of Good Standing.
 Don't have a copy? This certificate must be obtained each year from:
 Secretary of State, Business Services Div., 60 Empire Drive, Suite 100, St. Paul, MN 55103
 Phone: 651-296-2803

IRS income tax exemption [501(c)] letter in your organization's name.
 Don't have a copy? To obtain a copy of your federal income tax exempt letter, have an organization officer contact the IRS at 877-829-5500.

IRS - Affiliate of national, statewide, or international parent nonprofit organization [charter]
 If your organization falls under a parent organization, attach copies of both of the following:
 a. IRS letter showing your parent organization is a nonprofit 501(c) organization with a group ruling, and
 b. the charter or letter from your parent organization recognizing your organization as a subordinate.

GAMBLING PREMISES INFORMATION

Name of premises where the gambling event will be conducted. For raffles, list the site where the drawing will take place. Indian Hills				
Address [do not use PO box] 6667 Keats Ave	City or township Grant	Zip code 55082	County Washington	
Date[s] of activity. For raffles, indicate the date of the drawing. Monday, June 16, 2014				

Check each type of gambling activity that your organization will conduct.

Bingo* Raffle [total value of raffle prizes awarded for year **\$1,000**] Paddlewheels* Pull-tabs* Tipboards*

***Gambling equipment** for bingo paper, paddlewheels, pull-tabs, and tipboards must be obtained from a distributor licensed by the Minnesota Gambling Control Board. EXCEPTION: Bingo hard cards and bingo number selection devices may be borrowed from another organization authorized to conduct bingo.

To find a licensed distributor, go to www.gcb.state.mn.us and click on **Distributors** under the **WHO'S WHO? LIST OF LICENSEES**, or call 651-539-1900.

MINOR SUBDIVISION – Loggers Trail

TO: Mayor and City Council
 Kim Points, City Clerk
 Nick Vivian, City Attorney
From: Jennifer Haskamp

Date: April 24, 2014
RE: Minor Subdivision –
 Loggers Trail Lot 1 Block 2

Background

The Applicant, Dan Pohl of Loggers Trail Golf Club, has submitted an application for a minor subdivision to divide the existing Lot 2 Block 1 of the Loggers Trail plat into two lots. The subdivision process would create the 2nd Addition of the Loggers Trail plat with the purpose of accommodating the golf course club house. The proposed application will result in one additional lot which would be used for the construction of a new permanent club house, and the remaining portion of Lot 1 Block 1 of the Second Addition would continue to be used for the golf course. Per the city code, when no more than two lots are being created, a Public Hearing is not required, and the City Council may review the request administratively. Therefore staff has prepared the following short memo to assist with your review, and also has provided a resolution for your review and consideration.

Project Summary

Owner: Ramstraic LLC Applicant: Dan Pohl, Loggers Trail Golf Club	Site Size: PID 2403021110001- 131.23 Acres <i>(Existing Conditions)</i>
Zoning & Land Use: A-1	Request: The Applicant is requesting a lot split to create two separate lots described as Loggers Trail Second Addition Lot 1 Block 1 and Lot 2 Block 1

The existing lot currently contains the Loggers Trail golf course and a temporary clubhouse which is located on the southeastern corner of the site. The purpose of the minor subdivision is to create a separate lot for the clubhouse so that financing can be obtained to construct a permanent clubhouse for the golf club.

The existing lot, which is described as Lot 2 Block 1 Loggers Trail is approximately 131.23 acres as shown on the Certificate of Survey.

The proposed lot split would result in the following:

- Lot 1 Block 1, Loggers Trail Second Addition – 126.21 Acres
- Lot 2 Block 1, Loggers Trail Second Addition – 5.02 Acres

Review Criteria

The City’s subdivision ordinance allows for minor subdivisions Section 30-9, where minor subdivisions are described as creating no more than two (2) lots. The subdivision ordinance states that provided all other aspects of the zoning ordinance are met, that an applicant may request the minor subdivision directly from the City Council through a minor subdivision application.

The sections of the code that related to dimensional standards and other zoning considerations are provided for your reference:

- Secs. 30-107
- Secs. 32--246
- Secs. 33-313

Existing Site Conditions

The existing site is located at the intersection of Manning Avenue North and 80th Street North. The existing site is approximately 131 acres and is oriented east to west, with primary frontage on Manning Avenue North. The Loggers Trail Golf Club is an 18-hole golf course, which includes a driving range and temporary golf clubhouse which is located in the southeastern corner of the site. The existing use has a Conditional Use Permit for operations of both the golf course and clubhouse. The existing access to the site is from 80th Street north, with the primary parking lot for the facility located adjacent to 80th Street N. and Manning Avenue.

Comprehensive Plan Review

The adopted comprehensive plan sets a maximum density of 1 unit per 10 acres. The proposed minor subdivision will create an additional lot, but will meet the land use designation as described within the City’s comprehensive plan and the resulting lots are not proposed to be used for residential uses.

Zoning/Site Review

Dimensional Standards

The following site and zoning requirements in the A-2 district are defined as the following for lot standards and structural setbacks:

Dimension	Standard
Lot Area	5 acres
Lot Width (public street)	300'
Lot Depth	300'
FY Setback	65'
Side Yard Setback (Interior)	20'
Rear Yard Setback	50'

Lot Size and Lot Area

The proposed minor subdivision will result in the creation of a new lot that will be approximately 5.02 acres, and the remaining lot of approximately 126 acres. The proposed minor subdivision will meet the City's zoning ordinance standards for lot size within the A-1 zoning district.

Lot Width

The proposed subdivision will result in a 5-acre lot to be described as Lot 2 Block 1 Loggers Trail Second Addition, and is proposed to be regular in shape. As shown on the submitted plat, the dimensions of the lot will be approximately 420' wide (Manning) by 520' deep (80th Street). The remaining Lot 1 Block 1 Loggers Trail Second Addition will continue to have primary frontage on Manning Avenue and will have approximately 1077 feet of frontage. Both lots as proposed will meet the City's Ordinance standards for lot width for properties zoned A-1.

Setbacks and ROW

There is an existing temporary clubhouse on Lot 2 Block 1 of the second addition which is proposed to be removed so that a new permanent clubhouse can be constructed. However, as currently constructed the clubhouse and parking facilities meet all setback requirements based upon the proposed lot lines of Lot 2 Block 1 Second Addition. Washington County has reviewed the submitted application due to the location along Manning Avenue and have not provided formal comments or recommendations with respect to the proposed lot split. However, they have indicated to staff that they will perform a more thorough review of the placement of the parking lot, etc., at the time the application is made for the permanent clubhouse.

Access/Driveways

As indicated in previous sections, there is an existing temporary clubhouse and parking lot on site that currently provides access to the golf course. The proposed subdivision will not alter the location of access drives or parking areas at this time. However, the Applicant has indicated that they intend to apply for an Amendment to the CUP to construct a new clubhouse on Lot 2 Block 1 Loggers Trail Second Addition. During that review process more thorough analysis of any proposed driveway modifications and parking lot locations will be conducted and information provided to Washington County for their review and recommendations.

Wetland Delineation

The site is located within the Brown's Creek Watershed District, and the City is the LGU for the Wetland Conservation Act (WCA). At this time due to the existing conditions of the site, a wetland delineation was not requested from the Applicant. If, at the time of request for an Amended CUP it appears that delineation is necessary, the Applicant will be required to submit information prior to approval of any construction or grading permits.

Soil/Septic Tests

Because there is an existing temporary clubhouse onsite there is also a septic system and drainfield which provides sanitary service to the facility. At the time of application for construction of a new clubhouse (during the CUP amendment process) additional information regarding the location of the drainfield and/or

capacity arises the Applicant shall supply the necessary information and obtain all proper permits from Washington County.

Staff Recommendation

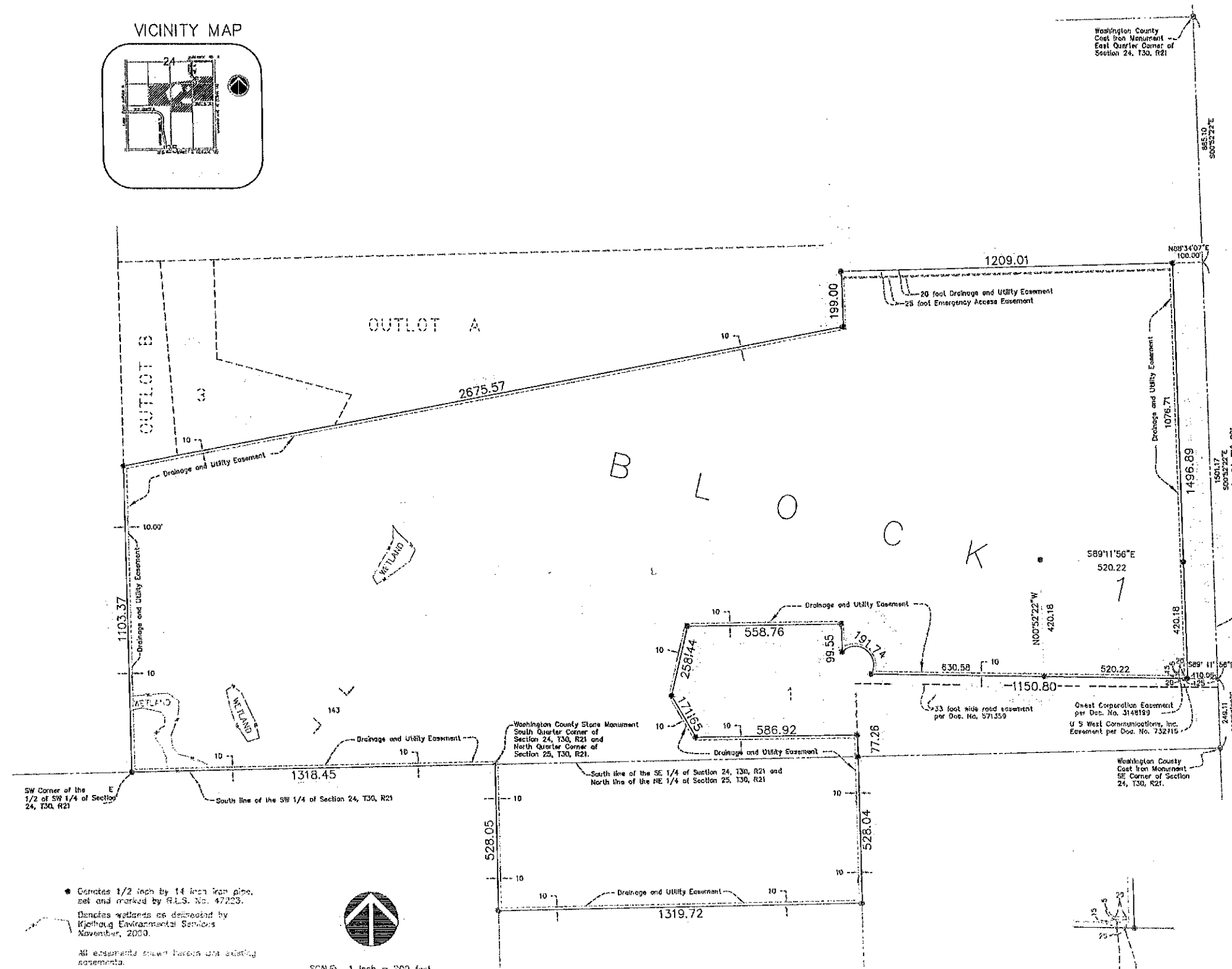
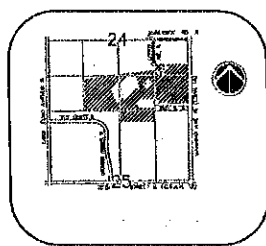
Staff recommends approval of the minor subdivision with the following findings and conditions:

- Approval of the minor subdivision is consistent with the rural residential character of the area and is consistent with the City's Comprehensive Plan.
- The proposed minor subdivision will create two lots, and meets the requirements as stated within the City's Subdivision ordinance.
- The proposed resulting irregular lot line associated with Lot 1 Block 1 Loggers Trail Second Addition is reasonable due to the existing site use as a golf course, and existing Logger Trail plat.
- The access location on Manning Avenue has been reviewed by the appropriate jurisdictions.
- Any proposed structures on the resulting parcels shall be required to meet all setback locations, sited outside of all delineated wetland areas, and shall be subject to the adopted zoning ordinance.
- Any alteration to the clubhouse on Lot 2 Block 1 Loggers Trail Second Addition shall require an amendment to the existing Conditional Use Permit.

Action Needed

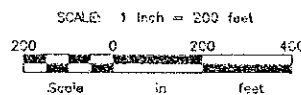
The Resolution is attached for your consideration.

VICINITY MAP



• Denotes 1/2 inch by 14 inch iron pipe, set and marked by R.L.S. No. 47223.
 Ditches wetlands as delineated by Kjelhoug Environmental Services November, 2000.
 All easements shown herein are existing easements.

The basis for this section system is the East line of the SE 1/4 of Section 24, Township 33, Range 21, which is assumed to bear S89°11'22\"/>



Washington County
 East Iron Monument
 East Quarter Corner of
 Section 24, T30, R21

Washington County
 East Iron Monument
 SE Corner of Section
 24, T30, R21

KNOW ALL PERSONS BY THESE PRESENTS: That Rams Trail LLC, a limited liability company, fee owner, of the following described property situated in the County of Washington, State of Minnesota, to wit:

Lot 2, Block 1, LOGGERS TRAIL, according to the recorded plat thereof.
 Have caused the same to be surveyed and platted as LOGGERS TRAIL 2ND ADDITION.

In witness whereof said Rams Trail, LLC, a Minnesota Limited Liability Company, have hereunto set their hands this _____ day of _____, 2014.

Signed: Rams Trail, LLC

STATE OF MINNESOTA
 COUNTY OF _____
 This instrument was acknowledged before me on this _____ day of _____, 2014, by _____ of Rams Trail, LLC, a Minnesota limited liability company.

Notary Public, _____ County, Minnesota.
 My Commission Expires _____

I, Theresa K. Foster do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 503.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.
 Dated this _____ day of _____, 2014

Theresa K. Foster, Licensed Land Surveyor
 Minnesota License No. 47223

STATE OF MINNESOTA
 COUNTY OF _____
 This instrument was acknowledged before me this _____ day of _____, 2014, by Theresa K. Foster, A Licensed Land Surveyor, Minnesota License Number 47223.

Notary Public, Anoka County, Minnesota.
 My Commission Expires _____

CITY OF GRANT, MINNESOTA
 This plat was approved by the City Council of Grant, Minnesota, this _____ day of _____, 2014, and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subd. 2.

Signed _____ Mayor
 Signed _____ Clerk

COUNTY SURVEYOR
 Pursuant to Chapter 820, Laws of Minnesota, 1971, and in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 2014.

By _____
 Washington County Surveyor

COUNTY AUDITOR/TREASURER
 Pursuant to Minnesota Statutes, Section 505.021, Subd. 9 and Section 272.12, taxes payable in the year 20____ on real estate heretofore described, have been paid; and there are no delinquent taxes, and transfer has been entered on this _____ day of _____, 2014.

By _____
 Washington County Auditor/Treasurer
 Deputy

COUNTY RECORDER
 DOCUMENT NUMBER _____
 I hereby certify that this instrument was recorded in the Office of the County Recorder for record on this _____ day of _____, 2014, at _____ o'clock _____ M., and was duly recorded in Washington County Records.

By _____
 Washington County Recorder
 Deputy

Great Corporation Easement
 per Doc. No. 2146122
 U S West Communications, Inc.
 Easement per Doc. No. 712775



**CITY OF GRANT, MINNESOTA
RESOLUTION NO. 2014-10**

**RESOLUTION APPROVING A REQUEST FOR MINOR SUBDIVISION
OF PROPERTY LOCATED WITHIN THE LOGGERS TRAIL SUBDIVISION,
DESCRIBED AS LOT 2 BLOCK 1 FIRST ADDITION AND CREATING LOGGERS
TRAIL SECOND ADDITION
GRANT, MINNESOTA**

WHEREAS, Dan Pohl of Loggers Trail Golf Club (“Applicant”) has submitted an application for a Minor Subdivision for Lot 1 Block 1 of the Loggers Trail plat, located at 11950 Manning Avenue North in the City of Grant, Minnesota; and

WHEREAS, the minor subdivision would result in the creation of one additional lot establishing Loggers Trail Second Additions Lots 1 and 2 Block 2; and

WHEREAS, the minor subdivision process allows for no more than two lots to be created with a five-year period utilizing this method; and

WHEREAS, the City Council for the City of Grant has considered the application at its May 1, 2014, City Council meeting;

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRANT, WASHINGTON COUNTY, MINNESOTA, that it does hereby approve the request of Dan Pohl for a Minor Subdivision as described in Chapter 30, based upon the following findings pursuant to Section 30-9 of the City’s Subdivision Ordinance. The City Council’s Findings relating to the standards are as follows:

- The minor subdivision will not negatively affect the physical characteristics of the lots located within the Loggers Trail plat or surrounding neighborhood.
- The proposed minor subdivision conforms to the city’s comprehensive plan.

- The lots resulting from the minor subdivision will meet all standards and requirements for lot dimensions, and size as described in Section 32-246.
- The resulting irregular lot line associated with Lot 1 Block 1 Loggers Trail Second Addition is reasonable due to the existing use of the site as a golf course, and existing Logger Trail plat.
- The existing access location on Manning Avenue has been reviewed by the appropriate jurisdiction, and no formal comments or recommendations were provided.
- The rearrangement will not be detrimental to or endanger the public health, safety or general welfare of the city, its residents, or the existing neighborhood.

FURTHER BE IT RESOLVED, that the following conditions of approval of the Minor Subdivision shall be met:

- Any proposed structures on the resulting parcels shall be required to meet all setback locations, sited outside of all delineated wetland areas, and shall be subject to the adopted zoning ordinance.
- Any alteration to the clubhouse on Lot 2 Block 1 Loggers Trail Second Addition shall require an amendment to the existing Conditional Use Permit.
- Prior to execution of the deeds all fees and escrow amounts shall be paid in full.
- The Applicant shall submit the deeds for review and approval by the City Attorney.

Adopted by the Grant City Council this 1st day of May, 2014.

Tom Carr, Mayor

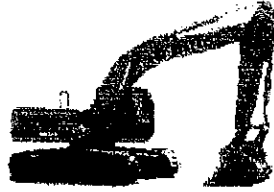
State of Minnesota)
) ss.
County of Washington)

I, the undersigned, being the duly qualified and appointed Clerk of the City of Grant, Minnesota do hereby certify that I have carefully compared the foregoing resolution adopted at a meeting of the Grant City Council on _____, 2014 with the original thereof on file in my office and the same is a full, true and complete transcript thereof.

Witness my hand as such City Clerk and the corporate seal of the City of Grant, Washington County, Minnesota this ____ day of _____, 2014.

Kim Points
Clerk
City of Grant

KLINE BROS EXCAVATING
 8996 110th St N
 STILLWATER, MN 55082



Invoice

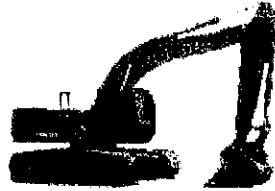
DATE	INVOICE #
4/24/14	2325

BILL TO	JOB ADDRESS
CITY OF GRANT 111 WILDWOOD RD WILLERNIE, MN 55090	ROAD GRAVEL 100-43106

DUE DATE
5/4/14

DESCRIPTION	QTY	UNIT COST	AMOUNT
4-22-14 LNT 9000 (HAUL 2 LOADS GRAVEL FROM RALEIGH'S TO 97TH ST)	2	75.00	150.00
Total			150.00

KLINE BROS EXCAVATING
 8996 110th St N
 STILLWATER, MN 55082



Invoice

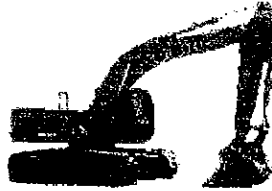
DATE	INVOICE #
4/24/14	2321

BILL TO	JOB ADDRESS
CITY OF GRANT 111 WILDWOOD RD WILLERNIE, MN 55090	SNOWPLOWING 100-43113

DUE DATE
5/4/14

DESCRIPTION	QTY	UNIT COST	AMOUNT
4-04-14 770B	9.5	90.00	855.00
4-04-14 740A	10.25	90.00	922.50
AMTS PAST 30 DAYS WILL BE SUBJECT TO A 1 1/2% MONTHLY SERV CHARGE			
Total			1,777.50

KLINE BROS EXCAVATING
 8996 110th St N
 STILLWATER, MN 55082



Invoice

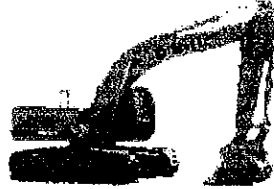
DATE	INVOICE #
4/24/14	2322

BILL TO	JOB ADDRESS
CITY OF GRANT 111 WILDWOOD RD WILLERNIE, MN 55090	ROAD GRADING 100-43101

DUE DATE
5/4/14

DESCRIPTION	QTY	UNIT COST	AMOUNT
3-30-14 770B	8	75.00	600.00
4-07-14 770B	8	75.00	600.00
4-07-14 740A	7	75.00	525.00
4-08-14 770B	8	75.00	600.00
4-08-14 740A	4	75.00	300.00
4-08-14 T500	4	70.00	280.00
4-10-14 770B	2	75.00	150.00
4-14-14 770B	5	75.00	375.00
4-14-14 740A	3.5	75.00	262.50
4-18-14 770B	8.5	75.00	637.50
4-18-14 740A	7.5	75.00	562.50
4-19-14 770B	6	75.00	450.00
4-19-14 740A	7	75.00	525.00
4-21-14 1845C (SHAPE 97TH ST)	6	85.00	510.00
4-22-14 1845C (SHAPE 97TH ST)	6	85.00	510.00
AMTS PAST 30 DAYS WILL BE SUBJECT TO A 1 1/2% MONTHLY SERV CHARGE	Total		6,887.50

KLINE BROS EXCAVATING
 8996 110th St N
 STILLWATER, MN 55082



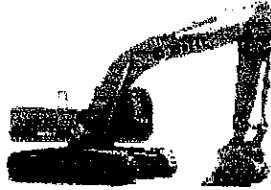
Invoice

DATE	INVOICE #
4/24/14	2323

BILL TO	JOB ADDRESS
CITY OF GRANT 111 WILDWOOD RD WILLERNIE, MN 55090	CULVERT WORK 100-43111

DESCRIPTION	QTY	UNIT COST	DUE DATE
			5/4/14
			AMOUNT
3-29-14 (DIG CULVERT END AT 99TH ST CT)	1	45.00	45.00
4-03-14 (DIG OUT SOUTH END OF CULVERT AT 11626 IRONWOOD)	1	45.00	45.00
4-11-14 (LOOK AT MANHOLE ON KEATS & CULVERT ON KIMBRO)	1	45.00	45.00
Total			135.00

KLINE BROS EXCAVATING
 8996 110th St N
 STILLWATER, MN 55082



Invoice

DATE	INVOICE #
4/24/14	2324

BILL TO	JOB ADDRESS
CITY OF GRANT 111 WILDWOOD RD WILLERNIE, MN 55090	DITCH WORK 100-43126

DUE DATE
5/4/14

DESCRIPTION	QTY	UNIT COST	AMOUNT
SHAPE 97TH ST			0.00
4-21-14 LNT 9000	6	75.00	450.00
4-21-14 SD54	5	75.00	375.00
4-22-14 LNT 9000	1	75.00	75.00
4-22-14 SD54	4	75.00	300.00
4-23-14 SEED DITCH AT 68TH ST & JASMINE			175.00
AMTS PAST 30 DAYS WILL BE SUBJECT TO A 1 1/2% MONTHLY SERV CHARGE			
Total			1,375.00



Memorandum

To: *Honorable Mayor and City Council, City of Grant
Kim Points, Administrator, City of Grant*

From: *Phil Olson, PE, City Engineer
WSB & Associates, Inc.*

Date: *April 24, 2014*

Re: *Roadway Patching Contract*

A new roadway patching contract is recommended for pothole patching and other roadway maintenance on paved roads. Brochman Blacktopping Company has been completing this work for the last several years. Approval of the attached contract will lock equipment and labor pricing until May 1, 2017. Pricing for patching materials is proposed to be a pass through cost from the bituminous plant since oil prices are difficult to forecast.

Below is the proposed pricing for Brochman Blacktopping Company. The original quote is also attached for review.

- \$52.00/hour: Laborer
- \$87.00/hour: Truck with driver
- \$77.00/hour: Skid loader/bucket with driver
- \$72.00/hour: Roller with operator
- \$90.00/hour: Skid loader/cold planer with operator
- \$85.00/hour: Skid loader/broom with operator
- \$30.00/hour: Tack sprayer
- \$3.00/gallon: Hot tack
- Bituminous/asphalt: Actual cost (including tax)

Action: Discussion. If desired, authorize contract with Brochman Blacktopping Company.

STAFF REPORT

TO: Mayor & City Council Members
Kim Points, City Clerk
Nick Vivian, City Attorney

Date: April 23, 2014

RE: Review of Updated information requested at April 1, 2014 City Council Meeting for a *CUP to Operate Rural Event Facility at 7373 120th Street N., Grant, MN*

From: Jennifer Haskamp

Background

The following review is provided of additional information submitted by the Applicant in response to the recommendations and discussion held at the April 1st City Council meeting. The review which follows is focused on the additional information received since the April meeting only, and does not attempt to repeat the information contained within the staff report dated March 20, 2014.

A duly noticed public hearing was held on April 1, 2014 for consideration of the CUP Application made by Mr. Jordan to operate a Rural Event Facility from an existing barn on his property. After receiving and hearing the public's concerns and comments with respect to the proposed operations, the Public Hearing was closed.

The City Council discussion following the public hearing focused on the specific elements of the site plan and proposed operations, while attempting to address some of the concerns identified by the public. The discussion concluded with Council requesting the Applicant to provide the following additional information for review and consideration at the May 1st Council meeting;

- Submittal of a Sound Study performed by a professional engineer or specialist and any proposed mitigation necessary to meet the MPCA's noise standards.
- Revised site plan showing:
 - » Expansion of main access driveway to 20-feet
 - » Re-location of ADA compliant parking stalls, to be within 50-feet of the front door and paved and marked
 - » Widened access apron onto 120th Street
- Provide additional options (fixtures) for lighting in the parking lot



In addition to the Council requested information, the Applicant has also submitted an alternative Concept Plan to accommodate the parking which is shown on the attached sheet A2.1. The proposed concept addresses some of the discussion by the Council, and neighbors with respect to the size and potential sound impact that a large single parking area may have. A review and summary of this plan is provided in the following sections for your consideration.

Project Summary

The following summary and background is provided as a reference, and changes identified since the March staff report identified in *italics*.

Applicant: Afton Architects & Planners, Ltd.	Site Size: 37.14 Acres
Zoning & Land Use: A-1	Request: Conditional Use Permit (CUP)
Location (PIDs): 0503021210005 – Dellwood Wedding Barn (Rural Event Facility), parking, Informal Gathering space, etc. (23.72 acres) 0503021210004 – Outdoor Ceremony space, new drainfield for Wedding Barn facility bathrooms	

Zoning/Site Review

The following zoning and site review is based upon the revised Site Plan dated 4.23.2014.

Dimensional Standards

The following site and zoning requirements in the A-1 district regulate the site and proposed project:

Dimension	Standard
Lot Size	5 acres
Frontage – Per Sections 32-245 & 32-352)	County/State Road and 300'
Front yard - centerline of County Road (Principal Structure)	150'
Front Yard Setback	65'
Side Yard Setback (Per Section 32-352)	100'
Rear Yard Setback	25'
Height of Structure	35'
Fence	May be on property line, but not within any ROW
Driveway Serback	5'
Parking Lot setback	10' from ROW
Wetland Setback Structure (Buffer)	75' (50')
Impervious surface coverage	50%
Floor Area Ratio	30%

Wedding Barn Facility The following findings from the March 20, 2014 Staff report are unchanged based

(Setbacks & Frontage):

upon the updated plan set:

The existing Barn meets all setbacks as required by the City's zoning ordinance, provided both Lot 4 and 5 are considered.

The property meets the City's Standards for the Rural Event Facility to be located on a County or State Road, and exceeds the required frontage.

Parking Lot (Location):

The attached site plan shown on A2 does not change or alter the location of the proposed parking lot. *As shown the proposed parking lot would meet all standards for setbacks and dimensions.*

In addition, at the City Council meeting in April there was some discussion by the Council, staff and Applicant as to whether or not some parking could be located behind the Barn in an effort to reduce the large parking area proposed and possibly mitigate some of the potential noise and visual pollution associated with such a large parking lot. As a result of the discussion the Applicant further explored the option of creating two smaller lots rather than one large lot, and has demonstrated this Concept in the attached Sheet A2.1 *As proposed, the concept in A2.1 would also meet the City's Zoning Ordinance standards for setbacks and locations.*

The City Engineer has also reviewed the parking lot design in both A2 and A2.1 and his comments are attached for your review and consideration.

Parking:

The following table summarizes the parking stalls proposed on the revised site plan sheet identified as A2.

Parking Area	Number of Stalls
Primary Parking Lot	102
Overflow Parking Stalls	15
Total Handicap	4
Total	121

The Concept Plan in attached figured A2.1 proposes to split the parking lot into two smaller the lots. The following table summarizes the parking stalls proposed:

Parking Area	Number of Stalls
West Parking Lot	75
East Parking Lot	28
Overflow Parking Stalls	16
Total Handicap	4
Total	123

In both designs, A2 and A2.1, the proposed parking lot(s) are designed with gravel.

Both plans have identified 4 parking stalls for ADA compliance to be paved and located within 50-feet of the entrance to the facility. As noted within the City Engineer's report, he has reviewed the design of the proposed parking lot and his comments are attached to this report for your review and consideration. *Based upon the review of the Engineer and the City's ordinances, the proposed gravel parking lot does not meet the standards as specified in Section 32-373. However, staff does believe that the number of stalls and parking design layout on both A2 and A2.1 would likely be adequate to serve the facility.*

Driveway/Circulation: The site plan has been revised to address the concerns of the City Engineer and County with respect to the primary driveway and access into the facility. The site plan now indicates an improved, paved, access apron on the western driveway as well as the expansion of the driveway width to 20-feet. Additionally, the County had asked for the north driveway access to be closed during events and indicated that they would request a fence be placed across the driveway to prevent its use. The site plan has been revised to include a gate across this access. Finally, Washington County has indicated that the Applicant will be required to obtain a new access permit the change in use of the property. *The driveway, as located, meets the setback requirements as identified within the City's zoning ordinance. The Applicant shall be required to obtain all necessary access permits from Washington County prior to commencing operations. Additionally, the Applicant shall be required to submit any additional information needed from the City Engineer for proper construction of the driveway expansion or other access related items.*

Septic System: Since the April 1st meeting, the Applicant has obtained a permit for installation of a septic system to support the proposed improvements to the barn, including the installation of restroom facilities. *The Applicant shall be required to install the septic system, in compliance with Washington County standards, prior to commencing operations of the facility.*

Lighting Section 32-321 Lighting, Light Fixtures and Glare addresses lighting standards of off-street parking areas and indicates that no more than 1 footcandle may be emitted on a public street, and no more than 0.4 footcandles on adjacent residential property. The Applicant indicated in an email dated 4/23/2014, that they are proposing to remove the light poles from the parking area and that battery/solar powered lanterns would be affixed to the fence posts around the parking areas during events. A specification sheet showing the lights was not provided, nor was an updated photometric plan. *A revised photometric plan and proposed specification of light fixtures should be provided for review and approval. The Applicant shall be aware that the standards of Section 32-321*

must be met in any proposed lighting plan.

Noise/Amplification

As directed by the City Council at the April 1, 2014 City Council meeting the Applicant has submitted a Sound Study for review and consideration. At the meeting, the Applicant was directed to hire a third-party consultant to prepare the report. The Council requested that the report evaluate and analyze the site conditions with music playing at a decibel level inside the barn comparable to what would be played during an event, and then record the sound level at the property lines under the following conditions:

- » Barn Doors Open
- » Barn Doors Closed

The Noise Study Report was prepared by SDA Consulting LLC, a consulting firm that specializes in audio, video and room acoustics. The noise study was performed on April 15, 2014 between 7 PM and 10 PM to correspond most closely to the hours of operation which are most restrictive, and may have the most impact on adjacent properties. The study was conducted utilizing a factory calibrated Type II Sound level meter and a field calibrator and measured dance music (DJ) on a loop. The report reflects that three tests were conducted at the site including the following:

1. Determination of Sound transmission loss
2. Ambient Noise Level
3. Effective Outside Music Level

Staff interprets the findings of the report to have determined that the music level inside the barn structure cannot be greater than 85 Decibels in order to comply with the noise standards as set by the MPCA and City of Grant. When the music playing on the dance floor was set to 85 decibels the following readings were recorded (See the attached sound report for the Figures representing receptor locations).

Receptor Location	MPCA Standard (7am – 10pm)*	MPCA Standard (10pm – 7am)*	Barn Doors – Open	Barn Doors – Closed
A	60	50	51 dBA	48 dBA
B	60	50	47 dBA	46 dBA
C	60	50	45 dBA	44 dBA
D	60	50	42 dBA	41 DBA

**Assumes Noise Area Classification 1, and duration of noise L50 or more than 30 minutes of an hour. (City of Grant Section 32-332 regarding noise is consistent with these standards with the exception of a 2-hour period between 8pm and 10pm where it would be more restrictive. However, after review of the MPCA standards, the City may not be more restrictive and thus the MPCA standards as identified in the above table must be followed.)*

As demonstrated by the test results for DJ music, all locations are within the guidelines as established by the MPCA with the exception of Receptor Location A when the barn doors are *open* and it is past 10 pm. As stated within the report, and demonstrated in the table, securing the barn doors would mitigate the issue and bring the sound level within an acceptable range for DJ music.

Although DJ music can be controlled to a certain decibel level on the dance floor, it is far more difficult to control a live band because of the variables associated with the music. For example, a classic rock band would likely perform at a different noise level than a string quartet. Additionally, bands generally bring their own equipment which can be of varying quality and cannot be controlled by the facility. However, staff has performed some research and determined that it is certainly possible, and perhaps likely, that for example a live classic rock band would be louder than 85 decibels and therefore the validity of the sound study, particularly at Receptor A would be in question. Because of the variables associated with live music, staff recommends consideration of the following conditions regarding music:

- » All barn doors must be secured and closed no later than 10 pm daily.
- » No amplification of live music be permitted.
- » DJ and/or recorded music may not exceed 85 decibels on the dance floor.
- » Installation of egress doors shall be relocated to the south side of the barn, and no additional accesses on the north side shall be permitted.
- » A row of evergreen trees shall be planted on the north side of the barn to offer additional sound mitigation for times when the barn doors are open.

Although the sound study did not consider noise generated by patrons mingling outside, it should be considered particularly when paired with the additional noise generated from the music inside the barn. The site plan shows an informal gathering and catering tent in front (north side) of the barn. This location is closest to Receptor A, which is the area most affected by noise. *As a result, staff would recommend that this area be removed, and that any informal outdoor gathering space must be relocated to the south side of the barn.*

Engineering Standards

A full engineering report and analysis is attached from your review and consideration. Primary issues identified within the Engineering Report include analysis of the Parking Lot design and subsequent Stormwater Management.

Other Agency Review



As indicated in the March 20th staff report, the Rice Creek Watershed District must review and approve of the stormwater management plans. If the Applicant revises the parking area as depicted in sheet A2.1, revised stormwater calculations will be required for submittal to the watershed district. In addition, correspondence from Washington County Environmental Services related to the septic permit was received and copy of the permit issued provided.

Draft Findings and Recommendations

The attached draft permit includes proposed conditions for your review and consideration.

Attachments

Revised Site Plan Sheets A2 and A2.1

Sound Study dated 4/16/2014 and supplemental graphic

City Engineer's Memo, WSB, April 24, 2014

Washington County Environmental Services Septic Permit (Copy)



12941 22nd Street S.
Afton, Minnesota 55001-9767
Telephone: 651-436-3699
Facsimile: 651-436-1936
Email: aftonarchitects@msn.com

Certification
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Print Name: _____
Signature: _____
Date: _____ Reg. No. _____

CONDITIONAL USE PERMIT APPLICATION

Project
DELLWOOD WEDDING BARN RENOVATION

7373 120th STREET NORTH
GRANT, MINNESOTA 55110

Commission Number
13-114.00

Drawn SHK Checked JWC

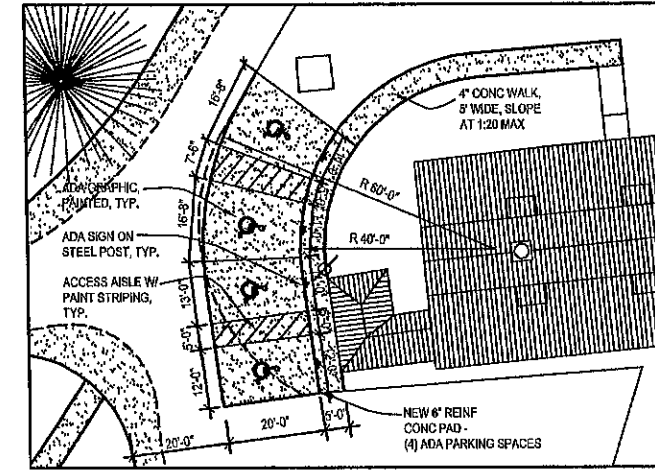
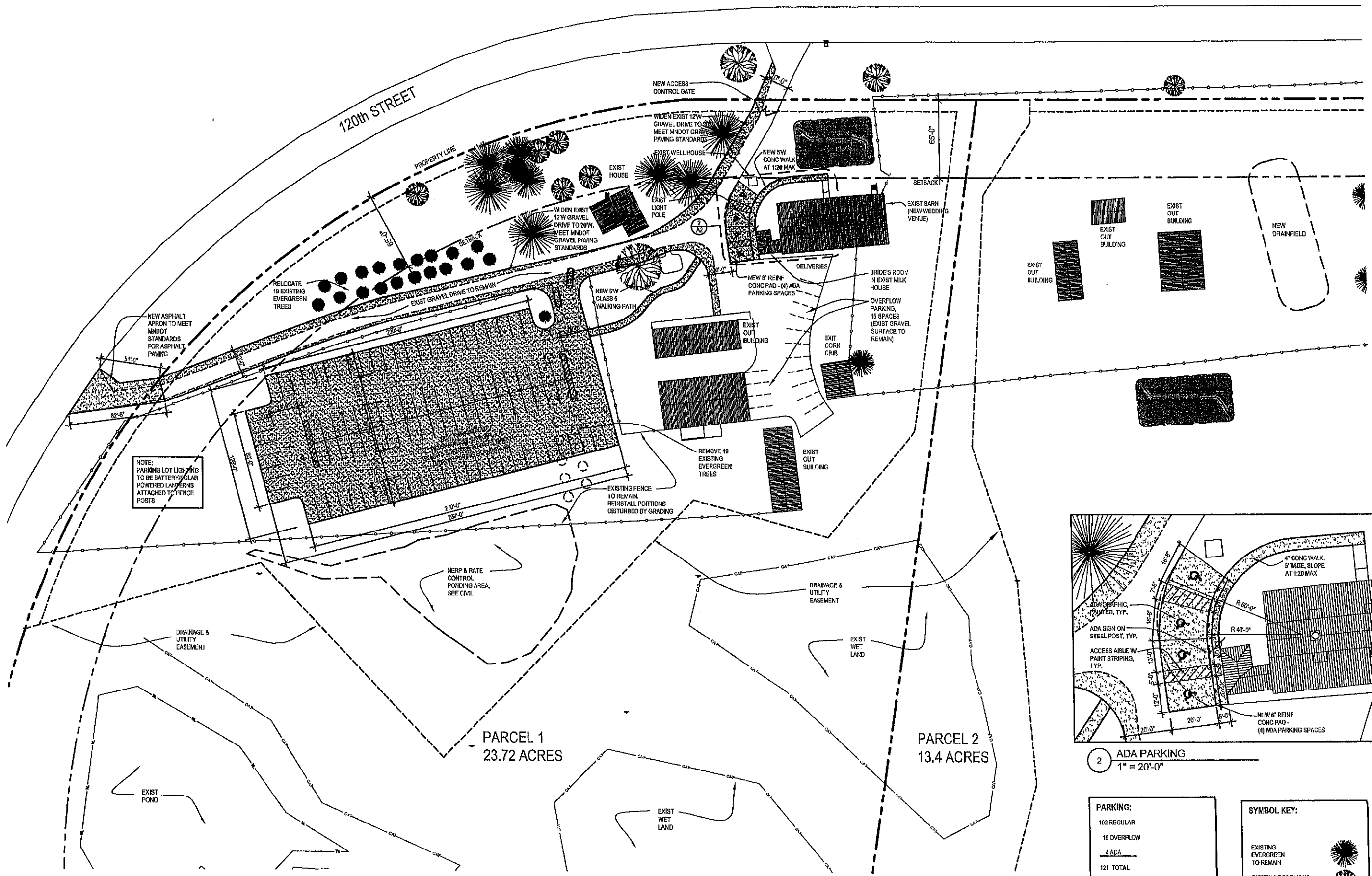
Date FEBRUARY 27, 2014

4-23-2014	REVISIONS PER CITY	
MARK	DATE	DESCRIPTION

Sheet Title
SITE PLAN

Sheet

A2



2 ADA PARKING
1" = 20'-0"

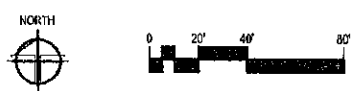
PARKING:

102 REGULAR
15 OVERFLOW
4 ADA
121 TOTAL

SYMBOL KEY:

EXISTING EVERGREEN TO REMAIN	
EXISTING DECIDUOUS TO REMAIN	
EXISTING EVERGREEN RELOCATED	

1 SITE PLAN
1" = 40'-0"





Memorandum

To: Honorable Mayor and City Council, City of Grant
Kim Points, Administrator, City of Grant

CC: Jennifer Haskamp, City Planner

From: Phil Olson, PE, City Engineer
WSB & Associates, Inc.

Date: April 24, 2014

Re: Wedding Barn: Engineering Plan Review

SUBMITTAL:

Plans were prepared by Afton Architects & Planners, Ltd. are dated February 27, 2014. Engineering review comments were generated from the following documents included in the submittal:

- CUP transmittal & narrative and application
- Watershed transmittal, permit application and drawings
- Site plans including:
 - Existing conditions
 - Site plan, revised April 23, 2014
 - Grading & erosion control plan
 - Building plans
 - Lighting plan
- Pre-development and post development HydroCAD models
- Alternate Parking Plan, dated April 23, 2014

SUBMITTAL COMMENTS:

Two additional site plans (dated April 23, 2014) have been submitted since the original submittal on February 27, 2014. One plan shows overflow parking in an existing gravel area south of the barn, the second plan shows an expansion of the existing gravel area behind the barn for a larger parking area. These plans are shown in a plan view layout only. A revised grading plan, stormwater management plan, and utility plan are required for the revised site plans. A complete review cannot be completed without these submittals.

SITE PLAN COMMENTS:

1. The existing driveway access locations and the change in driveway use are required to be approved by Washington County.
2. The existing driveway, access points, site, and buildings should be reviewed by the Fire Marshal to ensure that the site is in compliance with fire code requirements.
3. The fence on the south side of the parking area is shown on the plan to remain in place. The fence will need to be relocated due to the site grading and pond grading. The plan

should be updated with a revised location for the fence.

GRADING PLAN COMMENTS (ORIGINAL SUBMITTAL):

4. The proposed contours on the north and east sides of the parking lot appear to be incorrect and are required to be revised.

PARKING LOT COMMENTS:

5. The proposed gravel parking lot does not meet the City's requirements for an off-street parking area with a durable and dustless surface. The applicant has stated in the CUP narrative that the gravel surface will be treated with calcium chloride once per year. Due to the amount of traffic anticipated with the parking lot, one treatment is not believed to be adequate to provide a dustless surface. Listed below is the section of City Code related to the requirement for a dustless off-street parking surface.

Sec 32-373 Surface and drainage: Off-street parking area shall be improved with a durable and dustless surface. Such areas shall be so graded and drained as to dispose of all surface water accumulation within the parking area. Durable and dustless surface may include crushed rock and similar treatment for parking accessory to one unit residential structures; all other uses shall utilize asphalt, concrete or a reasonable substitute surface as approved by the city engineer.

The following items are additional issues due to the proposed gravel surface in the parking lot.

- A parking plan should be provided to explain how applicant will ensure that guest will park as shown in the layout. It is assumed that the gravel surface will not be striped for parking spaces which may change the layout of the drive lanes.
 - The gravel parking lot is proposed to drain from north to south and erosion issues are likely due to the large amount of runoff area. Permanent erosion control methods are required to be incorporated into the plan.
6. The overflow parking lots should be dimensioned to show that lot will function as proposed.

STORMWATER MANAGEMENT COMMENTS:

7. A stormwater permit is required from the Rice Creek Watershed District (RCWD). The applicant has submitted the original plan for review. It is unclear if the new site plans have been forwarded to RCWD.
8. An erosion and sediment control plan needs to be submitted which meets the requirements of RCWD Rule D and City Erosion Control Ordinances.
9. It appears that the east and west sides of the parking lot are not directed to the ponding area. A swale or pipe with curb and gutter is required to direct the new impervious areas to the ponding area. The swale or pipe design should include a conveyance method that prevents erosion along the side slopes of the pond.
10. The plan is required to show the total amount of area included within the silt fence to verify if an NPDES permit is required. If required, the applicant shall submit the approved permit to the City.
11. High water elevations, pipe elevations, emergency overflow routes, and drainage routes are required to be shown on the grading plan.
12. The outlet culvert in the stormwater model shows 6-inch CMP pipe. The minimum lateral pipe diameter should be 12 inches.
13. A stormwater management plan is required that includes calculations for 2.5-inch rainfall event to ensure stormwater pond is appropriately sized. A table summarizing pre and post development discharge rates for the 2, 10, 100-year, 24-hour rainfall events is also required.

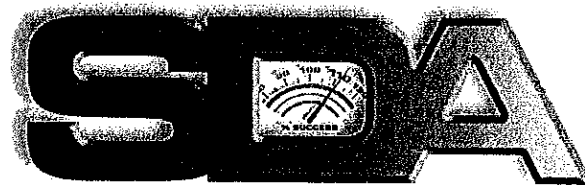
14. The alternate parking plan shows a ponding area south of the barn. This ponding area appears to be located within the 50 foot grading buffer for the adjacent wetland edge. Additional information is required to verify that the pond is outside of the 50 foot grading buffer.

Should you have any questions or comments regarding the items listed above, please contact me at 763-512-5245.

Noise Study Report

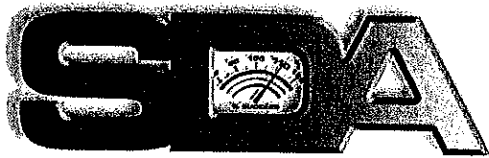
Dellwood Barn Weddings

Dellwood, Minnesota



Consulting, LLC

SPECIALIZING IN AUDIO, VIDEO, AND ROOM ACOUSTICS



Consulting, Inc.

SPECIALIZING IN AUDIO, VIDEO, AND ROOM ACOUSTICS

April 16, 2014

Dellwood Barn Weddings
7373 120th Street
Dellwood, Minnesota 55110
Attn: Scott Jordan

Re: Dellwood Barn Weddings Noise Study

At your request on 15 April 2014, SDA-Consulting performed a noise study at the Dellwood Barn Weddings site in Dellwood Minnesota. The purpose of the study was to evaluate site conditions and determine operating parameters for amplified music program which would be consistent with City of Grant noise ordinances and MPCA regulations.

The results are summarized in the following pages including practical recommendations for modifications of the barn structure to improve sound isolation

SDA Consulting is an independent consulting firm specializing in room acoustics and the design of audio and video systems. We do not sell or install any products or equipment. We work entirely on your behalf.

Sincerely,

Robert Oswood
Principal Consultant
SDA-Consulting, Inc.

Scope of testing

In order to meet the goal of compliance with City of Grant noise ordinances and MPCA noise regulations it was necessary to undertake three specific tests.

The first test was needed to determine the sound transmission loss between the Dance Floor Sound System location and the closest receiving location on the property line. This included the sound isolation provided by the Barn walls and roof in combination with the distance loss provided by air absorption. (This information would be used to determine the level at which music can be played on the Dance Floor).

The second test measured the ambient noise blanket provided by road traffic and other activities adjacent to the Dellwood Barn Weddings site.

The final test incorporated the use of a Dance Music loop played at a level of 85dBA on the Dance Floor. Corresponding sound level readings are taken at locations A,B,C,D.

Site Conditions

Time of testing: 7PM to 10PM

Location: Dellwood Barn Weddings Site

Noise sources: Swept Sine Wave Loop, Dance Music loop

Wind speed: 7 MPH

Temperature: 30 degrees F

Relative Humidity: 46%

Test Equipment

Type II Sound level meter: Studio Six Digital model SD2010

Serial Number: GD10247 (Factory Calibrated 2/26/14)

Field Calibrator: Extech Model 407766

Field calibration results: 93.9 dB @ 1000Hz re: 94 dB

Test Procedures

Determination of Sound transmission loss

All barn doors were secured closed. A special repeating test signal consisting of a 20Hz to 20KHz swept sign wave with an interval of .5 seconds was input to the DJ sound system serving the Dance Floor. (This test signal is significantly more audible than a music source). The Level was adjusted to 95 dBA in order to assure a signal at least 10dBA higher than ambient noise at the closest receiving location. Measurements were taken on the dance floor and at Location (A) which is closest to the north property line.

Subtracting the reading at Location (A) from 95dBA on the Dance Floor yields the effective transmission loss. In this case 37dBA.

The process above is repeated with the main barn doors open. Effective transmission loss is 34 dBA.

Ambient Noise Level

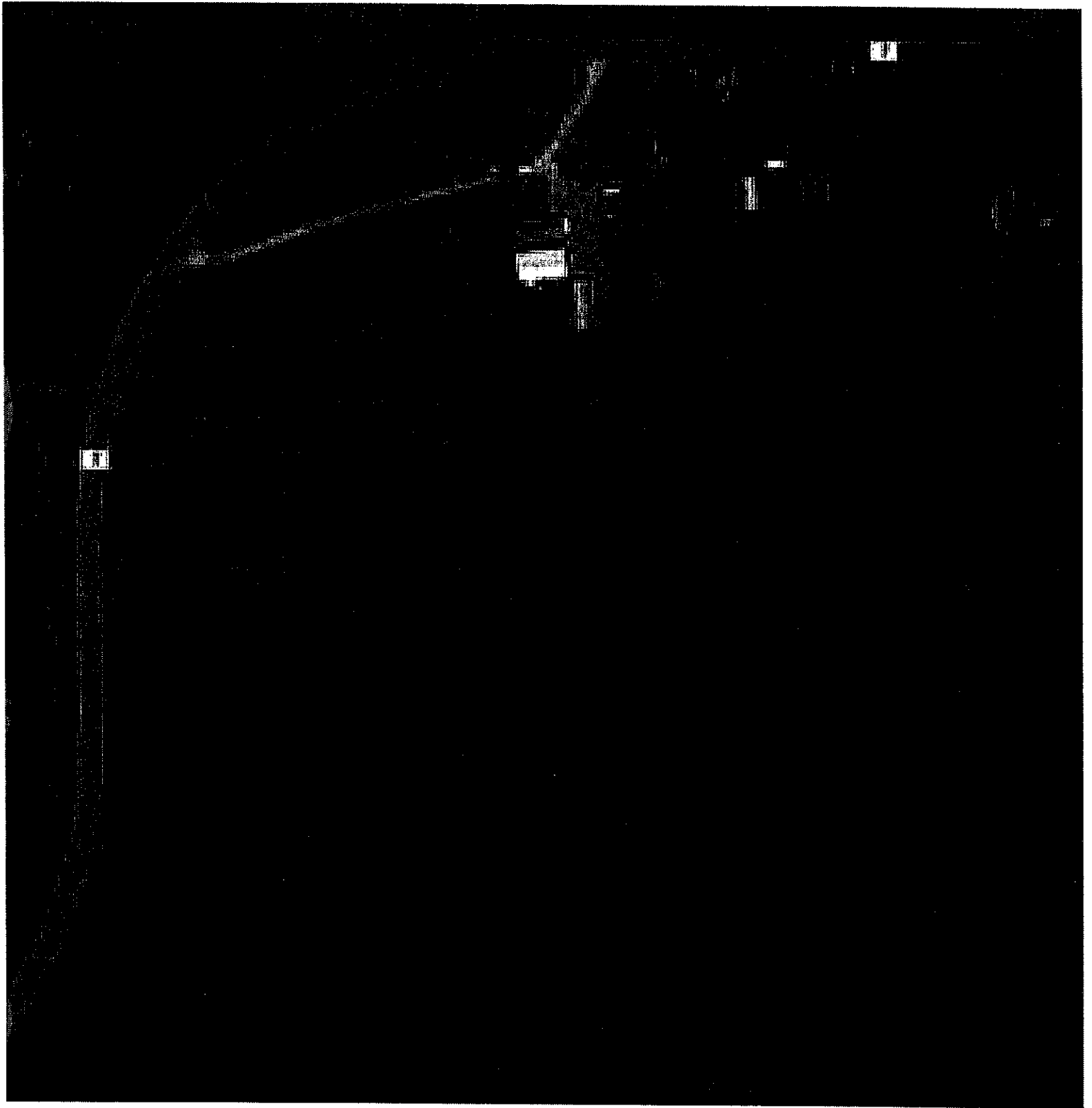
The noise level of traffic on the adjacent highway (which is the dominant source of ambient noise) varies between 60dBA and 85dBA. In order to determine the Equivalent Continuous Noise Level (LEQ) a measurement is averaged over a fixed time period. During a two hour period of testing LEQ measured 52.5dBA (Slightly higher than the 50 dBA ambient noise level which is allowed in the Grant City noise ordinance). It is very likely that the ambient noise blanket will be several dB higher in the summer due to increased road traffic and wind noise through trees with leaves. This should provide additional beneficial masking for activities in the barn.

Effective Outside Music Level

All Barn Doors were secured closed. A looped selection of dance music was repeatedly played at a level of 85dBA on the Dance Floor. Measurements were taken at location A,B,C,D. during periods when traffic noise did not completely mask the music. In all cases levels were below 50dBA. (see plot on satellite photo) It was not possible to measure Dance Music Noise at the closest southern residence.

Recommendations

1. Large Barn Doors should be closed when amplified music is playing. Smaller egress doors should be installed to reduce the escape of sound when patrons are entering or leaving the building.
2. Dance music should not be played at a level which exceeds 90 dBA on the Dance Floor. The majority of music should be played at 85 dBA or lower.
3. A TYPE II sound level meter should be purchased to monitor levels on the Dance Floor and at Receiver Location A which represents a worst case noise sample.



Sound Level Meter with Backlit Display



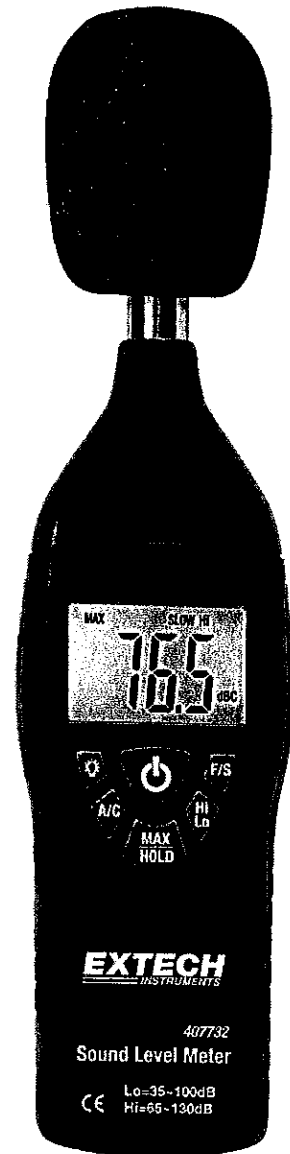
Two range meter
With backlit LCD display

Features:

- High accuracy meets ANSI and IEC 651 Type 2 standards
- High and Low measuring ranges
- Data Hold and Max Hold functions
- Backlit display to view in dimly lit area
- Complete with microphone wind screen and 9V battery

Applications:

- Enforcing community noise ordinances
- Meeting government safety issues (OSHA)
- Installing audio systems
- Product noise certification and reduction



Specifications	
Display Counts	2000 count LCD
Range	Low: 35 to 100dB High: 65 to 130dB
Basic Accuracy	±1.5dB
Weighting (A & C)	Yes
Response Time (Fast/Slow)	Yes
Condenser Microphone	0.5" (12.7mm)
Dimensions	8.2x2.1x1.25" (210x55x32mm)
Weight	8.1oz (230g)

Ordering Information:

407732.....Sound Level Meter with Backlit Display
407732-NISTSound Level Meter with Backlit Display with NIST





Department of Public Health and Environment
 14949 62nd Street North PO Box 6
 Stillwater MN 55082-0006
 Office: 651-430-8655 TTY: 651-430-6246 Fax: 651-430-6730

Review Fee:	\$290.00
Permit Fee:	\$875.00
Total Fee:	\$1,165.00
Previous Payment	\$1,165.00
Balance Due	\$0.00

Scanned 4- -14

Community: Grant
 Permit Number: 2700-14-1
 Owner: Scott Jordan
 7373 120th ST N
 Grant MN 55110-
 Applicant: Sara Kelzenberg Afton Architects & Planners

PERMISSION IS HEREBY GRANTED

To execute the work specified in this permit on the following identified property upon express condition that said persons and their agents, and employees shall conform in all respects to the provisions of Ordinance #179, Washington County Development Code, Chapter Four, Subsurface Sewage Treatment System Regulations. This permit may be revoked at any time upon violation of any of the provisions of said ordinance.

Project Address: 7373 120th ST N
 Geo Code: 05-030-21-21-0005
 Designer: Inspect Minnesota, Midwest Soil Testing

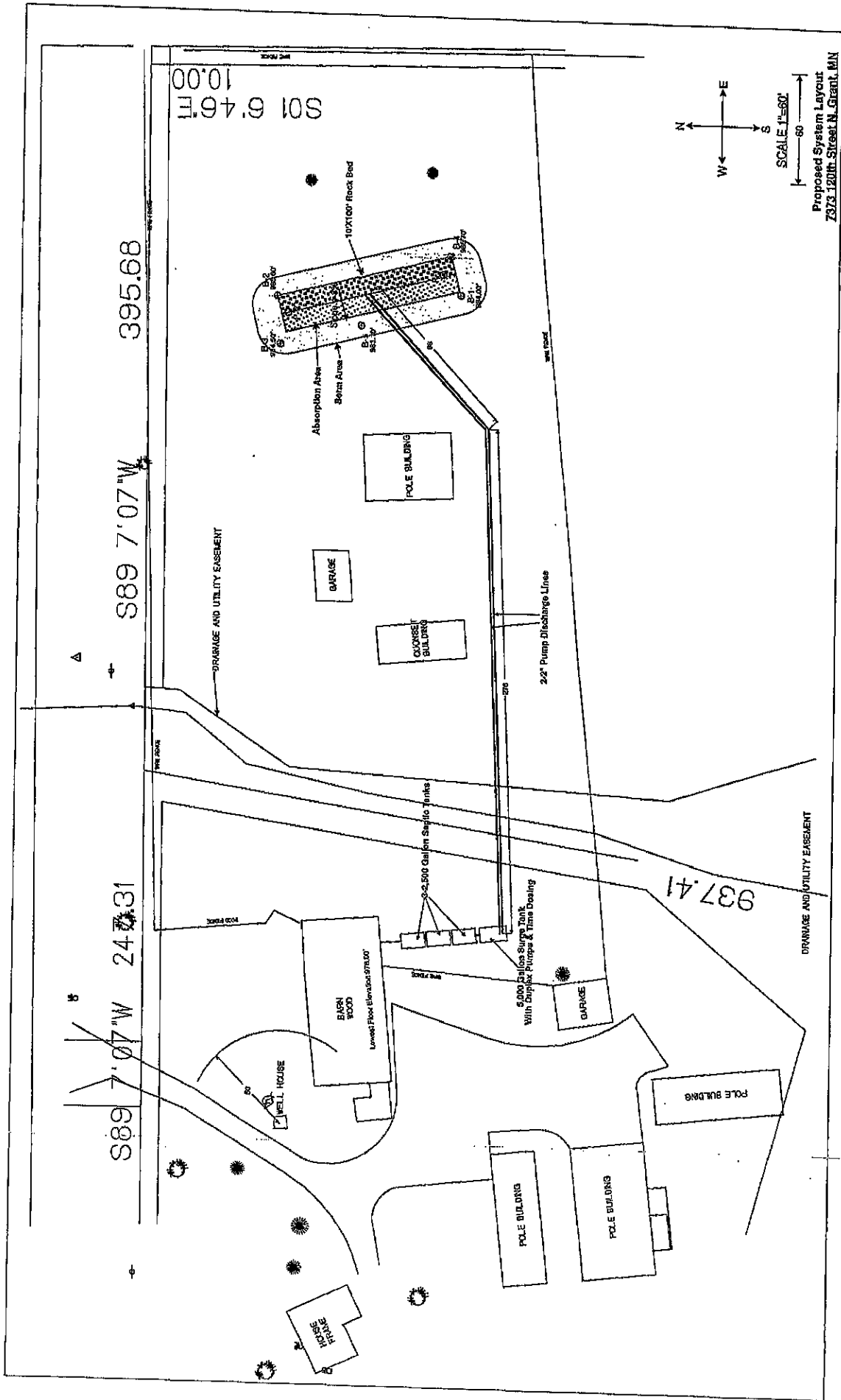
Type of System: Mound		Pressure Distribution	
Design Criteria		Mound Sizing	
Percolation Rate:	7	Rock Bed Width:	10 Feet
Depth To Restriction:	24	Rock Bed Length:	1000 Feet
Land Slope:	8.00%	Absorption Width:	10 Feet
Flow Rate:	1000	Depth of Clean Sand:	12 Inches
Number of Bedrooms:	0	Downslope Dike Width:	22 Feet
		Upslope Dike:	10 Feet
		Length of Dike:	130 Feet
Tank Sizes			
Tank 1: 2500	Tank 2: 2500	Tank 3: 2500	Lift Station: 5000
		Number Of Laterals:	3
		Perforation Spacing:	3 Feet
		Perforation Diameter:	7/32 Inch
		Head Size:	5.0 Inch
		Total Head:	42.8
		Connection:	End
		Length of Laterals:	50 Feet
		Perforations / Lateral:	17
		Total Perforations:	51
		Gallons Per Minute:	41
		Lateral Diameter:	1.5 Inches

Authorized Work/Special Conditions

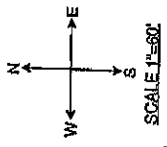
- Dual Pump system. Pressure distribution design is off one half of the mound. Pumps each dose to one half of the system.
- Effluent Filter with Alarm Required
- Pressure laterals must have cleanouts to grade.
- Subject to annually renewable Operating Permit
- System must be operated in accordance with the attached Management Plan.
- Waste Strength Sample provided shows a BOD of 164mg/L and an Ammonia level of 9.12mg/L. These levels indicate that pre-treatment is not needed at this time. Provide a waste strength sample result to the Department once every 12 months.
- Water Meter Required

Permit Issue Date: 4/22/2014
 Permit Expiration Date: 4/22/2016

Pete Ganzel
 Senior Environmental Specialist



Proposed System Layout
 7373 120th Street N. Grant, MN



395.68
 10.00
 S01 6' 46" E

889' 7' 07" W

889' 7' 07" W

937.41

BARN 1000
 Lowest Floor Elevation 978.00'

5,000 Gallon Surge Tank
 With Duplex Pumps & Time Dialing

24" Fire Line

24" Pump Discharge Line

POLE BUILDING

COUNSELOR BUILDING

GARAGE

POLE BUILDING

10' x 100' Root Bed
 Absorption Area
 Seem Area

DRAINAGE AND UTILITY EASEMENT

DRAINAGE AND UTILITY EASEMENT

WELL HOUSE

POLE BUILDING

POLE BUILDING

POLE BUILDING

GARAGE

OSTP Design Summary Worksheet



Mound Design Summary

Absorption Area	<input type="text" value="999.0"/> ft ²	Bed Length	<input type="text" value="99.9"/> ft	Bed Width	<input type="text" value="10.0"/> ft
Absorption Width	<input type="text" value="10.0"/> ft	Clean Sand Lift	<input type="text" value="1.0"/> ft	Berm Width (0-1%)	<input type="text"/> ft
Upslope Berm Width	<input type="text" value="10.4"/> ft	Downslope Berm Width	<input type="text" value="22.3"/> ft	Endslope Berm Width	<input type="text" value="15.2"/> ft
Total System Length	<input type="text" value="130.3"/> ft	Total System Width	<input type="text" value="42.7"/> ft	Contour Loading Rate	<input type="text" value="10.0"/> gal/ft

At-Grade Design Summary

Absorption Bed Width	<input type="text"/> ft	Absorption Bed Length	<input type="text"/> ft	System Height	<input type="text"/> ft
Contour Loading Rate	<input type="text"/> gal/ft	Upslope Berm Width	<input type="text"/> ft	Downslope Berm Width	<input type="text"/> ft
Endslope Berm Width	<input type="text"/> ft	System Length	<input type="text"/> ft	System Width	<input type="text"/> ft

Level & Equal Pressure Distribution Summary

No. of Perforated Laterals	<input type="text" value="3"/>	Perforation Spacing	<input type="text" value="3"/> ft	Perforation Diameter	<input type="text" value="7/32"/> in
Lateral Diameter	<input type="text" value="1.50"/> in	Min. Delivered Volume	<input type="text" value="100"/> gal	Maximum Delivered Volume	<input type="text" value="100"/> gal

Non-Level and Unequal Pressure Distribution Summary

	Elevation (ft)	Pipe Size (in)	Pipe Volume (gal/ft)	Pipe Length (ft)	Perforation Size (in)	Spacing (ft)	Spacing (in)	
Lateral 1								
Lateral 2								
Lateral 3								
Lateral 4								
Lateral 5								
Lateral 6								

Minimum Delivered Volume gal

Maximum Delivered Volume gal

5. Additional Info for Type IV/Pretreatment Design

A. Calculate the organic loading using option 1 or 2

1. Organic Loading = Pounds of BOD X Units
 lbs/day X = lbs BOD/day

2. Organic Loading to Pretreatment Unit = Design Flow X Estimated BOD in mg/L in the effluent X 8.35 + 1,000,000
 gpd X mg/L X 8.35 + 1,000,000 = lbs BOD/day

B. Type of Pretreatment Unit Being Installed:

C. Calculate Soil Treatment System Organic Loading: lbs. BOD/day ÷ Bottom Area = lbs/day/ft²
 lbs/day ÷ ft² = lbs/day/ft²

Comments/Special Design Considerations:

Time dosing with flow equalization will be used for this system. Each pump will deliver effluent to half of the mound. Therefore, the attached forms relative to pressure distribution and dosing of effluent are only for half of the system and will be mirrored to the other half.

I hereby certify that I have completed this work in accordance with all applicable ordinances, rules and laws.

<u>Brian Humpal</u> (Designer)	<u>Brian Humpal</u> (Signature)	<u>L2896</u> (License #)	<u>02/19/14</u> (Date)
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OSTP Mound Design Worksheet >1% Slope



1. SYSTEM SIZING: Project ID: _____

A. Design Flow: GPD

B. Soil Loading Rate: GPD/ft²

C. Depth to Limiting Condition: ft

D. Percent Land Slope: %

E. Design Media Loading Rate: GPD/ft²

F. Mound Absorption Ratio:

Percolation Rate (MPI)	Treatment Level C		Treatment Level A, A-2, B	
	Absorption Area Loading Rate (gpd/ft ²)	Mound Absorption Ratio	Absorption Area Loading Rate (gpd/ft ²)	Mound Absorption Ratio
<0.1	-	1	-	1
0.1 to 5	1.2	1	1.0	1
0.1 to 5 (fine sand and loamy fine sand)	0.8	2	1	1.5
6 to 15	0.75	1.5	1	1.5
16 to 30	0.6	2	0.75	2
31 to 45	0.5	2.4	0.70	2
46 to 60	0.45	2.6	0.6	2.5
61 to 120	-	6	0.3	5.5
>120	-	-	-	-

Measured Perc Rate	OR	Textile-derived mound absorption ratio	Contour Loading Rate
≤ 60mpl		1.0, 1.3, 2.0, 2.4, 2.6	≤ 12
61-120 mpl	OR	5.0	≤ 12
≥ 120 mpl*		>5.0*	≤ 6*

*Systems with these values are not Type I systems. Contour Loading Rate (linear loading rate) is a recommended value.

2. DISPERSAL MEDIA SIZING

A. Calculate Dispersal Bed Area: Design Flow ÷ Design Media Loading Rate = ft²

GPD ÷ GPD/ft² = ft²

If a larger dispersal media area is desired, enter size: ft²

B. Enter Dispersal Bed Width: ft *Can not exceed 10 feet*

C. Calculate Contour Loading Rate: Bed Width X Design Media Loading Rate

ft² X GPD/ft² = gal/ft *Can not exceed Table 1*

D. Calculate Minimum Dispersal Bed Length: Dispersal Bed Area ÷ Bed Width = Bed Length

ft² ÷ ft = ft

3. ABSORPTION AREA SIZING

A. Calculate Absorption Width: Bed Width X Mound Absorption Ratio = Absorption Width

ft X = ft

B. For slopes >1%, the Absorption Width is measured downhill from the upslope edge of the Bed.

Calculate Downslope Absorption Width: Absorption Width - Bed Width

ft - ft = ft

4. DISTRIBUTION MEDIA: ROCK

A. Media Volume: Media Depth X Length X Width

ft X ft X ft = ft³ ÷ 27 = yd³

5. DISTRIBUTION MEDIA: REGISTERED TREATMENT PRODUCTS: CHAMBERS AND EZFLOW

- A. Enter Dispersal Media:
- B. Enter the Component Length: ft Enter the Component Width: ft
- C. Number of Components per Row = Bed Length divided by Component Length (Round up)
 ft ÷ ft = components/row
- D. Actual Bed Length = Number of Components/row X Component Length:
 components X ft = ft
- E. Number of Rows = Bed Width divided by Component Width (Round up)
 ft ÷ ft = rows *Adjust width so this is a whole number.*
- F. Total Number of Components = Number of Components per Row X Number of Rows
 X = components

6. MOUND SIZING

- A. Calculate Minimum Clean Sand Lift: 3 feet minus Depth to Limiting Condition = Clean Sand Lift
 3.0 ft - 2.3 ft = 1.0 ft Design Sand Lift (optional): ft
- B. Calculate Upslope Height: Clean Sand Lift + media depth + cover (1 ft.) = Upslope Height
 1.0 ft + 1.0 ft + 1.0 ft = 3.0 ft
- C. Select Upslope Berm Multiplier (based on land slope): 3.45

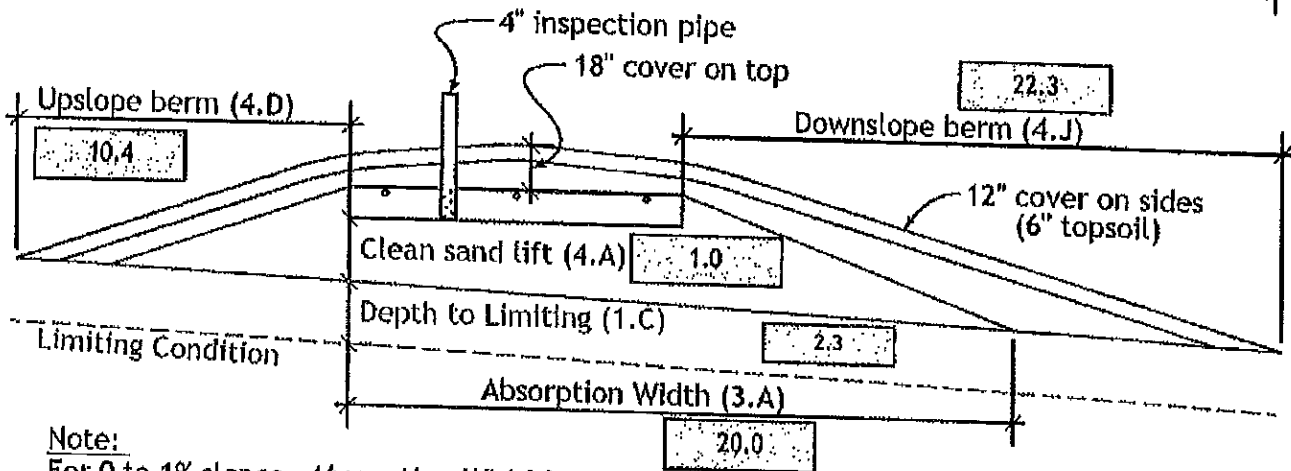
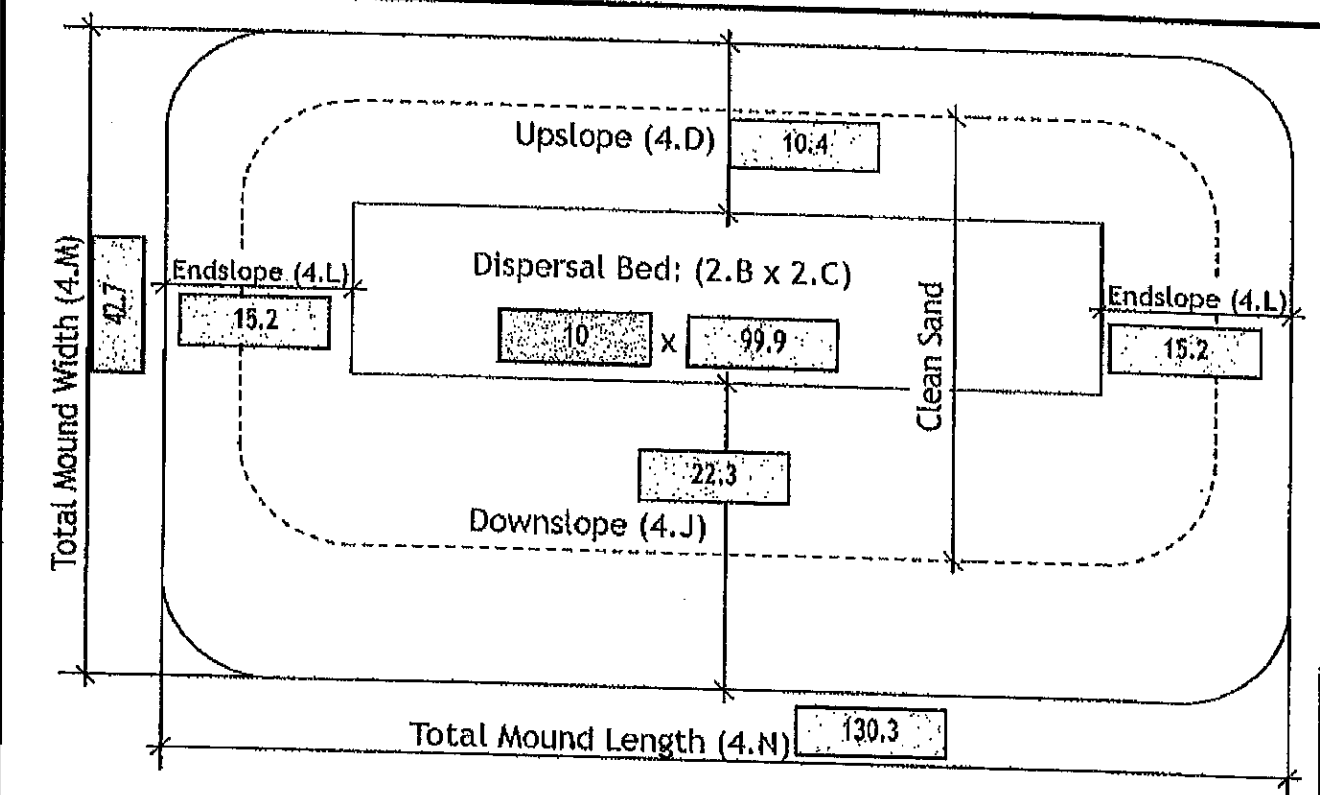
Land Slope %	0	1	2	3	4	5	6	7	8	9	10	11	12	
Upslope Berm Ratio	3:1	3.00	2.91	2.83	2.75	2.68	2.61	2.54	2.48	2.42	2.36	2.31	2.26	2.21
	4:1	4.00	3.85	3.70	3.57	3.45	3.33	3.23	3.12	3.03	2.94	2.86	2.78	2.70

- D. Calculate Upslope Berm Width: Multiplier X Upslope Mound Height = Upslope Berm Width
 3.45 ft X 3.0 ft = 10.4 ft
- E. Calculate Drop in Elevation Under Bed: Bed Width X Land Slope ÷ 100 = Drop (ft)
 10.0 ft X 8.0 % ÷ 100 = 0.80 ft
- F. Calculate Downslope Mound Height: Upslope Height + Drop in Elevation = Downslope Height
 3.0 ft + 0.80 ft = 3.8 ft
- G. Select Downslope Berm Multiplier (based on land slope): 5.88

Land Slope %	0	1	2	3	4	5	6	7	8	9	10	11	12	
Downslope Berm Ratio	3:1	3.00	3.09	3.19	3.30	3.41	3.53	3.66	3.80	3.95	4.11	4.29	4.48	4.69
	4:1	4.00	4.17	4.35	4.54	4.76	5.00	5.26	5.56	5.88	6.25	6.67	7.14	7.69

- H. Calculate Downslope Berm Width: Multiplier X Downslope Height = Downslope Berm Width
 5.88 X 3.8 ft = 22.3 ft
- I. Calculate Minimum Berm to Cover Absorption Area: Downslope Absorption Width + 4 feet
 10.0 ft + 4 ft = 14.0 ft
- J. Design Downslope Berm = greater of 4H and 4I: 22.3 ft
- K. Select Endslope Berm Multiplier: 4.00 *(usually 3.0 or 4.0)*
- L. Calculate Endslope Berm X Downslope Mound Height = Endslope Berm Width
 4.00 ft X 3.8 ft = 15.2 ft
- M. Calculate Mound Width: Upslope Berm Width + Bed Width + Downslope Berm Width
 10.4 ft + 10.0 ft + 22.3 ft = 42.7 ft
- N. Calculate Mound Length: Endslope Berm Width + Bed Length + Endslope Berm Width
 15.2 ft + 99.9 ft + 15.2 ft = 130.3 ft

7. MOUND DIMENSIONS



Note:

For 0 to 1% slopes, *Absorption Width* is measured from the *Bed* equally in both directions.
 For slopes >1%, *Absorption Width* is measured downhill from the upslope edge of the *Bed*.

Comments:

OSTP Mound Materials Worksheet



Project ID: _____		v 06.12.13
A. Calculate Bed (rock) Volume: Bed Length (2.C) X Bed Width (2.B) X Depth = Volume (ft³)		
99.9	ft X	10.0
ft X	ft X	1.0
		= 999.0
Divide ft ³ by 27 ft ³ /yd ³ to calculate cubic yards:		
999.0	ft ³ ÷	27
		= 37.0
Add 20% for constructability:		
37.0	yd ³ X	1.2
		= 44.4
B. Calculate Clean Sand Volume:		
<i>Volume Under Rock bed: Average Sand Depth x Media Width x Media Length = cubic feet</i>		
1.4	ft X	10.0
ft X	ft X	99.9
		= 1398.6
<i>For a Mound on a slope from 0-1%</i>		
<i>Volume from Length = ((Upslope Mound Height - 1) X Absorption Width Beyond Bed X Media Bed Length)</i>		
_____	ft - 1	X _____
X	_____	ft
		= _____
<i>Volume from Width = ((Upslope Mound Height - 1) X Absorption Width Beyond Bed X Media Bed Width)</i>		
_____	ft - 1	X _____
X	_____	ft
		= _____
<i>Total Clean Sand Volume: Volume from Length + Volume from Width + Volume Under Media</i>		
_____	ft ³ +	_____
ft ³ +	_____	ft ³ =

<i>For a Mound on a slope greater than 1%</i>		
<i>Upslope Volume: ((Upslope Mound Height - 1) x 3 x Bed Length) ÷ 2 = cubic feet</i>		
((	3.0	ft - 1)
X	3.0	ft
X	99.9	ft
		) ÷ 2 = 299.7
<i>Downslope Volume: ((Downslope Height - 1) x Downslope Absorption Width x Media Length) ÷ 2 = cubic feet</i>		
((	3.8	ft - 1)
X	10.0	ft X
99.9	ft	) ÷ 2 = 1398.6
<i>Endslope Volume: (Downslope Mound Height - 1) x 3 x Media Width = cubic feet</i>		
(	3.8	ft - 1)
X	3.0	ft
X	10.0	ft
		= 84.0
<i>Total Clean Sand Volume: Upslope Volume + Downslope Volume + Endslope Volume + Volume Under Media</i>		
299.7	ft ³ +	1398.6
ft ³ +	84.0	ft ³ +
		1398.6
		ft ³ = 3180.9
Divide ft ³ by 27 ft ³ /yd ³ to calculate cubic yards:		
3180.9	ft ³ ÷	27
		= 117.8
Add 20% for constructability:		
117.8	yd ³ X	1.2
		= 141.4
C. Calculate Sandy Berm Volume:		
<i>Total Berm Volume (approx): ((Avg. Mound Height - 0.5 ft topsoil) x Mound Width x Mound Length) ÷ 2 = cubic feet</i>		
(	3.4	ft - 0.5
) X	42.7	ft X
130.3	ft	) ÷ 2 = 8066.4
<i>Total Mound Volume - Clean Sand volume - Rock Volume = cubic feet</i>		
8066.4	ft ³ -	3180.9
ft ³ -	999.0	ft ³ =
		3886.5
Divide ft ³ by 27 ft ³ /yd ³ to calculate cubic yards:		
3886.5	ft ³ ÷	27
		= 143.9
Add 20% for constructability:		
143.9	yd ³ X	1.2
		= 172.7
D. Calculate Topsoil Material Volume: Total Mound Width X Total Mound Length X .5 ft		
42.7	ft X	130.3
ft X	0.5	ft
		= 2781.5
Divide ft ³ by 27 ft ³ /yd ³ to calculate cubic yards:		
2781.5	ft ³ ÷	27
		= 103.0
Add 20% for constructability:		
103.0	yd ³ X	1.2
		= 123.6

THE HISTORY OF THE UNITED STATES

The history of the United States is a complex and multifaceted story that spans centuries. It begins with the early Native American civilizations, such as the Mayans, Aztecs, and Incas, who built sophisticated societies in the Americas. The arrival of European explorers, including Christopher Columbus and John Cabot, marked the beginning of a new era of discovery and colonization. The United States was founded in 1776, and its early years were characterized by a struggle for independence from British rule. The American Revolution (1775-1783) was a pivotal moment in the nation's history, leading to the signing of the Declaration of Independence and the establishment of the United States as a sovereign nation.

The early years of the United States were marked by westward expansion and the search for new lands. The Louisiana Purchase of 1803, which doubled the size of the United States, was a significant event in this process. The Lewis and Clark expedition (1804-1806) provided valuable information about the western part of the continent. The American Civil War (1861-1865) was a major conflict that resulted in the abolition of slavery and the preservation of the Union. The Reconstruction era (1865-1877) followed, as the nation sought to rebuild and integrate the newly freed African Americans into society.

The late 19th and early 20th centuries were characterized by rapid industrialization and the rise of a new American identity. The Gilded Age (1870-1900) was a period of great wealth and power, marked by the rise of industrialists like John D. Rockefeller and Andrew Carnegie. The Progressive Era (1890-1920) was a period of social and political reform, as Americans sought to address the problems of poverty, corruption, and social inequality. The United States emerged as a world power in the early 20th century, with the Spanish-American War (1898) and the acquisition of territories like Hawaii and the Philippines.

The 20th century was a period of great change and challenge for the United States. World War I (1914-1918) and World War II (1939-1945) were major global conflicts in which the United States played a central role. The Cold War (1947-1991) was a period of tension and rivalry between the United States and the Soviet Union. The Civil Rights Movement (1950s-1960s) was a period of social and political activism, as African Americans fought for equality and justice. The Vietnam War (1955-1975) was a controversial conflict that tested the nation's resolve and resources.

The late 20th and early 21st centuries have been marked by significant events and challenges. The end of the Cold War (1991) led to a new era of global relations. The September 11 attacks (2001) were a major turning point in the nation's history, leading to the War on Terror and the invasion of Iraq (2003). The 2008 financial crisis and the subsequent recession (2008-2009) were major economic challenges. The election of Barack Obama in 2008 marked a historic moment in the nation's history, as he became the first African American president. The COVID-19 pandemic (2020) was a global health crisis that tested the nation's resilience and resources.



Minnesota Pollution Control Agency

OSTP Pressure Distribution Design Worksheet

UNIVERSITY OF MINNESOTA



Project ID: _____

v 06.12.13

1. Media Bed Width: ft

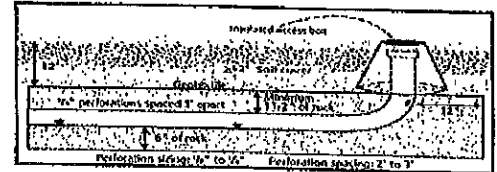
2. Minimum Number of Laterals in system/zone = Rounded up number of $[(\text{Media Bed Width} - 4) \div 3] + 1$.

(- 4) + 1 = laterals *Does not apply to at-grades*

3. Designer Selected Number of Laterals: laterals
Cannot be less than line 2 (accept in at-grades)

4. Select Perforation Spacing: ft

5. Select Perforation Diameter Size: in



6. Length of Laterals = Media Bed Length - 2 Feet.

- 2ft = ft *Perforation can not be closer than 1 foot from edge.*

7. Determine the Number of Perforation Spaces. Divide the Length of Laterals by the Perforation Spacing and round down to the nearest whole number.

Number of Perforation Spaces = ft \div ft = Spaces

Number of Perforations per Lateral is equal to 1.0 plus the Number of Perforation Spaces. Check table below to verify the number of perforations per lateral guarantees less than a 10% discharge variation. The value is double with a center manifold.

Perforations Per Lateral Spaces + 1 = Perfs. Per Lateral

Maximum Number of Perforations Per Lateral to Guarantee < 10% Discharge Variation											
1/4 Inch Perforations						7/32 Inch Perforations					
Perforation Spacing (Feet)	Pipe Diameter (Inches)					Perforation Spacing (Feet)	Pipe Diameter (Inches)				
	1	1 1/4	1 1/2	2	3		1	1 1/4	1 1/2	2	3
2	10	13	18	30	60	2	11	16	21	34	68
2 1/2	8	12	16	28	54	2 1/2	10	14	20	32	64
3	8	12	16	25	52	3	9	14	19	30	60
3/16 Inch Perforations						1/8 Inch Perforations					
Perforation Spacing (Feet)	Pipe Diameter (Inches)					Perforation Spacing (Feet)	Pipe Diameter (Inches)				
	1	1 1/4	1 1/2	2	3		1	1 1/4	1 1/2	2	3
2	12	18	26	46	87	2	21	33	44	74	149
2 1/2	12	17	24	40	80	2 1/2	20	30	41	69	135
3	12	16	22	37	75	3	20	29	38	64	128

9. Total Number of Perforations equals the Number of Perforations per Lateral multiplied by the Number of Perforated Laterals.

Perf. Per Lat. X Number of Perf. Lat. = Total Number of Perf.

10. Select Type of Manifold Connection (End or Center): End Center

11. Select Lateral Diameter (See Table): in



OSTP Pressure Distribution Design Worksheet



12. Calculate the *Square Feet per Perforation*. Recommended value is 4-11 ft² per perforation.

Does not apply to At-Grades

a. *Bed Area* = Bed Width (ft) X Bed Length (ft)

ft X ft = ft²

b. *Square Foot per Perforation* = Bed Area divided by the *Total Number of Perforations*.

ft² ÷ perforations = ft²/perforations

13. Select *Minimum Average Head*: ft

14. Select *Perforation Discharge* (GPM) based on Table: GPM per Perforation

15. Determine required *Flow Rate* by multiplying the *Total Number of Perfs.* by the *Perforation Discharge*.

Perfs X GPM per Perforation = GPM

16. *Volume of Liquid Per Foot of Distribution Piping* (Table II): Gallons/ft

17. *Volume of Distribution Piping* =

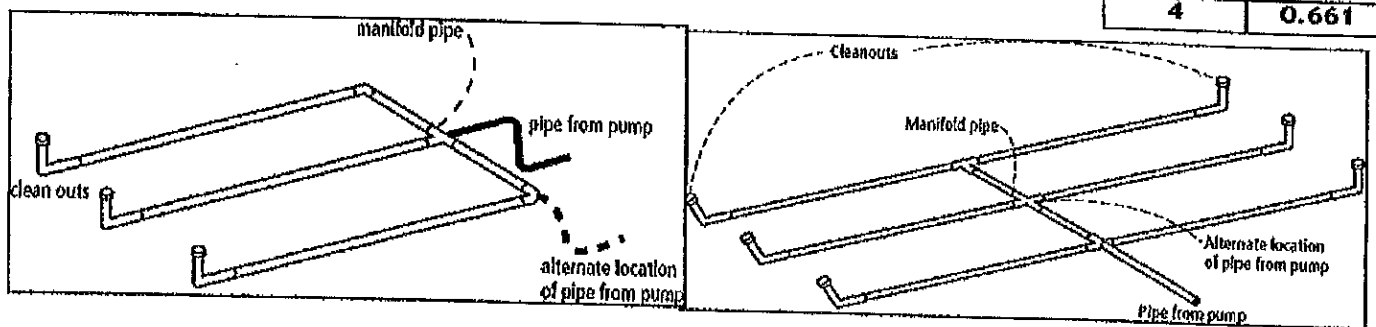
= [Number of Perforated Laterals X Length of Laterals X (Volume of Liquid Per Foot of Distribution Piping)]

X ft X gal/ft = Gallons

18. *Minimum Delivered Volume* = Volume of Distribution Piping X 4

gals X 4 = Gallons

Pipe Diameter (Inches)	Liquid Per Foot (Gallons)
1	0.045
1.25	0.078
1.5	0.110
2	0.170
3	0.380
4	0.661



Comments/Special Design Considerations:

Mound will be served by two pumps and two pressure distribution systems, each pump and pressure distribution system v

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Minnesota Pollution Control Agency

OSTP Basic Pump Selection Design Worksheet

UNIVERSITY OF MINNESOTA



v 06.12.13

1. PUMP CAPACITY

Project ID: _____

Pumping to Gravity or Pressure Distribution:

Gravity Pressure

Selection required

1. If pumping to gravity enter the gallon per minute of the pump: _____ GPM (10 - 45 gpm)

2. If pumping to a pressurized distribution system: _____ GPM

41.0

3. Enter pump description: _____

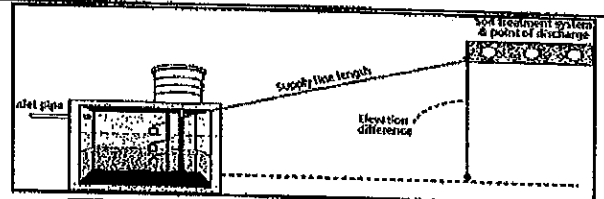
Time Dosing Soil Treatment

2. HEAD REQUIREMENTS

A. Elevation Difference between pump and point of discharge: ft

B. Distribution Head Loss: ft

C. Additional Head Loss: ft (due to special equipment, etc.)



Distribution Head Loss	
Gravity Distribution = 0ft	
Pressure Distribution based on Minimum Average Head Value on Pressure Distribution Worksheet:	
Minimum Average Head	Distribution Head Loss
1ft	5ft
2ft	6ft
5ft	10ft

Table I. Friction Loss in Plastic Pipe per 100ft

Flow Rate (GPM)	Pipe Diameter (Inches)			
	1	1.25	1.5	2
10	9.1	3.1	1.3	0.3
12	12.8	4.3	1.8	0.4
14	17.0	5.7	2.4	0.6
16	21.8	7.3	3.0	0.7
18		9.1	3.8	0.9
20		11.1	4.6	1.1
25		16.8	6.9	1.7
30		23.5	9.7	2.4
35			12.9	3.2
40			16.5	4.1
45			20.5	5.0
50				6.1
55				7.3
60				8.6
65				10.0
70				11.4
75				13.0
85				16.4
95				20.1

D. 1. Supply Pipe Diameter: in

2. Supply Pipe Length: ft

E. Friction Loss in Plastic Pipe per 100ft from Table I:

Friction Loss = ft per 100ft of pipe

F. Determine Equivalent Pipe Length from pump discharge to soil dispersal area discharge point. Estimate by adding 25% to supply pipe length for fitting loss. Supply Pipe Length (D.2) X 1.25 = Equivalent Pipe Length

ft X 1.25 = ft

G. Calculate Supply Friction Loss by multiplying Friction Loss Per 100ft (Line E) by the Equivalent Pipe Length (Line F) and divide by 100.

Supply Friction Loss = ft per 100ft X ft ÷ 100 = ft

H. Total Head requirement is the sum of the Elevation Difference (Line A), the Distribution Head Loss (Line B), Additional Head Loss (Line C), and the Supply Friction Loss (Line G)

ft + ft + ft + ft = ft

3. PUMP SELECTION

A pump must be selected to deliver at least GPM (Line 1 or Line 2) with at least feet of total head.

Comments:

1. The first part of the document discusses the importance of maintaining accurate records of all transactions and activities. It emphasizes that this is essential for ensuring transparency and accountability in the organization's operations.

2. The second part of the document outlines the various methods and tools used to collect and analyze data. It highlights the need for consistent and reliable data collection processes to support informed decision-making.

3. The third part of the document focuses on the role of technology in modern data management. It discusses how advanced software solutions can streamline data collection, storage, and analysis, thereby improving efficiency and accuracy.

4. The fourth part of the document addresses the challenges associated with data security and privacy. It stresses the importance of implementing robust security measures to protect sensitive information from unauthorized access and breaches.

5. The fifth part of the document provides a detailed overview of the data analysis process. It describes how raw data is processed and transformed into meaningful insights that can be used to drive organizational growth and innovation.

6. The sixth part of the document discusses the importance of data governance and compliance. It outlines the key principles and best practices for ensuring that data is managed in a responsible and ethical manner, in accordance with applicable laws and regulations.

7. The seventh part of the document explores the future of data management and analysis. It discusses emerging trends and technologies that are expected to shape the data landscape in the coming years, such as artificial intelligence and machine learning.

8. The eighth part of the document provides a summary of the key findings and recommendations. It emphasizes the need for a holistic approach to data management that integrates all aspects of the organization's operations and strategy.

9. The ninth part of the document includes a list of references and sources used in the research. It provides a comprehensive overview of the current state of the field and identifies key areas for further research.

10. The tenth part of the document is a concluding statement that reiterates the importance of data in driving organizational success and the need for continuous improvement in data management practices.



DETERMINE TANK CAPACITY AND DIMENSIONS Project ID: _____ v 06.12.13

1. A. Design Flow (Design Sum. 1A): GPD
 B. Minimum required surge tank capacity: Gal
 C. Recommended surge tank capacity: Gal
 D. Pump tank description:

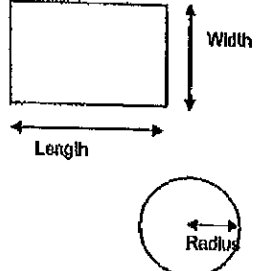
MEASURED TANK CAPACITY (existing tanks):

2. A. Rectangle area = Length (L) X Width (W)
 ft X ft = ft²

B. Circle area = 3.14r² (3.14 X radius X radius)
 3.14 X ² ft = ft²

C. Calculate Gallons Per Inch. There are 7.5 gallons per cubic foot. Therefore, multiply the area from 1.A or 1.B, by 7.5 to determine the gallons per foot the tank holds. Then divide that number by 12 to calculate the gallons per inch.
 ft² X 7.5 gal/ft³ ÷ 12 in/ft = Gallons per Inch

D. Calculate Total Tank Volume
 Depth from bottom of inlet pipe to tank bottom: in
 Total Tank Volume = Depth from bottom of Inlet pipe (Line 4.A) X Gallons/Inch (Line 2)
 in X Gallons Per Inch = Gallons



MANUFACTURER'S SPECIFIED TANK CAPACITY (when available):

3. A. Tank Manufacturer:
 B. Tank Model:
 C. Capacity from manufacturer: Gallons
 D. Gallons per inch from manufacturer: Gallons per Inch
 E. Liquid depth of tank from manufacturer: inches

Note: Design calculations are based on this specific tank. Substituting a different tank model will change the pump float or timer settings. Contact designer if changes are necessary.

DETERMINE DOSING VOLUME

3. Calculate Volume to Cover Pump (The inlet of the pump must be at least 4-inches from the bottom of the pump tank & 2 inches of water covering the pump is recommended)
 (Pump and block height + 2 inches) X Gallons Per Inch (2C or 3E)
 in + 2 inches X Gallons Per Inch = Gallons

4. Minimum Delivered Volume = 4 X Volume of Distribution Piping:
 - Line 17 of the Pressure Distribution or Line 11 of Non-level Gallons (minimum dose)

5. Calculate Maximum Pumpout Volume (25% of Design Flow)
 Design Flow: GPD X 0.25 = Gallons (maximum dose)

6. Select a pumpout volume that meets both items above (Line 4 & 5): Gallons

7. Calculate Doses Per Day = Design Flow ÷ Delivered Volume
 gpd ÷ gal = Doses

8. Calculate Drainback:
 A. Diameter of Supply Pipe = inches
 B. Length of Supply Pipe = feet
 C. Volume of Liquid Per Lineal Foot of Pipe = Gallons/ft
 D. Drainback = Length of Supply Pipe X Volume of Liquid Per Lineal Foot of Pipe
 ft X gal/ft = Gallons

9. Total Delivered Volume = Dosing Volume plus Drainback
 gal + gal = Gallons

10. Minimum Alarm Volume = Depth of alarm (2 or 3 inches) X gallons per inch of tank
 in X gal/in = Gallons

Volume of Liquid in Pipe	
Pipe Diameter (inches)	Liquid Per Foot (Gallons)
1	0.045
1.25	0.078
1.5	0.110
2	0.170
3	0.380
4	0.661

THE UNIVERSITY OF CHICAGO
DEPARTMENT OF CHEMISTRY

REPORT OF THE
COMMISSIONERS OF THE
SCHOOL OF DISTANCE EDUCATION

FOR THE YEAR
1967-68

CHICAGO, ILLINOIS
1968

THE UNIVERSITY OF CHICAGO
DEPARTMENT OF CHEMISTRY

REPORT OF THE
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CHICAGO, ILLINOIS
1968

THE UNIVERSITY OF CHICAGO
DEPARTMENT OF CHEMISTRY



TIMER or DEMAND FLOAT SETTINGS

Select Timer or Demand Dosing: Timer Demand Dose

A. Timer Settings

11. Required Flow Rate:

A. From Design (Line 12 of Pressure Distribution or Line 10 of Non-Level*): 41 GPM

B. Or calculated: $GPM = \text{Change in Depth (in)} \times \text{Gallons Per Inch} / \text{Time Interval in Minutes}$
 in \times 70.1 gal/in \div min = GPM

Note: This value is the minimum that the pump MUST deliver and must be adjusted after installation based on pump calibration.

12. Flow Rate from Line 11.A or 11.B above. 41 GPM

13. Calculate TIMER ON setting:

Total Dosing Volume / GPM
164 gal \div 41.0 gpm = 4.0 Minutes ON

14. Calculate TIMER OFF setting:

Minutes Per Day (1440) / Doses Per Day - Minutes On
 1440 min \div 4.0 doses/day = 356.0 Minutes OFF

15. Pump Off Float - Measuring from bottom of tank:

Distance to set Pump Off Float = Gallons to Cover Pump / Gallons Per Inch:
875.75 gal \div 70.1 gal/in = 12.5 inches

16. Alarm Float - Measuring from bottom of tank:

Distance to set Alarm Float = Tank Depth (4A) \times 90% of Tank Depth
77 in \times 0.90 = 69.3 in

B. DEMAND DOSE FLOAT SETTINGS

17. Calculate Float Separation Distance using Dosing Volume.

Total Dosing Volume / Gallons Per Inch
 gal \div gal/in = inches

18. Measuring from bottom of tank:

A. Distance to set Pump Off Float = Pump and block height + 2 inches

 in + in = inches

B. Distance to set Pump On Float = Distance to Set Pump-Off Float + Float Separation Distance

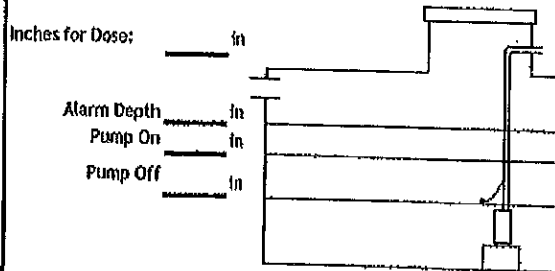
 in + in = inches

C. Distance to set Alarm Float = Distance to set Pump-On Float + Alarm Depth (2-3 inches)

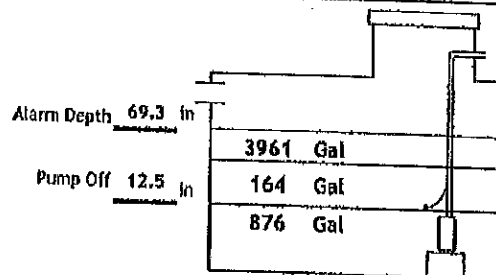
 in + in = inches

FLOAT SETTINGS

DEMAND DOSING



TIMED DOSING





OSTP Tank Buoyancy Worksheet



1. Tank Specifications

A. Tank Manufacturer: Tank Model:

B. Outside Tank Dimensions and Specifications:

Length: in Width: in Height: in Diameter: in

Length: ft Width: ft Height: ft Radius of Tank: in

2. Outside Volume of Tank

Rectangular Tank	Circular Tank
A. Area of Tank = Length (ft) X Width (ft) <input type="text" value="13.3"/> ft X <input type="text" value="7.8"/> ft = <input type="text" value="103.3"/> ft ²	A. Area of Tank = πr^2 (3.14 X (Radius of Tank) ²) 3.14 X <input type="text"/> ft ² = <input type="text"/> ft ²
B. Volume of Tank = Area of Tank (2.A) X Height (ft) <input type="text" value="103.333333"/> ft X <input type="text" value="5.9"/> ft = <input type="text" value="611.4"/> ft ³	B. Volume of Tank = Area of Tank X Height (ft) <input type="text"/> ft ² X <input type="text"/> ft = <input type="text"/> ft ³

3. Force of Tank Weight (F_{TW})

Weight of Tank (provided by manufacturer) lbs/ft³

4. Force of Soil Weight Over Tank (F_{SW})

A. Depth of Cover Over Tank: in ft

B. Weight of Soil Per Cubic Foot: lbs/ft³

C. Volume of Soil Over Tank = Depth of Cover (ft) X Area of Tank (ft²)
 ft X ft² = ft³

D. Weight of Soil Over Tank = Volume of Soil Over Tank X Weight of Soil Per Cubic
 ft³ X lbs/ft³ = lbs *Note: Assumes saturation to top of tank*

Soil Type	Weight of Soil (lbs/ft ³)
Sandy	120
Loamy	100
Clay	90

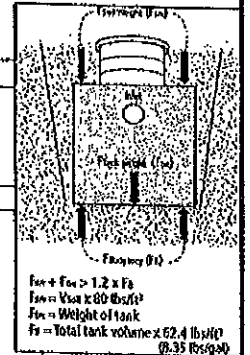
5. Buoyant Force (F_B)

Buoyant Force (F_B) = Outside Volume of Tank X Weight of Water Per Cubic Foot (62.4 lbs/ft³) X 1.2 (Safety Factor)
 X 62.4 lbs/ft³ X 1.2 = lbs *Note: Assumes saturation to surface*

6. Evaluation of Net Forces

A. Downward Force = Force of Tank Weight (F_{TW}) + Force of Soil Weight of Soil (F_{SW})
 lbs + lbs = lbs

B. Net Difference = Downward Force - Buoyant Force Including Safety Factor
 lbs - lbs = lbs



If the Net Difference is negative, countermeasures will need to be taken to prevent the tank from floating out of the ground.

Comments/Solution:



OSTP Tank Buoyancy Worksheet



1. Tank Specifications

A. Tank Manufacturer: Tank Model:

B. Outside Tank Dimensions and Specifications:

Length: in Width: in Height: in Diameter: in

Length: ft Width: ft Height: ft Radius of Tank: in

2. Outside Volume of Tank

Rectangular Tank	Circular Tank
A. Area of Tank = Length (ft) X Width (ft) <input type="text" value="15.2"/> ft X <input type="text" value="8.3"/> ft = <input type="text" value="126.4"/> ft ²	A. Area of Tank = πr^2 (3.14 X (Radius of Tank) ²) 3.14 X <input type="text"/> ft ² = <input type="text"/> ft ²
B. Volume of Tank = Area of Tank (2.A) X Height (ft) <input type="text" value="126.388889"/> ft ² X <input type="text" value="7.5"/> ft = <input type="text" value="947.9"/> ft ³	B. Volume of Tank = Area of Tank X Height (ft) <input type="text"/> ft ² X <input type="text"/> ft = <input type="text"/> ft ³

3. Force of Tank Weight (F_{TW})

Weight of Tank (provided by manufacturer) lbs/ft³

4. Force of Soil Weight Over Tank (F_{SW})

A. Depth of Cover Over Tank: in ft

B. Weight of Soil Per Cubic Foot: lbs/ft³

C. Volume of Soil Over Tank = Depth of Cover (ft) X Area of Tank (ft²)
 ft X ft² = ft³

D. Weight of Soil Over Tank = Volume of Soil Over Tank X Weight of Soil Per Cubic
 ft³ X lbs/ft³ = lbs *Note: Assumes saturation to top of tank*

Soil Type	Weight of Soil (lbs/ft ³)
Sandy	120
Loamy	100
Clay	90

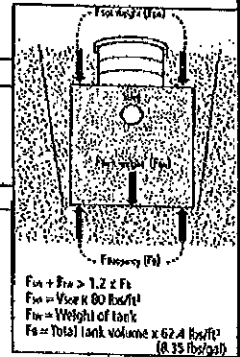
5. Buoyant Force (F_B)

Buoyant Force (F_B) = Outside Volume of Tank X Weight of Water Per Cubic Foot (62.4 lbs/ft³) X 1.2 (Safety Factor)
 X 62.4 lbs/ft³ X 1.2 = lbs *Note: Assumes saturation to surface*

6. Evaluation of Net Forces

A. Downward Force = Force of Tank Weight (F_{TW}) + Force of Soil Weight of Soil (F_{SW})
 lbs + lbs = lbs

B. Net Difference = Downward Force - Buoyant Force including Safety Factor
 lbs - lbs = lbs



If the Net Difference is negative, countermeasures will need to be taken to prevent the tank from floating out of the ground.

Comments/Solution:

Flow Estimation & Flow Equalization

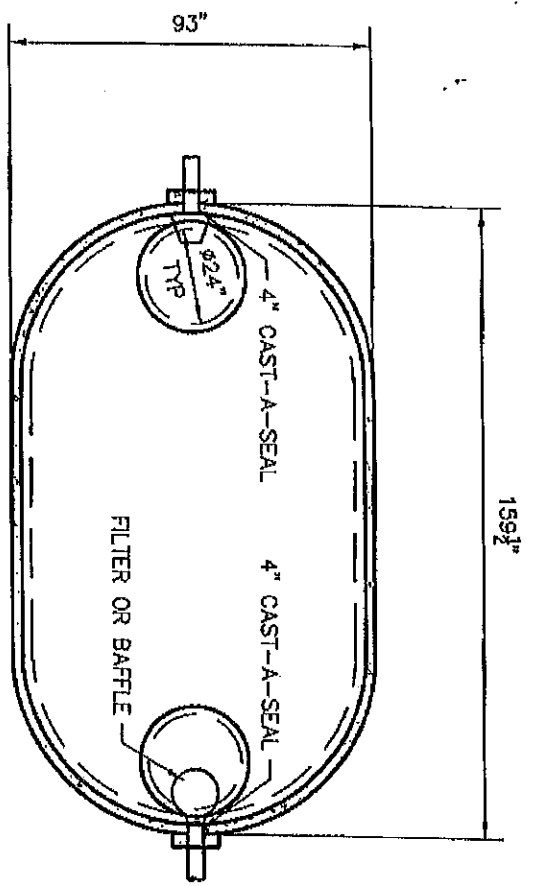
Establishment	7081 Specified Type of Establishment	Unit	# of Units	Design Flow per Unit	Total Peak Daily Flow
1	Dinning Hall	Person	294	8.00	2400

Time Interval Daily Flow for a Peak Week	Daily Inflow Volume (Gal)	Timed Dose Volume (Gal)	Surge Volume (Gal)
Sunday	100	743	2869
Monday	0	743	2126
Tuesday	0	743	1383
Wednesday	0	743	640
Thursday	100	743	0
Friday	2499	743	1756
Saturday	2499	743	3512
Total Weekly Flow (Gal)	5198	Minimum Surge Volume (Gal)	3512
Peak Daily Flow (Gal)	2499	X 20% Peaking Factor	4214
Average Daily Flow (Gal)	743		
Peak to Average Flow (Gal)	3.4:1		

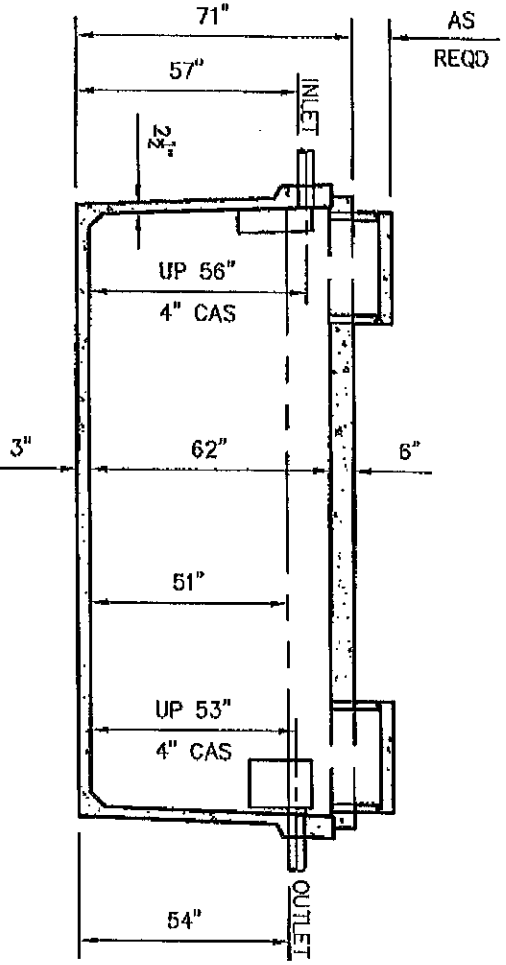
THE UNIVERSITY OF CHICAGO

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1100	1100	1100	1100

W2500-MR
TANK SPECIFICATIONS



TOP VIEW



SIDE VIEW

TANKS ARE MANUFACTURED TO MEET OR EXCEED ASTM C-1227 REQUIREMENTS

DIMENSIONS:

- WALL: 2 1/2"
- BOTTOM: SEPTIC 3"
- HEAVY DUTY 5" (ADD 2,300 LBS.)
- COVER: 6"
- MANHOLE: 24" I.D. PRECAST CONCRETE RISER
- HEIGHT: 71" O.D.
- LENGTH: 159 1/2" O.D.
- WIDTH: 93" O.D.
- BELOW INLET: 57" O.D.
- LIQUID LEVEL: 51"
- WEIGHT: 15,205 LBS. SEPTIC
- 17,505 LBS. HOLDING

INLET AND OUTLET:

- 4" CAST-A-SEAL BOOT OR EQUAL GASKET, CAST-A-SEAL BOOT OR EQUAL
- INLET AND OUTLET BAFFLE AND FILTER
- WISCONSIN, SEE DETAIL #10 (OTHER STATES SEE CHART)

LIQUID CAPACITY: 49.46 GAL/IN

LOADING DESIGN: 8' 0" UNSATURATED SOIL

HOLDING TANK:

- OUTLET HOLE PLUGGED
- ACTUAL CAPACITY: 2,671 GALLONS

MAN TANKS:

- WILL HAVE ONE VENT OVER OUTLET
- AND WILL HAVE TWO VENTS IN COVER OVER INLET

TANK CAN BE USED AS:

- SEPTIC/ HOLDING/ PUMP OR SIPHON

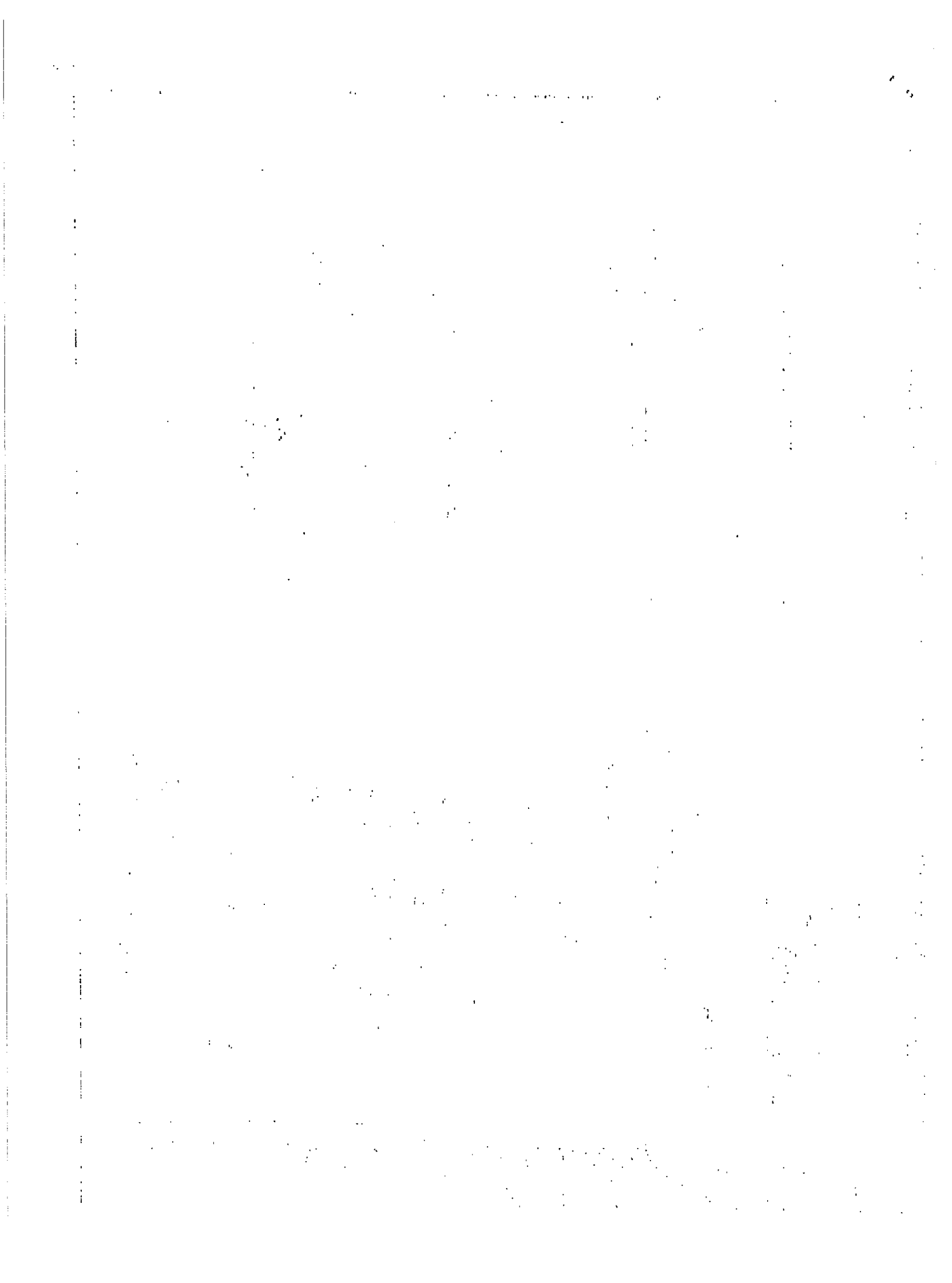
COVER: MIX DESIGN #8 (NO FIBER)
 TANK: MIX DESIGN #9 (SMALL FIBER)

CUSTOMIZED TANKS:
 FOR CUSTOM TANKS CONTACT WIESER CONCRETE

JOB INFORMATION:

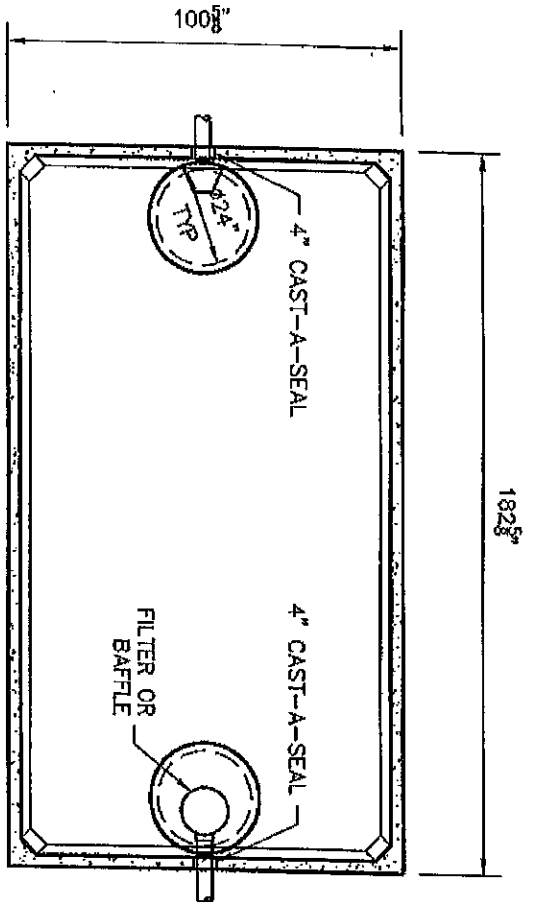
CUSTOMER: _____
 JOB NAME: _____
 DATE NEEDED: _____
 APPROVED BY: _____
 APPROVAL DATE: _____

W2500-MR SEPTIC MANUAL REVISED JAN. 2010	WIESER CONCRETE W3716 US HWY 10 MAIDEN ROCK, WI 54750 800-325-8456		DRAWN BY: SME DATE: JANUARY 2010 FILE: W2500-MR	SCALE: 1/4"=1'-0" REV. DATE:	PRE-POUR: POST-POUR:
	SHEET NO. 1 OF 1				

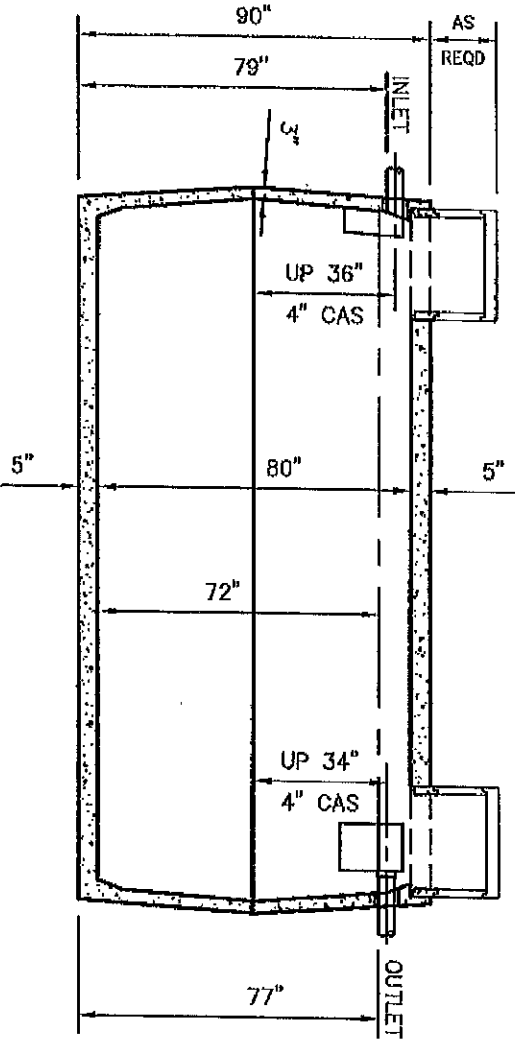


W5000

TANK SPECIFICATIONS



TOP VIEW



SIDE VIEW

DIMENSIONS:

- WALL: 3"
- BOTTOM: 5"
- COVER: 5"
- MANHOLE: 24" I.D. PRECAST CONCRETE RISER
- HEIGHT: 90" O.D.
- LENGTH: 182-5/8" O.D.
- WIDTH: 100-5/8" O.D.
- BELOW INLET: 79" O.D.
- LIQUID LEVEL: 72"
- WEIGHT: 14,350 LBS PER SECTION

INLET AND OUTLET:
4" CAST-A-SEAL BOOT OR EQUAL

INLET AND OUTLET BAFFLE AND FILTER:
WISCONSIN, SEE DETAIL #10
(OTHER STATES SEE CHART)

LIQUID CAPACITY: 70.06 GAL/IN

HOLDING TANK:
OUTLET HOLE PLUGGED
ACTUAL CAPACITY: 5,184 GALLONS

LOADING DESIGN: 8'-0" UNSATURATED SOIL

TANK CAN BE USED AS:
SEPTIC/ HOLDING/ PUMP OR SIPHON

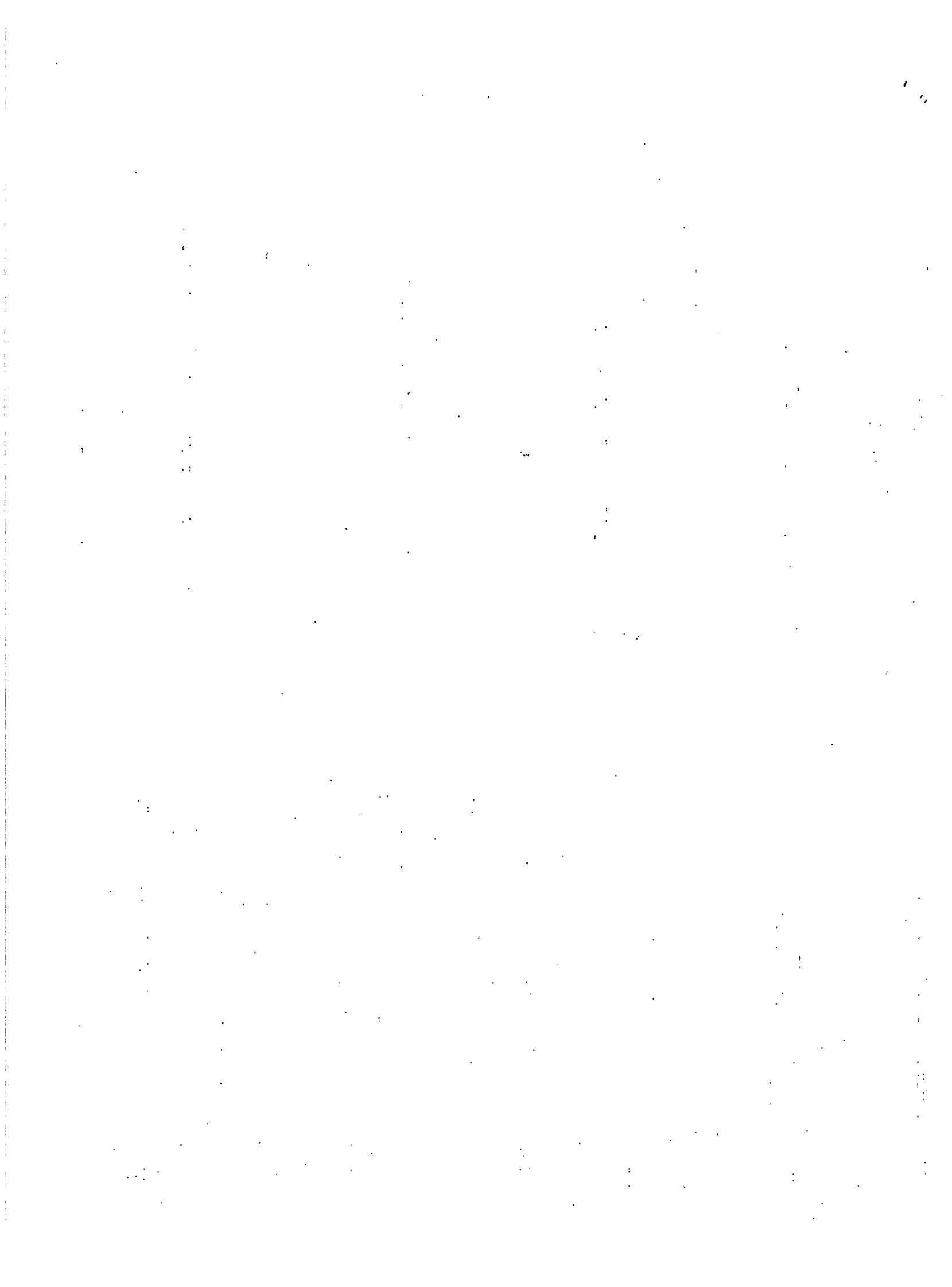
TANK MIX DESIGN #9 (SMALL FIBER)
CUSTOMIZED TANKS:
FOR CUSTOM TANKS CONTACT WIESER CONCRETE

JOB INFORMATION:

CUSTOMER: _____
 JOB NAME: _____
 DATE NEEDED: _____
 APPROVED BY: _____
 APPROVAL DATE: _____

TANKS ARE MANUFACTURED TO MEET OR EXCEED ASTM C-1227 REQUIREMENTS

W5000 SEPTIC MANUAL REVISED JAN. 2010	WIESER CONCRETE W3716 US HWY 10 MAIDEN ROCK, WI 54750 800-325-8456		DRAWN BY: SME	SCALE: 1/4"=1'-0"	PRE-POUR:
			DATE: JANUARY 2010	REV. DATE:	POST-POUR:
SHEET NO. 1 OF 1		FILE: W5000			



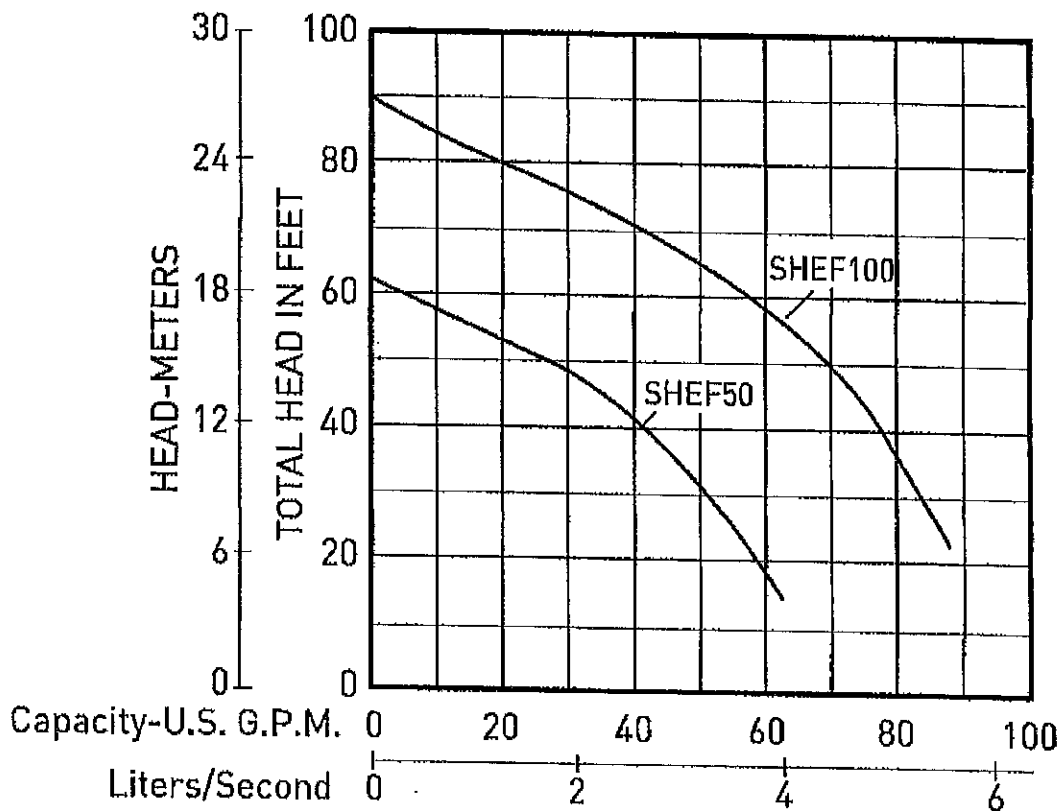
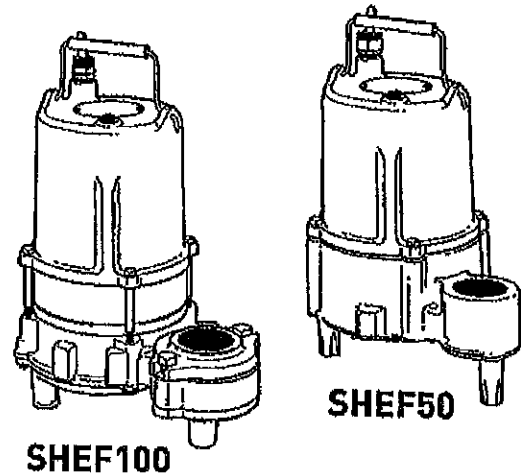
HYDROMATIC®

SHEF50/100

SUBMERSIBLE HIGH HEAD EFFLUENT

PERFORMANCE DATA

Wholesale Products Page: 6370-1
 Dated: January 2001
 RPM: 3450 Discharge: 2" Solids: 3/4"



The curves reflect maximum performance characteristics without exceeding full load (Nameplate) horsepower. All pumps have a service factor of 1.2. Operation is recommended in the bounded area with operational point within the curve limit. Performance curves are based on actual tests with clear water at 70° F. and 1280 feet site elevation.



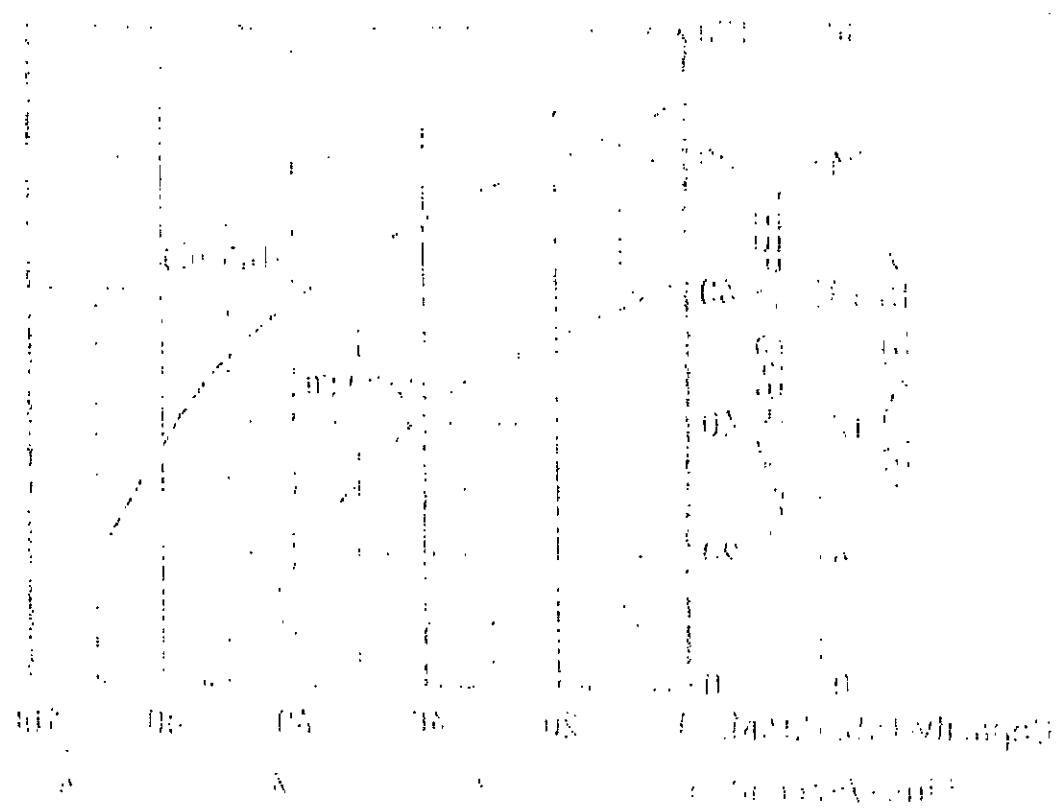
Conditions of Service:

GPM: _____ TDH: _____

1. *Introduction*

The following table shows the results of the experiment. The data is presented in a clear and concise manner, allowing for easy comparison of the different conditions.

2. *Methodology*



The results of the experiment are consistent with the theoretical predictions. The data shows a clear relationship between the variables, and the trends observed in the graphs are well explained by the underlying theory.

HYDROMATIC®

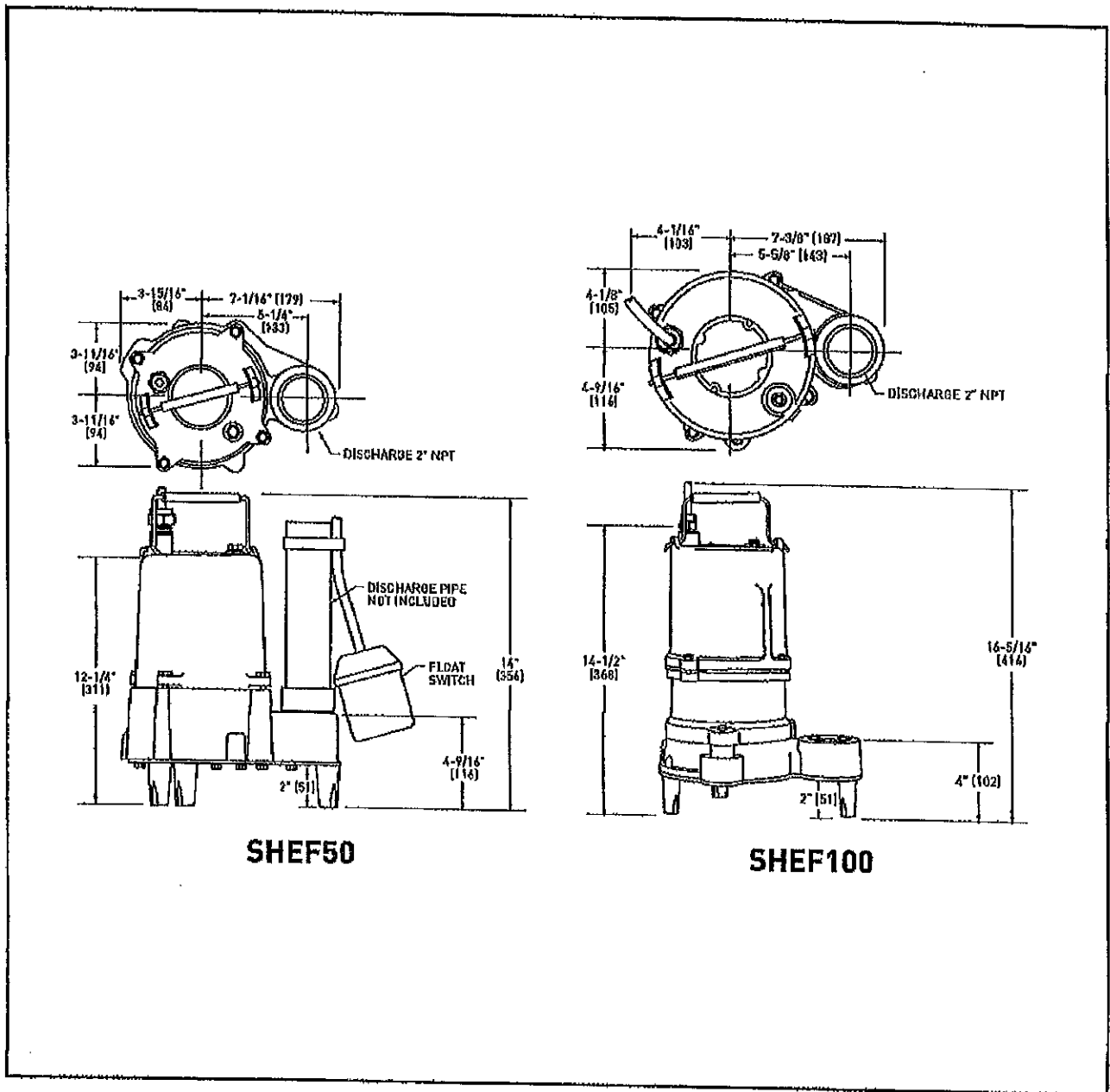
SHEF50/100

SUBMERSIBLE HIGH HEAD EFFLUENT

DIMENSIONAL DATA

Wholesale Products Page: 6370-2

Dated: January 2001

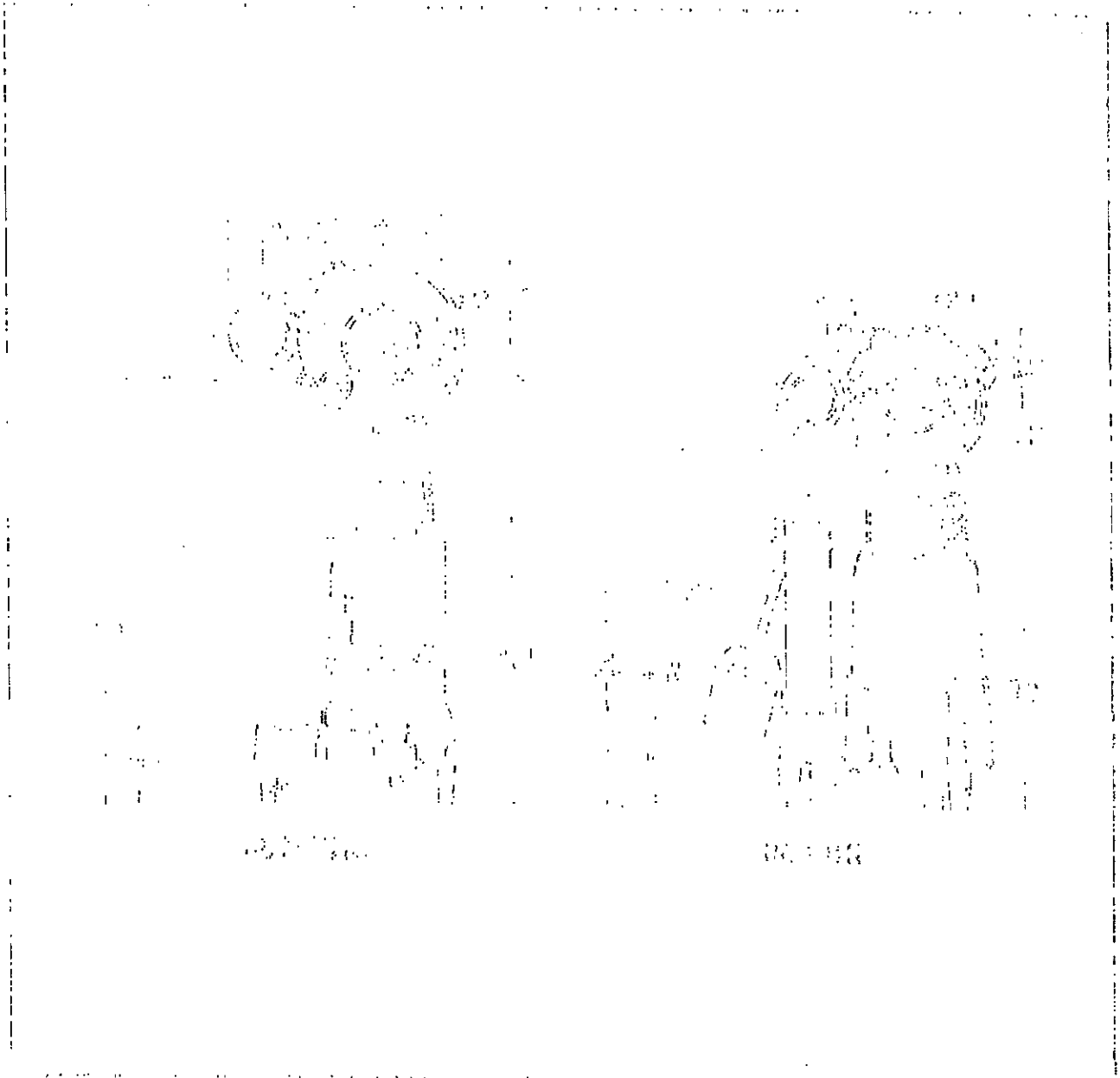


All dimensions in inches. Metric for international use. Component dimensions may vary $\pm 1/8$ inch. Dimensional data not for construction purpose unless certified. Dimensions and weights are approximate. On/Off level adjustable. We reserve the right to make revisions to our product (s) and the product (s) specifications without notice.

1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.

1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.

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DEPARTMENT OF CHEMISTRY
5780 SOUTH CAMPUS DRIVE, CHICAGO, ILL. 60637



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HYDROMATIC®

SHEF50

SUBMERSIBLE HIGH HEAD EFFLUENT

ELECTRICAL DATA

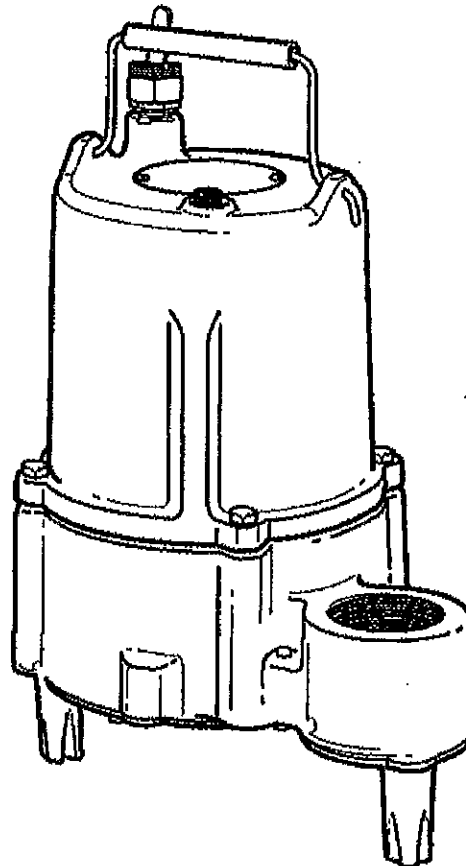
Wholesale Products Page: 6370-3

Dated: January 2001

MODEL: SHEF50

| | |
|-------------------------|---------------------------------------|
| R.P.M. | 3450 |
| MOTOR TYPE | THERMAL OVERLOAD WITH AUTOMATIC RESET |
| MOTOR PROTECTION | AUTOMATIC RESET / THERMAL OVERLOAD |

| HP | VOLTAGE | PHASE | NEC CODE | SERVICE FACTOR | FULL LOAD AMPS |
|-----|---------|-------|----------|----------------|----------------|
| 1/2 | 115 | 1 | - | 1 | 14.5 |
| | 200 | | | | 7.6 |
| | 230 | 3 | | | 3.1 |
| | 460 | | | | 1.6 |
| | 575 | | | | 1.2 |



Sub-Surface Sewage Treatment System Design
Notes & Calculations
7373 120th Street N, Grant, MN

- Verify all drawing dimensions, elevations, property lines, and setbacks to neighboring wells.
- This design is subject to approval by Washington County.
- This design is for a facility that will be hosting wedding receptions. The design flow has been established using estimated design flows for a dining hall under MPCA Rule 7081.0130. It is assumed that the peak wastewater flows will occur on Fridays and Saturdays, with a marginal amount of water use on Thursdays and Sundays. Peak flow is based on 294 guests at 8.5 gallons per guest. Therefore, the flows could peak at 2499 gallons per event, with an average daily flow of 743 gallons per day over the course of a week. Flow equalization has been utilized in this design to average the wastewater flow over the course of a seven day week, and allowing for a significantly smaller and lower cost system.
- It is my understanding that all food preparation will be performed off site and that the majority of the wastewater will be from lavatory use. Waste strength testing must be performed annually to insure that effluent waste strengths do not exceed the requirements of MPCA Rule 7080.4030 treatment level C. Level C is sewage with the strength of a typical residential source.
- If it is found that effluent waste strength exceeds that of treatment level C measures will need to be taken to reduce the effluent waste strength. These measures could involve changing practices within the building or adding pre-treatment components to reduce the waste strength.
- Please be advised that all costs associated with monitoring flow and waste strength, as well as any costs associated with any mitigation required if flows/waste strengths exceed the limits, are the property owners responsibility.

Tanks

- Install three 2,500 gallon septic tanks in series, with an effluent filter and alarm on the outlet of the last septic tank.
- Install one 5,000 gallon surge tank with duplex pumps and time dosing. Each pump should be set to deliver 100 gallons every 6 hours/4 times a day. Therefore, with both pumps, there will be a total of up to 8 pump cycles per day. The pumps should be set to dose at the middle of the other pumps off cycle, which will allow for a pump cycle every 3 hours. Please note that this is delivered volume and not the total dose volume. The exact dose volume will need to be calculated at the time the pump discharge lines are installed. There will be drainback of 0.1743 gallons per foot of 2" dosing pipe. Estimated drainback and dose volumes are attached.
- All tanks must be installed to provide a minimum of three feet of cover over the top of the tanks to prevent the tanks from becoming buoyant. Maximum tank depth is four feet.
- Tank locations shown on the attached drawing are approximate and can be field located to fit site.

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- The location and elevation of the main building drainline will need to be coordinated with the building plumber and septic contractor.
- 10' set-back to property lines, 10' to buildings, 50' from adjacent wells, and 10' from drainage easements.

Mound

- Mound shall be installed in the location shown on the attached drawing, with the upslope edge of the rock bed centered on borings B-2 and B-4.
- Cleanouts must be installed at the end of the mound distribution laterals.
- Drainage must be diverted around/away from the system.
- Set-backs from rock bed and absorption area: 20' to buildings, 30' to property lines, and 50' to water wells.

Special Conditions

- Horse traffic and equipment must be kept off of the mound and the tanks. I recommend fencing off these areas to prevent accidental traffic.
- Contractor shall coordinate entry to property and type of restoration with the owner.
- This design is subject to the attached management plan.

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OSTP Design Summary Worksheet



Property Owner/Client: Project ID: v 06.12.13
 Site Address: 7373 120th Street N, Grant, MN (Wedding Barn) Date: 2/19/14

1. DESIGN FLOW AND TANKS

A. Design Flow: 999 Gallons Per Day (GPD) *Note: The estimated design flow is considered a peak flow rate including a safety factor. For long term performance, the average daily flow is recommended to be < 60% of this value.*

B. Septic Tanks:
 Minimum Code Required Septic Tank Capacity: 7500 Gallons, in 3 Tanks or Compartments
 Recommended Septic Tank Capacity: 7500 Gallons, in 3 Tanks or Compartments
 Effluent Screen: Yes Alarm: Yes

C. Holding Tanks Only:
 Minimum Code Required Capacity: Gallons, in Tanks
 Designer Recommended Capacity: Gallons, in Tanks
 Type of High Level Alarm:

D. Surge Tank 1 Capacity (Code Minimum): 4214 Gallons **Pump Tank 2 Capacity (Code Minimum):** Gallons
Surge Tank 1 Capacity (Designer Rec): 5000 Gallons **Pump Tank 2 Capacity (Designer Rec):** Gallons
 Pump 1 41.0 GPM Total Head 42.8 ft Pump 2 41.0 GPM Total Head 34.8 ft
 Supply Pipe Dia. 2.00 in Dose Volume: 165.0 gal Supply Pipe Dia. 2.00 in Dose Volume: 165.0 gal

2. SYSTEM TYPE

Type of Soil Treatment and Disposal Area:
 Trench Bed Mound Drip Holding Tank At-Grade

Type of Distribution:
 Gravity Distribution Pressure Distribution-Level Pressure Distribution-Unlevel

* Selection Required

Benchmark Elevation: 0.0 ft
 Benchmark Location: Sea Level

Type of Distribution Media:
 Drainfield Rock Registered Treatment Media

System Type:
 Type I Type II Type III Type IV Type V

3. SITE EVALUATION:

A. Depth to Limiting Layer: 28 in 2.3 ft **B.** Measured Land Slope %: 8.0 %
C. Elevation of Limiting Layer: 982.17' **D.** Soil Texture: Fine Sandy Loam
E. Loc. of Restrictive Elevation: B-3 **F.** Soil Hyd. Loading Rate: 0.60 GPD/ft²
G. Minimum Required Separation: 36 in 3.0 ft **H.** Perc Rate: 6.7 MPI
I. Code Maximum Depth of System: Mound in Comments:

4. DESIGN SUMMARY

Trench Design Summary

Dispersal Area ft² Sidewall Depth in Trench Width in
 Total Lineal Feet ft Number of Trenches Code Maximum Trench Depth in
 Contour Loading Rate ft Designer's Max Trench Depth in

Bed Design Summary

Absorption Area ft² Media Below Pipe in Code Maximum Bed Depth in
 Bed Width ft Bed Length ft Designer's Max Bed Depth in

1. The first part of the document discusses the importance of maintaining accurate records of all transactions and activities. It emphasizes that this is essential for ensuring transparency and accountability in the organization's operations.

2. The second part of the document outlines the various methods and tools used to collect and analyze data. It highlights the need for consistent data collection procedures and the use of advanced analytical techniques to derive meaningful insights from the data.

3. The third part of the document focuses on the role of technology in data management and analysis. It discusses how modern software solutions can streamline data collection, storage, and processing, thereby improving efficiency and accuracy.

4. The fourth part of the document addresses the challenges associated with data management, such as data quality, security, and privacy. It provides strategies to mitigate these risks and ensure that data is handled in a responsible and secure manner.

5. The fifth part of the document concludes by summarizing the key findings and recommendations. It stresses the importance of ongoing monitoring and evaluation to ensure that data management practices remain effective and aligned with the organization's goals.



Septic System Management Plan for Below Grade Systems

The goal of a septic system is to protect human health and the environment by properly treating wastewater before returning it to the environment. Your septic system is designed to kill harmful organisms and remove pollutants before the water is recycled back into our lakes, streams and groundwater.

This management plan will identify the operation and maintenance activities necessary to ensure long-term performance of your septic system. Some of these activities must be performed by you, the homeowner. Other tasks must be performed by a licensed septic maintainer or service provider. However, it is YOUR responsibility to make sure all tasks get accomplished in a timely manner.

The University of Minnesota's *Septic System Owner's Guide* contains additional tips and recommendations designed to extend the effective life of your system and save you money over time.

Proper septic system design, installation, operation and maintenance means safe and clean water!

Property Owner

Property Address **7373 120th Street, Grant, MN** Property ID

System Designer **Midwest Soil Testing** Phone **651-492-7550**

System Installer Phone

Service Provider/Maintainer Phone

Permitting Authority **Washington County** Phone **651-430-6676**

Permit # Date Inspected

Keep this Management Plan with your Septic System Owner's Guide. The Septic System Owner's Guide includes a folder to hold maintenance records including pumping, inspection and evaluation reports. Ask your septic professional to also:

- Attach permit information, designer drawings and as-builts of your system, if they are available.
- Keep copies of all pumping records and other maintenance and repair invoices with this document.
- Review this document with your maintenance professional at each visit; discuss any changes in product use, activities, or water-use appliances.

For a copy of the *Septic System Owner's Guide*, call 1-800-876-8636 or go to <http://shop.extension.umn.edu/>

<http://septic.umn.edu>

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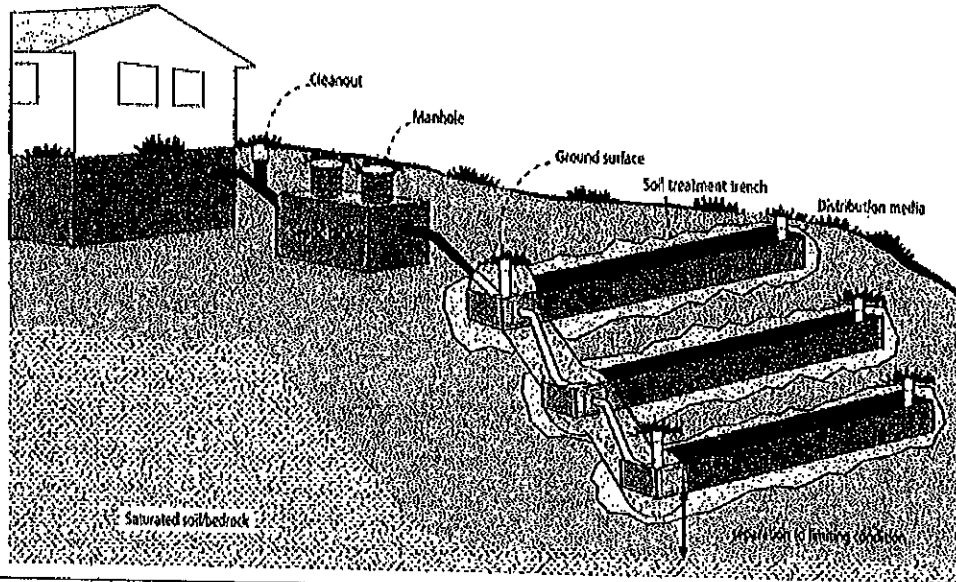
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Your Septic System



Septic System Specifics

System Type: I II III IV* V*
(Based on MN Rules Chapter 7080.2200 - 2400)

System is subject to operating permit*
 System uses UV disinfection unit*
Type of advanced treatment unit _____
*Additional Management Plan required

Dwelling Type

Number of bedrooms: _____
System capacity/ design flow (gpd): 999
Anticipated average daily flow (gpd): <600
Comments _____
Business? What type? Wedding Receptions

Well Construction

Well depth (ft): >50'
 Cased well Casing depth: >50'
 Other (specify): _____
Distance from septic (ft): >50'
Is the well on the design drawing? Y N

Septic Tank

One tank Tank volume: 3-2500 gallons
Does tank have two compartments? Y N
 Two tanks Tank volume: _____ gallons
 Tank is constructed of Concrete
 Effluent Screen type: _____
 Pump Tank (if one) 5000 gallons
 Effluent Pump make/model: _____
Pump capacity 41 GPM
TDH 43 Feet of head
 Alarm location _____

Soil Treatment Area (STA)

Trenches: _____ total lineal feet
Number of trenches: _____ at _____ feet each
STA size (width x length): 43 ft x 130 ft
Location of additional STA: Adjacent To Proposed System
 Gravity distribution Pressure distribution
 Inspection ports Cleanouts
 Additional STA not available



Homeowner Management Tasks

These operation and maintenance activities are your responsibility. Use the chart on page 6 to track your activities.

Identify the service intervals recommended by your system designer and your local government. The tank assessment for your system will be the shortest interval of these three intervals. Your pumper/maintainer will determine if your tank needs to be pumped.

System Designer: check every 12 months
Local Government: check every _____ months
State Requirement: check every 36 months

My tank needs to be checked
every 12 months

Seasonally or several times per year

- **Leaks.** Check (listen, look) for leaks in toilets and dripping faucets. Repair leaks promptly.
- **Surfacing sewage.** Regularly check for wet or spongy soil around your soil treatment area. If surfaced sewage or strong odors are not corrected by pumping the tank or fixing broken caps and leaks, call your service professional. *Untreated sewage may make humans and animals sick.*
- **Alarms.** Alarms signal when there is a problem; contact your maintainer any time the alarm signals.
- **Lint filter.** If you have a lint filter, check for lint buildup and clean when necessary. Consider adding one after washing machine.
- **Effluent screen.** If you do not have one, consider having one installed the next time the tank is cleaned.

Annually

- **Water usage rate.** A water meter can be used to monitor your average daily water use. Compare your water usage rate to the design flow of your system (listed on the next page). Contact your septic professional if your average daily flow over the course of a month exceeds 70% of the design flow for your system.
- **Caps.** Make sure that all caps and lids are intact and in place. Inspect for damaged caps at least every fall. Fix or replace damaged caps before winter to help prevent freezing issues.
- **Water conditioning devices.** See Page 5 for a list of devices. When possible, program the recharge frequency based on *water demand (gallons)* rather than *time (days)*. Recharging too frequently may negatively impact your septic system.
- **Review your water usage rate.** Review the Water Use Appliance chart on Page 5. Discuss any major changes with your pumper/maintainer.

During each visit by a pumper/maintainer

- Ask if your pumper/maintainer is licensed in Minnesota.
- Make sure that your pumper/maintainer services the tank through the manhole. (NOT through a 4" or 6" diameter inspection port.)
- Ask your pumper/maintainer to accomplish the tasks listed on the Professional Tasks on Page 4.

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Professional Management Tasks

These are the operation and maintenance activities that a pumper/maintainer performs to help ensure long-term performance of your system. Professionals should refer to the O/M Manual for detailed checklists for tanks, pumps, alarms and other components. Call 800-322-8642 for more details.

- Written record provided to homeowner after each visit.

Plumbing/Source of Wastewater

- Review the Water Use Appliance Chart on Page 5 with homeowner. Discuss any changes in water use and the impact those changes may have on the septic system.
- Review water usage rates (if available) with homeowner.

Septic Tank/Pump Tanks

- *Manhole lid.* A riser is recommended if the lid is not accessible from the ground surface. Insulate the riser cover for frost protection.
- *Liquid level.* Check to make sure the tank is not leaking. The liquid level should be level with the bottom of the outlet pipe. (If the water level is below the bottom of the outlet pipe, the tank may not be watertight. If the water level is higher than the bottom of the outlet pipe of the tank, the effluent screen may need cleaning, or there may be ponding in the drainfield.)
- *Inspection pipes.* Replace damaged caps.
- *Baffles.* Check to make sure they are in place and attached, and that inlet/outlet baffles are clear of buildup or obstructions.
- *Effluent screen.* Check to make sure it is in place; clean per manufacturer recommendation. Recommend retrofitted installation if one is not present.
- *Alarm.* Verify that the alarm works.
- *Scum and sludge.* Measure scum and sludge in each compartment of each septic and pump tank, pump if needed.

Pump

- *Pump and controls.* Check to make sure the pump and controls are operating correctly.
- *Pump vault.* Check to make sure it is in place; clean per manufacturer recommendations.
- *Alarm.* Verify that the alarm works.
- *Drainback.* Check to make sure it is operating properly.
- *Event counter or run time.* Check to see if there is an event counter or run time log for the pump. If there is one, calculate the water usage rate and compare to the anticipated average daily flow listed on Page 2.

Soil Treatment Area

- *Inspection pipes.* Check to make sure they are properly capped. Replace caps that are damaged.
- *Surfacing of effluent.* Check for surfaced effluent or other signs of problems.
- *Gravity trenches and beds.* Check the number of gravity trenches with ponded effluent. Identify the percentage of the system in use. Determine if action is needed.
- *Pressure trenches and beds - Lateral flushing.* Check lateral distribution; if cleanouts exist, flush and clean as needed.

All other components – inspect as listed here:

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**Water-Use Appliances and
Equipment in the Home**

| Appliance | Impacts on System | Management Tips |
|--|---|---|
| Garbage disposal | <ul style="list-style-type: none"> • Uses additional water. • Adds solids to the tank. • Finely-ground solids may not settle. Unsettled solids can exit the tank and enter the soil treatment area. | <ul style="list-style-type: none"> • Use of a garbage disposal is not recommended. • Minimize garbage disposal use. Compost instead. • To prevent solids from exiting the tank, have your tank pumped more frequently. • Add an effluent screen to your tank. |
| Washing machine | <ul style="list-style-type: none"> • Washing several loads on one day uses a lot of water and may overload your system. • Overloading your system may prevent solids from settling out in the tank. Unsettled solids can exit the tank and enter the soil treatment area. | <ul style="list-style-type: none"> • Choose a front-loader or water-saving top-loader, these units use less water than older models. • Limit the addition of extra solids to your tank by using liquid or easily biodegradable detergents. • Install a lint filter after the washer and an effluent screen to your tank • Wash only full loads. • Limit use of bleach-based detergents. • Think even – spread your laundry loads throughout the week. |
| 2 nd floor laundry | <ul style="list-style-type: none"> • The rapid speed of water entering the tank may reduce performance. | <ul style="list-style-type: none"> • Install an effluent screen in the septic tank to prevent the release of excessive solids to the soil treatment area. • Be sure that you have adequate tank capacity. |
| Dishwasher | <ul style="list-style-type: none"> • Powdered and/or high-phosphorus detergents can negatively impact the performance of your tank and soil treatment area. • New models promote “no scraping”. They have a garbage disposal inside. | <ul style="list-style-type: none"> • Use gel detergents. Powdered detergents may add solids to the tank. • Use detergents that are low or no-phosphorus. • Wash only full loads. • Scrape your dishes anyways to keep undigested solids out of your septic system. |
| Grinder pump (in home) | <ul style="list-style-type: none"> • Finely-ground solids may not settle. Unsettled solids can exit the tank and enter the soil treatment area. | <ul style="list-style-type: none"> • Expand septic tank capacity by a factor of 1.5. • Include pump monitoring in your maintenance schedule to ensure that it is working properly. • Add an effluent screen. |
| Large bathtub (whirlpool) | <ul style="list-style-type: none"> • Large volume of water may overload your system. • Heavy use of bath oils and soaps can impact biological activity in your tank and soil treatment area. | <ul style="list-style-type: none"> • Avoid using other water-use appliances at the same time. For example, don't wash clothes and take a bath at the same time. • Use oils, soaps, and cleaners in the bath or shower sparingly. |
| Clean Water Uses | Impacts on System | Management Tips |
| High-efficiency furnace | <ul style="list-style-type: none"> • Drip may result in frozen pipes during cold weather. | <ul style="list-style-type: none"> • Re-route water into a sump pump or directly out of the house. Do not route furnace recharge to your septic system. |
| Water softener
Iron filter
Reverse osmosis | <ul style="list-style-type: none"> • Salt in recharge water may affect system performance. • Recharge water may hydraulically overload the system. | <ul style="list-style-type: none"> • These sources produce water that is not sewage and should not go into your septic system. • Reroute water from these sources to another outlet, such as a dry well, draitile or old drainfield. |
| Surface drainage
Footing drains | <ul style="list-style-type: none"> • Water from these sources will likely overload the system. | <ul style="list-style-type: none"> • When replacing, consider using a demand-based recharge vs. a time-based recharge. • Check valves to ensure proper operation; have unit serviced per manufacturer directions |

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Maintenance Log

Track maintenance activities here for easy reference. See list of management tasks on pages 3 and 4.

| Activity | Date accomplished | | | | | | | | | |
|--|-------------------|--|--|--|--|--|--|--|--|--|
| <i>Check frequently:</i> | | | | | | | | | | |
| Leaks: check for plumbing leaks | | | | | | | | | | |
| Soil treatment area check for surfacing | | | | | | | | | | |
| Lint filter: check, clean if needed | | | | | | | | | | |
| Effluent screen: if owner-maintained | | | | | | | | | | |
| <i>Check annually:</i> | | | | | | | | | | |
| Water usage rate (monitor frequency <u>monthly</u>) | | | | | | | | | | |
| Caps: inspect, replace if needed | | | | | | | | | | |
| Water use appliances – review use | | | | | | | | | | |
| Other: Monitor Waste Strength | | | | | | | | | | |

Notes: _____

Mitigation/corrective action plan: Add pretreatment and/or increase system size.

"As the owner of this SSTS, I understand it is my responsibility to properly operate and maintain the sewage treatment system on this property, utilizing the Management Plan. If requirements in this Management Plan are not met, I will promptly notify the permitting authority and take necessary corrective actions. If I have a new system, I agree to adequately protect the reserve area for future use as a soil treatment system."

Property Owner Signature: _____ Date _____

Management Plan Prepared By: Brian Humpal Certification # L2896

Permitting Authority: _____

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SEPTIC PERMIT APPLICATION

2014

Washington County Department of Public Health & Environment
14949-62nd St N, P.O. Box 6, Stillwater MN 55082-0006
651.430.6655 FAX: 651.430.6730

PERMIT NUMBER
2700-14-1

PROPERTY & APPLICANT INFORMATION

PROPERTY ADDRESS: **7373 120th St. N Grant, MN 55110** GEOCODE: **05 030 21 21 0005**

USE OF BUILDING: SINGLE FAMILY HOME NON-SINGLE FAMILY APPLICATION TYPE: NEW REPLACEMENT

APPLICANT
NAME(S) **Sara Ketznerberg** ADDRESS **12941 22nd St. S.** PHONE NUMBER(S) **651-436-3699**
Afton Architects + Planners CITY **Afton MN** ZIP **55001**
OWNER (IF DIFFERENT FROM APPLICANT)

NAME(S) **Scott Jordan** ADDRESS **7373 120th St. N.** PHONE NUMBER(S) **651-305-0256**
Delwood Barn Weddings CITY **Grant, MN** ZIP **55110**
612-282-2723

SYSTEM TYPE

- TYPE I SYSTEM (Trenches, Pressure Bed, Mound, At-Grade) TYPE II SYSTEM (Floodplain, Holding Tanks, Privy) TYPE III SYSTEM
- TYPE IV SYSTEM (System using Registered Products) TYPE V SYSTEM MSTs (>5,000 GPD) LOT SPLIT
- DRAINFIELD PRESSURE BED MOUND AT-GRADE TANK REPLACEMENT SUBDIVISION REVIEW

FEE SCHEDULE - 2014

INSTALLATION PERMITS

SOIL/SITE REVIEW APPLICATION FEE \$290
*This fee does not apply to: Reissuance of Expired Permits, Tank Replacement, Lot Split or Subdivision Approval, or System Abandonment Permits APPLICATION FEE: **\$290.00**

PERMIT FEE - PRIVY OR HOLDING TANK \$120
 PERMIT FEE - DRAINFIELD OR PRESSURE BED \$305
 PERMIT FEE - MOUND OR AT-GRADE \$485
 PERMIT FEE - NON SINGLE FAMILY
 1-500 GALLONS PER DAY
 501-1000 GALLONS PER DAY \$875
 1001-5000 GALLONS PER DAY \$1,100
 5001-999 GALLONS PER DAY \$1,300
 10,000 GALLONS PER DAY OR GREATER

RECEIVED

FEB 24 2014



PERMIT FEE: **\$875.00**

PUBLIC HEALTH

PERMIT FEE - HOLDING TANK REPLACEMENT (NO SOIL TEST/SITE REVIEW) \$120
 PERMIT FEE - SYSTEM REPAIR \$120
 PERMIT FEE - SYSTEM ABANDONMENT \$120
 PERMIT FEE - REISSUANCE OF EXPIRED PERMIT \$120
 50% of permit fee (does not include initial soil/site review fee)

Make Checks Payable to WASHINGTON COUNTY

TOTAL PERMIT FEE - APPLICATION FEE + PERMIT FEE: **\$1165.00**

SUBDIVISION PERMITS

SUBDIVISION SOIL/SITE REVIEW-APPLICATION FEE \$205 + \$85 PER LOT SUBDIVISION REVIEW BASE FEE: _____
 LOT SPLIT APPROVAL \$205 + \$85 PER LOT
 LOTS: _____ X \$85 PER LOT

Make Checks Payable to WASHINGTON COUNTY

TOTAL SUBDIVISION REVIEW OR LOT SPLIT APPROVAL FEE: _____

The following exhibits are required as part of the application and shall be attached hereto: Percolation Test Reports; Soil Boring Logs; Site Plan drawn to scale showing location of buildings, lot lines, percolation test holes, soil boring holes, proposed location of system and location of well(s); one (1) copy of the System Design; and one (1) copy of the Final Building Plan. The house and drainfield areas must be staked. Inaccurate or incomplete information will result in delays in processing.

AGREEMENT: The undersigned hereby makes Application for Permit to Install or Extend the Sewage Treatment System herein specified, agreeing that all work shall be done in strict accordance with ordinances and regulations of the County of Washington, Minnesota. Applicant agrees that the Site Plan, Sketches, and Design submitted herewith, and which are reviewed by Washington County, together with any requirements and/or restrictions made necessary by conditions peculiar to a particular location, shall become part of the permit. Applicant further agrees to provide access, at reasonable times, to Washington County for the purpose of performing inspections required and that no part of the system shall be covered until it has been inspected and accepted. APPLICATION IS FOR AN INSTALLATION AT A SPECIFIC LOCATION; ANY DEVIATION FROM THE APPROVED LOCATION WILL VOID THE PERMIT. It shall be the responsibility of the applicant for the permit to notify the Office of the Washington County Department of Public Health & Environment that the installation is ready for inspection.

PERMITS WILL NOT BE ISSUED ONCE FROZEN GROUND CONDITIONS EXIST due to the inability to conduct soil reviews unless arrangements are made BY THE APPLICANT to provide a backhoe, geo-probe, or any other device that can penetrate the frozen soil to allow Washington County to conduct a soil review. In accordance with Minnesota Statute 15.99, Subdivision 2, Washington County has up to SIXTY (60) DAYS to review and approve or deny the permit application.

I hereby certify the above to be true and correct. I hereby give the Washington County Department of Public Health & Environment permission to enter upon my property during normal business hours for the purpose of determining the suitability of the location, design, and construction, which may include minor excavations or soil borings by the Department.

Sara Ketznerberg

Signature of Applicant (Owner An Equal Opportunity/Affirmative Action Employer)

2/24/2014

Date

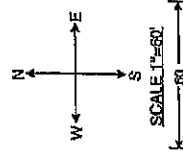
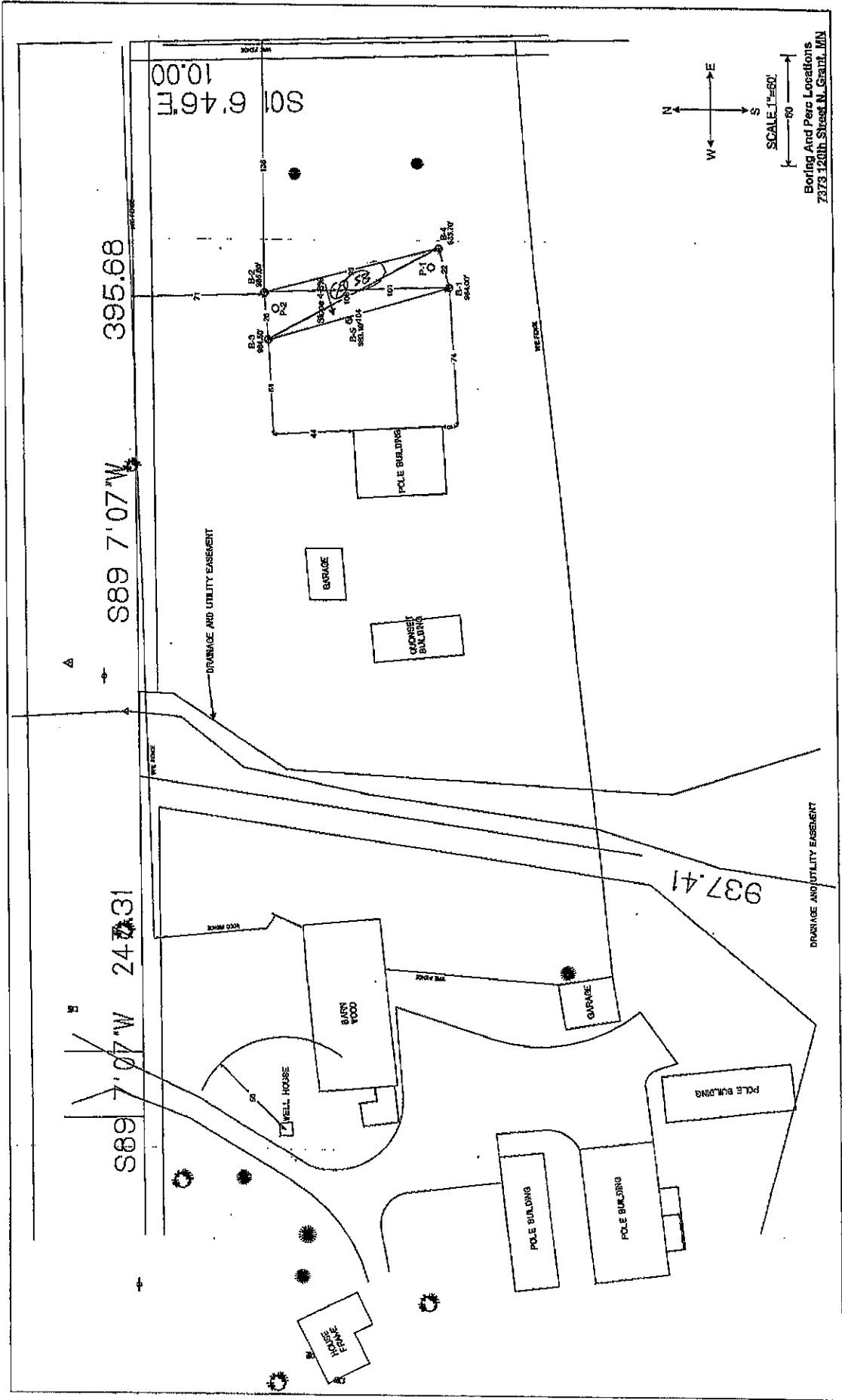
THE UNIVERSITY OF CHICAGO
DEPARTMENT OF CHEMISTRY
5301 S. UNIVERSITY AVENUE
CHICAGO, ILLINOIS 60637
TEL: 773-936-3700

PROF. J. H. HARRIS
1115 S. UNIVERSITY AVENUE
CHICAGO, ILLINOIS 60637
TEL: 773-936-3700

CHICAGO, ILLINOIS 60637
TEL: 773-936-3700

CHICAGO, ILLINOIS 60637
TEL: 773-936-3700

CHICAGO, ILLINOIS 60637
TEL: 773-936-3700



Borling And Perc Locations
 7373 120th Street N. Grant, MN

UNIVERSITY OF MINNESOTA

Onsite Sewage Treatment Program Soil Observation Log

Date: 4/18/14

Client/ Address: 7373 120th St

Legal Description/GPS:

Soil Parent Material(s): OT Outwash over till Lacustrine Alluvium Loess Organic Matter Bedrock

Soil Survey Map Unit(s): Back Side Slope Slope Shape: Slope (%):

Vegetation: Shoulder Foot Slope Toe Slope Aspen 732 Elevation:

Weather conditions/Time of Day: Sunny 60° Observation #/Location/Method:

| Depth (in) | Texture | Rock Frag % | Matrix Color(s) | Mottle Color(s) | Redox Kind(s) | Saturated Soil Indicator(s) (see back) | Structure Shape | Structure Grade | Consistence |
|------------|---------------------------------|-------------|-----------------|-----------------|----------------------------------|--|---|----------------------------|--|
| 0-10 | Sandy loam | n.c. | 10 3/3 | | Concentrations Depletions Gleyed | | Granular <u>blocky</u> prismatic single grain massive | Weak Moderate Strong Loose | Loose <u>friable</u> Firm Extremely Firm Rigid |
| 10-18 | Sandy loam | S Est | 10 3/4 | | Concentrations Depletions Gleyed | | Granular <u>blocky</u> prismatic single grain massive | Weak Moderate Strong Loose | Loose <u>friable</u> Firm Extremely Firm Rigid |
| 18-20 | Sandy loam <u>Basal Horizon</u> | S Est | 10 3/3 | | Concentrations Depletions Gleyed | | Granular <u>blocky</u> prismatic single grain massive | Weak Moderate Strong Loose | Loose <u>friable</u> Firm Extremely Firm Rigid |
| 20-36 | Clay loam | 15 Est | 10 4/4 | | Concentrations Depletions Gleyed | 36 <u>massive</u> <u>afsc</u> | Granular <u>blocky</u> prismatic single grain massive | Weak Moderate Strong Loose | Loose <u>friable</u> Firm Extremely Firm Rigid |

Comments: 20-36 notified & missed at 36"

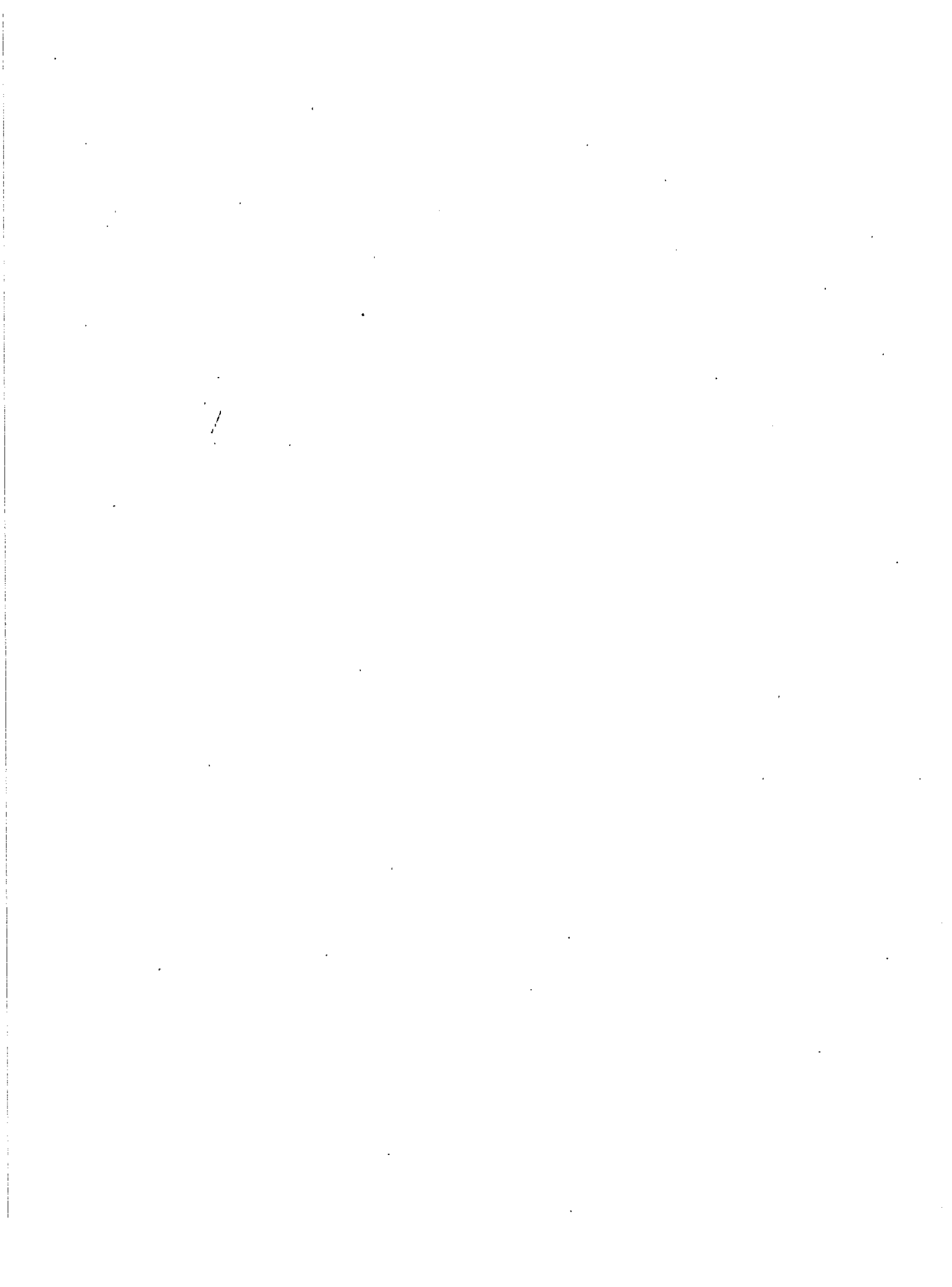
Certified Statement: I hereby certify that I have completed this work in accordance with all applicable ordinances, rules and laws.

Designer

Signature

License #

Date



Log Of Soil Borings

| Location of Project: | | 7373 120th Street N, Hugo, MN 55110 | |
|---|---------|---|---------|
| Borings Made By: | | Midwest Soil Testing | |
| Auger Used: | | Hand/Bucket/Geoprobe | |
| Boring Number: | | 1 | |
| Classification System: | | USDA | |
| Date: | | 2/12/14 & 2/13/14 | |
| Surface Elevation of Boring | 984.0' | Surface Elevation of Boring | 985.60' |
| Depth In Inches | 0-25 | Depth In Inches | 0-10 |
| Soils Encountered | | Soils Encountered | |
| 10YR 3/3 Loamy Fine Sand
7.5YR 2.5/2 Loam
7.5YR 2.5/3 Loam
10YR 3/6 Silt Loam With
Trace Of Redox
Refusal At 47" | | 10YR 3/3 Fine Sandy Loam With
Trace Of Gravel
10YR 3/4 Loamy Fine Sand & Gravel
10YR 4/4 Very Fine Sandy Loam With
Trace Of Gravel And
5YR 5/8 & 5YR 4/6 Redox
Refusal At 40" | |
| End Of Boring At: | 47" | End Of Boring At: | 40" |
| Redox Present At: | 41" | Redox Present At: | 31" |
| Standing Water Present At: | None | Standing Water Present At: | None |
| Boring Number: | 3 | Boring Number: | 4 |
| Surface Elevation of Boring | 984.50' | Surface Elevation of Boring | 985.70' |
| Depth In Inches | 0-10 | Depth In Inches | 0-30 |
| Soils Encountered | | Soils Encountered | |
| 2.5/3 Fine Sandy Loam
10YR 4/4 Loamy Fine Sand & Gravel
10YR 4/4 Silt Loam With
5YR 5/8 Redox | | 10YR 3/3 Fine Sandy Loam
10YR 3/3 Loam
10YR 4/4 Clay Loam With
Silt Coatings On Soil Peds
10YR 4/4 Clay Loam With
Silt Coatings On Soil Peds &
Few 5YR 5/8 Redox | |
| End Of Boring At: | 40" | End Of Boring At: | 66" |
| Redox Present At: | 28" | Redox Present At: | 59" |
| Standing Water Present At: | None | Standing Water Present At: | None |

THE UNIVERSITY OF CHICAGO
DEPARTMENT OF CHEMISTRY
5700 S. UNIVERSITY AVENUE
CHICAGO, ILLINOIS 60637

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DEPARTMENT OF CHEMISTRY
5700 S. UNIVERSITY AVENUE
CHICAGO, ILLINOIS 60637

Log Of Soil Borings

| Location of Project: 7373 120th Street N, Hugo, MN 55110 | | Borings Made By: Midwest Soil Testing | | Auger Used: Hand/Bucket | | Classification System: USDA | | Date: 2/13/14 | | Boring Number: 5 | |
|--|--|---------------------------------------|--|---|--|---------------------------------|--|-------------------|--|------------------|--|
| Surface Elevation of Boring | | Surface Elevation of Boring | | Soils Encountered | | Depth In Inches | | Soils Encountered | | Depth In Inches | |
| 983.1 | | 983.1 | | 7.5YR 2.5/2 Loam
10YR 3/6 Very Fine Loamy Sand & Gravel
10YR 4/4 Sandy Clay Loam With
Silt Coatings On Soil Peds & Iron Nodules
38-50
24-38
10YR 4/4 Sandy Clay Loam With
Silt Coatings On Soil Peds & Iron Nodules
50-60 | | 0-24
24-38
38-50
50-60 | | Soils Encountered | | Depth In Inches | |
| Boring Number: | | Boring Number: | | Soils Encountered | | Depth In Inches | | Soils Encountered | | Depth In Inches | |
| End Of Boring At: 60" | | End Of Boring At: 60" | | Soils Encountered | | Depth In Inches | | Soils Encountered | | Depth In Inches | |
| Redox Present At: | | Redox Present At: | | Soils Encountered | | Depth In Inches | | Soils Encountered | | Depth In Inches | |
| Standing Water Present At: | | Standing Water Present At: | | Soils Encountered | | Depth In Inches | | Soils Encountered | | Depth In Inches | |
| End Of Boring At: | | End Of Boring At: | | Soils Encountered | | Depth In Inches | | Soils Encountered | | Depth In Inches | |
| Redox Present At: | | Redox Present At: | | Soils Encountered | | Depth In Inches | | Soils Encountered | | Depth In Inches | |
| Standing Water Present At: | | Standing Water Present At: | | Soils Encountered | | Depth In Inches | | Soils Encountered | | Depth In Inches | |

1. The first part of the document discusses the importance of maintaining accurate records of all transactions.

2. The second part of the document discusses the importance of maintaining accurate records of all transactions.

3. The third part of the document discusses the importance of maintaining accurate records of all transactions.

4. The fourth part of the document discusses the importance of maintaining accurate records of all transactions.

5. The fifth part of the document discusses the importance of maintaining accurate records of all transactions.

6. The sixth part of the document discusses the importance of maintaining accurate records of all transactions.

7. The seventh part of the document discusses the importance of maintaining accurate records of all transactions.

8. The eighth part of the document discusses the importance of maintaining accurate records of all transactions.

9. The ninth part of the document discusses the importance of maintaining accurate records of all transactions.

10. The tenth part of the document discusses the importance of maintaining accurate records of all transactions.

11. The eleventh part of the document discusses the importance of maintaining accurate records of all transactions.

12. The twelfth part of the document discusses the importance of maintaining accurate records of all transactions.

PERCOLATION TEST DATA SHEET

Company Name Midwest Soil Testing License Number L2898

Percolation Test Performed by Midwest Soil Testing

Homeowner Name _____

Address 7373 120th Street N

Test Hole # P-1 Diameter of hole 8 inches

Method of scratching sidewall Board with nails

Depth to bottom of hole 12 inches

Date pres soak started 2/12/14

Depth of initial water filling 12 inches

Method used to maintain 12" of water depth in hole for 4 hours Re-Fill

Date perc readings conducted 2/13/14

Maximum depth above hole bottom during test 8 inches

Directions: Enter elapsed time and drop in water level and the rest will be calculated

| # | Elapsed Time (min) | Time Interval (min) | Drop in Water Level (inches) | Percolation Rate (in/hr) | % Difference | 10% Goal Reached |
|---|--------------------|---------------------|------------------------------|--------------------------|--------------|------------------|
| 1 | 15 | 15 | 2.13 | 8.5 | NA | NA |
| 2 | 30 | 15 | 2.83 | 6.7 | 18.8 | NO |
| 3 | 45 | 15 | 2.38 | 6.3 | 10.7 | NO |
| 4 | 60 | 15 | 2.44 | 6.2 | 2.6 | YES |
| 5 | 75 | 15 | 2.25 | 6.7 | 8.3 | YES |
| 6 | 90 | 15 | 2.38 | 6.3 | 5.6 | YES |
| 7 | 0 | 0 | 0.0 | 0.0 | 0.0 | 0 |
| 8 | 0 | 0 | 0.0 | 0.0 | 0.0 | 0 |

* 3 consecutive percolation rates must be within 10% or less of each other

AVERAGE PERC RATE = 6.4 MPI

1. The first part of the document discusses the importance of maintaining accurate records of all transactions and activities. It emphasizes that this is crucial for ensuring transparency and accountability in the organization's operations.

2. The second part of the document outlines the various methods and tools used to collect and analyze data. It highlights the need for consistent data collection procedures and the use of advanced analytical techniques to derive meaningful insights from the data.

3. The third part of the document focuses on the implementation of data-driven decision-making processes. It discusses how the collected data is used to identify trends, assess risks, and make strategic decisions that align with the organization's goals.

4. The fourth part of the document addresses the challenges associated with data management and analysis. It identifies common issues such as data quality, integration, and security, and provides strategies to overcome these challenges.

5. The fifth part of the document discusses the role of technology in data management. It explores how modern data management systems and tools can streamline processes and improve the efficiency of data collection and analysis.

6. The final part of the document provides a summary of the key findings and recommendations. It emphasizes the importance of a data-driven approach and offers practical advice for organizations looking to optimize their data management practices.

PERCOLATION TEST DATA SHEET

Company Name Midwest Soil Testing License Number L2896
 Percolation Test Performed by Midwest Soil Testing
 Homeowner Name _____
 Address 7373 120th Street N
 Test Hole # P-2 Diameter of hole 6 inches
 Method of scratching sidewall Board with nails
 Depth to bottom of hole 12 inches Depth of gravel at bottom 2 inches
 Date presoak started 2/12/14 Starting at 2:30 PM
 Depth of initial water filling 12 above hole bottom
 Method used to maintain 12" of water depth in hole for 4 hours Re-Fill
 Date perc readings conducted 2/13/14 Starting at 10:06 AM
 Maximum depth above hole bottom during test 8 inches

Directions: Enter elapsed time and drop in water level and the rest will be calculated

| # | Elapsed Time (min) | Time Interval (min) | Drop in Water Level (inches) | Percolation Rate (mpi) | % Difference | 10% Goal Reached* |
|---|--------------------|---------------------|------------------------------|------------------------|--------------|-------------------|
| 1 | 15 | 15 | 3.00 | 5.0 | NA | NA |
| 2 | 30 | 15 | 2.83 | 5.7 | 14.1 | NO |
| 3 | 45 | 15 | 2.98 | 6.3 | 10.5 | NO |
| 4 | 60 | 15 | 2.25 | 6.7 | 5.8 | YES |
| 5 | 75 | 15 | 2.25 | 6.7 | 0.0 | YES |
| 6 | 90 | 15 | 2.19 | 6.8 | 2.7 | YES |
| 7 | | 0 | | 0.0 | 0.0 | 0 |
| 8 | | 0 | | 0.0 | 0.0 | 0 |

* 3 consecutive percolation rates must be within 10% or less of each other

AVERAGE PERC RATE = 6.7 MPI

The following table shows the results of the analysis of variance for the effect of the treatment on the response variable. The data are presented in the following table:

| Treatment | Response Variable | Mean | Standard Deviation |
|--------------|-------------------|------|--------------------|
| Control | Yield | 1.2 | 0.3 |
| Treatment 1 | Yield | 1.5 | 0.4 |
| Treatment 2 | Yield | 1.8 | 0.5 |
| Treatment 3 | Yield | 2.1 | 0.6 |
| Treatment 4 | Yield | 2.4 | 0.7 |
| Treatment 5 | Yield | 2.7 | 0.8 |
| Treatment 6 | Yield | 3.0 | 0.9 |
| Treatment 7 | Yield | 3.3 | 1.0 |
| Treatment 8 | Yield | 3.6 | 1.1 |
| Treatment 9 | Yield | 3.9 | 1.2 |
| Treatment 10 | Yield | 4.2 | 1.3 |

The results show that the treatment has a significant effect on the response variable. The mean yield increases from 1.2 for the control to 4.2 for the highest treatment level. The standard deviation also increases, indicating greater variability in the response variable as the treatment level increases.

The following table shows the results of the analysis of variance for the effect of the treatment on the response variable. The data are presented in the following table:

| Treatment | Response Variable | Mean | Standard Deviation |
|--------------|-------------------|------|--------------------|
| Control | Yield | 1.2 | 0.3 |
| Treatment 1 | Yield | 1.5 | 0.4 |
| Treatment 2 | Yield | 1.8 | 0.5 |
| Treatment 3 | Yield | 2.1 | 0.6 |
| Treatment 4 | Yield | 2.4 | 0.7 |
| Treatment 5 | Yield | 2.7 | 0.8 |
| Treatment 6 | Yield | 3.0 | 0.9 |
| Treatment 7 | Yield | 3.3 | 1.0 |
| Treatment 8 | Yield | 3.6 | 1.1 |
| Treatment 9 | Yield | 3.9 | 1.2 |
| Treatment 10 | Yield | 4.2 | 1.3 |

The results show that the treatment has a significant effect on the response variable. The mean yield increases from 1.2 for the control to 4.2 for the highest treatment level. The standard deviation also increases, indicating greater variability in the response variable as the treatment level increases.

The following table shows the results of the analysis of variance for the effect of the treatment on the response variable. The data are presented in the following table:

**CITY OF GRANT, MINNESOTA
RESOLUTION NO. 2014-11**

**RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR
7373 120TH STREET NORTH
(DELLWOOD BARN WEDDINGS)**

WHEREAS, Scott Jordan on behalf of Dellwood Barn Weddings (“Applicant”) has submitted an application for a Conditional Use Permit to renovate an existing barn on the subject property for purposes of running a seasonal Rural Event Facility to be located at 7373 120th Street North in the City of Grant, Minnesota; and

WHEREAS, the site has an existing historic barn on the property which is an accessory building to the Applicant’s principal use of the property for residential uses; and

WHEREAS, the City Council has considered the Applicant’s request at a duly noticed Public Hearing which took place on April 1, 2014 and subsequently considered the application on May 1, 2014.

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRANT, WASHINGTON COUNTY, MINNESOTA, that it does hereby approve the request of Scott Jordan of Dellwood Barn Weddings for a Conditional Use Permit, based upon the following findings pursuant to Section 32-147 of the City’s Zoning Ordinance which provides that a Conditional Use Permit may be granted “if the applicant has proven to a reasonable degree of certainty” that specific standards are met. The City Council’s Findings relating to the standards are as follows:

- The use is designated in Section 32-245, table of uses, as a conditional use for the Agricultural A1 zoning district.
- The use conforms to the city’s comprehensive plan, and maintains large lot sizes in compliance with the guided land used designation.
- The use will not be detrimental to or endanger the public health, safety or general welfare of the city, its residents, or the existing neighborhood if conditions of the permit are met.

- The use meets conditions or standards adopted by the city (through resolutions or other ordinances).
- The use will not create additional requirements for facilities and services at public cost beyond the city's normal low density residential and agricultural uses.
- The use will not result in the destruction, loss or damage of natural, scenic, or historic features of importance.
- The use will not increase flood potential or create additional water runoff onto surrounding properties.

FURTHER BE IT RESOLVED, that the following conditions of approval of the Conditional Use Permit shall be met:

1. The Dellwood Wedding Barn shall be permitted to operate seasonally from May 1st through October 31st of each year.
2. The Business shall be permitted to conduct no more than three (3) events per week from the Barn.
3. The maximum occupancy of the facility shall be limited to 253 persons, to include all event staff, caterers, musicians, etc., or anyone onsite for the duration of an event.
4. The Hours of Operation, defined as actual event time, shall be limited to the following:
 - a. Monday through Thursday: 11 AM to 2 PM
 - b. Friday and Saturday: 1:00 PM to 11:00 PM, where the site shall be fully vacated and dark by 11:00 PM.
 - c. No events shall be permitted on Sundays
 - d. Staff, caterers, deliveries, musician setup and other support activities shall not be subject to the hours of operations, but may not begin prior to 9:00 AM, and must cease by 12:00 AM daily.
5. All recorded music (i.e. DJ, iPod mix, etc.) shall only be permitted within the barn and may not exceed 85 decibels.
6. The barn doors on the north façade shall be secured and closed no later than 10 pm during any event.
7. No amplification of live music shall be permitted.
8. Installation of egress doors shall be relocated to the south side of the barn, and no additional accesses on the north side shall be permitted. A revised elevation of the north and south side shall be submitted for review and approval.
9. A row of evergreen trees shall be planted on the north side of the barn to offer additional sound mitigation for times when the barn doors are open.
10. The site plan shall be updated to remove the Informal Gathering Space and Tent area from the north side of the Barn.
11. A sign shall be posted at each door of the facility indicating patrons should be considerate of the neighbors and to go to their cars expeditiously and quietly.

12. An updated lighting plan including specification sheet of proposed fixture, locations, and photometric plan shall be submitted for review and approval.
13. Revisions to the parking lot design must be completed and submitted to the City Engineer for review and approval prior to any construction occurring.
14. A dust control plan shall be established and submitted to the City Engineer for review and approval.
15. The City Engineer's recommendations and conditions shall be addressed, and updated plans reflecting necessary changes submitted for review and approval prior to any site grading or improvements.
16. A parking attendant shall be required to be present beginning an hour prior to any events and must remain on the premise throughout the event.
17. All access and driveway permits shall be obtained from Washington County prior to commencing operations.
18. All necessary permits and approvals from RCWD shall be obtained prior to issuance of a grading or building permit for construction of the parking lot.
19. Installation of the septic system shall be completed in compliance Washington County standards and the permit dated 4/14/2014 prior to hosting any events.
20. The Parking lot, including installation of the ADA parking stalls shall be constructed prior to hosting any events.
21. Any future signage onsite may not be illuminated and shall meet the City's ordinances and regulations in place at time of proposal.
22. A building permit shall be obtained prior to commencing any renovations on the proposed facility (Wedding Barn).
23. All proposed renovations, as depicted in the submitted plan set and any revisions stated within these conditions, shall be completed prior to hosting any events at the facility.
24. All vendors, including food and beverage, shall be licensed within Washington County prior to serving at any event.
25. An off-duty officer shall be onsite during all events from 8 PM until 12 AM
26. All work shall be done in compliance with the directions of the RCWD, the MPCA, Department of Health or any governmental or regulatory agency having jurisdiction over the site.
27. No structures or improvements shall be constructed in areas identified with an easement.
28. All escrow amounts shall be brought up to date and kept current.
29. This permit shall be reviewed on an annual basis.
30. Any violation of the conditions of this permit shall result in the revocation of said permit.
31. Any change in use, building, outdoor gathering areas, lighting, parking, storage, screening, traffic circulation shall require an amendment to the Conditional Use Permit.
32. All work shall be done in compliance with the directions of the RCWD, the MPCA, Department of Health or any governmental or regulatory agency having jurisdiction over the site.

- 33. No structures or improvements shall be constructed in areas identified with an easement.
- 34. All escrow amounts shall be brought up to date and kept current.
- 35. This permit shall be reviewed on an annual basis.
- 36. Any violation of the conditions of this permit shall result in the revocation of said permit.
- 37. Any change in use, building, outdoor gathering areas, lighting, parking, storage, screening, traffic circulation shall require an amendment to the Conditional Use Permit.

Adopted by the Grant City Council this 1st day of May, 2014.

Tom Carr, Mayor

State of Minnesota)
) ss.
County of Washington)

I, the undersigned, being the duly qualified and appointed Clerk of the City of Grant, Minnesota do hereby certify that I have carefully compared the foregoing resolution adopted at a meeting of the Grant City Council on _____, 2014 with the original thereof on file in my office and the same is a full, true and complete transcript thereof.

Witness my hand as such City Clerk and the corporate seal of the City of Grant, Washington County, Minnesota this _____ day of _____, 2014.

Kim Points
Clerk
City of Grant

**DELLWOOD BARN WEDDINGS
CONDITIONAL USE PERMIT
CITY OF GRANT**

#

PROPERTY OWNER/APPLICANT: Scott Jordan

GENERAL LEGAL DESCRIPTION: See Attached Site Plan
PID 0503021210005
PID 0503021210004

ADDRESS: 7373 120th Street North
Grant, MN 55110

This is a Conditional Use Permit to allow for the development of a Rural Event Facility hereafter named "Dellwood Wedding Barn." The Dellwood Wedding Barn will operate from an existing barn on the subject site that will be renovated for compliance with commercial building code standards. Any additional product lines or expansions of the business shall require an amendment to this Conditional Use Permit.

All uses shall be subject to the following conditions and/or restrictions imposed by the City Council, City of Grant, Washington County, Minnesota, in addition to all previous permits and applicable ordinances, statutes or other laws in force within the City:

1. The Dellwood Wedding Barn shall be permitted to operate seasonally from May 1st through October 31st of each year.
2. The Business shall be permitted to conduct no more than three (3) events per week from the Barn.
3. The maximum occupancy of the facility shall be limited to 253 persons, to include all event staff, caterers, musicians, etc., or anyone onsite for the duration of an event.
4. The Hours of Operation, defined as actual event time, shall be limited to the following:
 - a. Monday through Thursday: 11 AM to 2 PM
 - b. Friday and Saturday: 1:00 PM to 11:00 PM, where the site shall be fully vacated and dark by 11:00 PM.
 - c. No events shall be permitted on Sundays
 - d. Staff, caterers, deliveries, musician setup and other support activities shall not be subject to the hours of operations, but may not begin prior to 9:00 AM, and must cease by 12:00 AM daily.
5. All recorded music (i.e. DJ, iPod mix, etc.) shall only be permitted within the barn and may not exceed 85 decibels.

6. The barn doors on the north façade shall be secured and closed no later than 10 pm during any event.
7. No amplification of live music shall be permitted.
8. Installation of egress doors shall be relocated to the south side of the barn, and no additional accesses on the north side shall be permitted. A revised elevation of the north and south side shall be submitted for review and approval.
9. A row of evergreen trees shall be planted on the north side of the barn to offer additional sound mitigation for times when the barn doors are open.
10. The site plan shall be updated to remove the Informal Gathering Space and Tent area from the north side of the Barn.
11. A sign shall be posted at each door of the facility indicating patrons should be considerate of the neighbors and to go to their cars expeditiously and quietly.
12. An updated lighting plan including specification sheet of proposed fixture, locations, and photometric plan shall be submitted for review and approval.
13. Revisions to the parking lot design must be completed and submitted to the City Engineer for review and approval prior to any construction occurring.
14. A dust control plan shall be established and submitted to the City Engineer for review and approval.
15. The City Engineer's recommendations and conditions shall be addressed, and updated plans reflecting necessary changes submitted for review and approval prior to any site grading or improvements.
16. A parking attendant shall be required to be present beginning an hour prior to any events and must remain on the premise throughout the event.
17. All access and driveway permits shall be obtained from Washington County prior to commencing operations.
18. All necessary permits and approvals from RCWD shall be obtained prior to issuance of a grading or building permit for construction of the parking lot.
19. Installation of the septic system shall be completed in compliance Washington County standards and the permit dated 4/14/2014 prior to hosting any events.
20. The Parking lot, including installation of the ADA parking stalls shall be constructed prior to hosting any events.
21. Any future signage onsite may not be illuminated and shall meet the City's ordinances and regulations in place at time of proposal.
22. A building permit shall be obtained prior to commencing any renovations on the proposed facility (Wedding Barn).
23. All proposed renovations, as depicted in the submitted plan set and any revisions stated within these conditions, shall be completed prior to hosting any events at the facility.

24. All vendors, including food and beverage, shall be licensed within Washington County prior to serving at any event.
25. An off-duty officer shall be onsite during all events from 8 PM until 12 AM
26. All work shall be done in compliance with the directions of the RCWD, the MPCA, Department of Health or any governmental or regulatory agency having jurisdiction over the site.
27. No structures or improvements shall be constructed in areas identified with an easement.
28. All escrow amounts shall be brought up to date and kept current.
29. This permit shall be reviewed on an annual basis.
30. Any violation of the conditions of this permit shall result in the revocation of said permit.
31. Any change in use, building, outdoor gathering areas, lighting, parking, storage, screening, traffic circulation shall require an amendment to the Conditional Use Permit.

IN WITNESS WHEREOF, the parties have executed this agreement and acknowledge their acceptance of the above conditions.

CITY OF GRANT:

Date: _____

Tom Carr, Mayor

Date: _____

Kim Points, City Clerk

State of Minnesota)
)ss.
County of Washington)

On this _____ day of _____, 2014, before me, a Notary Public, personally appeared Tom Carr and Kim Points, of the City of Grant, a Minnesota municipal corporation within the State of Minnesota, and that said instrument was signed on behalf of the City of Grant by the authority of the city council and Tom Carr and Kim Points acknowledge said instrument to be the free act and deed of said City of Grant.

Notary Public

APPLICANT/OWNER:
DELLWOOD WEDDING BARN/ SCOTT
JORDAN

Date: _____

By: _____

Its: _____

Date: _____

Kim Points, City Clerk

State of Minnesota)
)ss.
County of Washington)

On this _____ day of _____, 2014, before me, a Notary Public, personally appeared _____
_____ the _____ of Dellwood Wedding Barn who acknowledged
that said instrument was authorized and executed on behalf of said Company.

Notary Public

STAFF REPORT

TO: Mayor & City Council Members
 Kim Points, City Clerk
 Nick Vivian, City Attorney
From: Jennifer Haskamp
Date: April 24, 2014 (Revised)
 March 21, 2014
RE: CUP to Construct a
 Telecommunications Monopole at
 9254 Manning Ave. N., Grant,
 MN

Summary of April 1, 2014 City Council Meeting

The subject application was first considered at the regular April 1, 2014 City Council meeting. A public hearing was held and public testimony taken regarding the proposed Cell Tower construction. After discussing the proposed CUP, the City Council requested the applicant provide additional information with respect to the following items:

- Clarification regarding the RF maps and more detail regarding why the proposed tower cannot be located within one of the Preferred Locations as defined by the City's ordinance; and
- Further explanation regarding coordination with Brown's Creek Watershed District and what, if any, requirements might be necessary; as well as identification of any constraints on the tower or its supporting infrastructure that affect the proposed site as a result of the creek crossing.

The following staff report was prepared for the April 1st meeting and changes are identified in underlined italics, and any deletions with a ~~strike through~~.

Background

The Applicant, Faulk & Foster Real Estate has made an application on behalf of Verizon Wireless to construct a new wireless communications cell tower at 9254 Manning Avenue North, Grant, MN. A few months ago the City was contacted with respect to an historical/environmental review with respect to the site. It was communicated during that process that there were no known historical resources (from the City's perspective) on site, but that appropriate permits and applications from the city would be required prior to construction of the cell tower. This application for a CUP is the follow-up to the initial contact.

Project Summary

| | |
|---|---------------------------------------|
| Applicant: Faulk & Foster Real Estate
Blake Conklin
On behalf of Verizon Wireless | Site Size: 20.01 Acres |
| Zoning & Land Use: A-2 | Request: Conditional Use Permit (CUP) |
| Location (PIDs): | |

1303021440003 -- Generally located northwest of the Highway 96 and Manning Avenue North intersection.

The Applicant has submitted a package to construct a new telecommunications monopole and associated equipment for Verizon Wireless. The follow summary of the application is provided:

Monopole: The proposed monopole is 150-feet tall with a 9-foot lightening rod for a total height of 159-feet tall. The monopole has a base approximately 6-feet in diameter which tapers as the elevation increases. The design allows for various 'tiers' of antennas to be placed on the monopole with the tip of the antennas not exceeding the height of the monopole, or in 150-feet. The design is similar to those already located in the community along Highway 36 and Manning Avenue North.

Antennas & Cables: The applicant has proposed to install 12 antennas to the proposed monopole as a part of the initial project. The proposed monopole is designed to accommodate future antenna installations based upon differing carrier's needs, but the applicant has stated that any additions beyond those in the plan set would be evaluated at a future date. The maximum proposed antenna length is 96.4", or approximately 8' tall with the antenna tip elevation at 150'. Based upon the installation of the antennas there are carious coax cables including a top and bottom distribution box which would then be connected to the coax and hybrid cable which is installed inside of the monopole (tower).

Ground Equipment Shelter/Site Plan: The proposed site plan includes the construction of a prefabricated equipment shelter which would include an equipment room and generator room. The structure would be approximately 340 square feet in area and would be secured with an electric entry. The monopole would be fenced in and secured with a gate which is located north of the equipment shelter on the site.

Utility/ROW Easements: The site plan depicts utility and right-of-way easement to ensure functioning and access to the monopole and ground equipment. The overall site plan depicts that an easement running along the south property line would include the installation of underground fiber run from the Manning Avenue right-of-way to the shelter pull box. There would also be an easement area running to the south of the existing home which would include installation of underground electrical which would run from the existing power pole transformer to the shelter mounted meter. (See City Engineer's comments for more detail).

Review Criteria

According to the City Code the proposed uses require a Conditional Use Permit. The City Code states the following for consideration when reviewing a Conditional Use Permit (32-141):

"(d) In determining whether or not a conditional use may be allowed, the City will consider the nature of the nearby lands or buildings, the effect upon traffic into and from the premises and on adjoining roads, and all other relevant factors as the City shall deem reasonable prerequisite of consideration in determining the effect of the use on the general welfare, public health and safety."

(e) If a use is deemed suitable, reasonable conditions may be applied to issuance of a conditional use permit, and a periodic review of said permit may be required.”

Division 4 Antenna Regulations Sections 32-443 through 32-454 relate specifically to installation of telecommunications towers within the City. Specifically 32-449(a) and (c) relate to those items needed for review upon initial application.

In order to determine the appropriateness of the proposed CUP, the proposal will be reviewed for compliance and consistency with adjacent uses, the zoning district regulations, and the regulations identified within Division 4 of the city’s ordinances.

Existing Site Conditions

The existing is primarily in residential use with associated accessory structures. The parcel is oriented with the primary frontage along the eastern edge of the site which is bordered by Manning Avenue North. The site is a regular rectangular shape oriented on its long edge east-west. There is a substantial wetland located on the western half of the property, which is located to the back of the existing home. Connected with the wetland, Browns Creek crosses the property from the northwest to the southeast and runs east of the existing home. The existing home and accessory structures are accessed from a single driveway which is connects to Manning Ave. N. near the northern property line. The driveway crosses Browns Creek and has existing culverts installed to allow the creek to flow. The existing home is approximately 485-feet from the centerline Manning Avenue, 280-feet from the north (side-yard) property line, 334-feet from the south (side-yard) property line, and 718-feet from the east (rear yard) line. There is an approximately 1,600 square foot accessory building located south of the home, and an approximately 5,000 square foot accessory building located to the south and west of the home on the other side of the driveway.

Comprehensive Plan Review

The site is guided A-2 Small Scale Agricultural which calls for large lot single-family residential and low density uses. The proposed monopole does not alter the primary use of the subject site which is currently used for rural residential, nor does it propose any additional density of further subdivision.

Zoning/Site Review

The following zoning and site plan review is provided to assist in your analysis and consideration of the proposed CUP for construction of a new monopole on the subject site. For your reference, Division 4 Antenna Regulations in the City’s Ordinance was primarily utilized for purposes of the following review.

Dimensional Standards

The following site and zoning requirements in the A-2 district regulate the site and proposed project:

| Dimension | Ord. Section | Standard |
|---------------------------------------|--------------|----------|
| Lot Size (Per Sec. 32-451) | 32-451 (b) | 10 acres |
| Max. Antenna Support Structure Height | 32-451 (b) | 195' |

still meet these objectives” where their objectives include ‘providing essential modern infrastructure to residents and business; support critical communications and fast emergency response to accident health emergencies, crimes, fires, storms and other events impacting public health and safety.’ The application has also provided a coverage analysis in Exhibit C to support the proposed location and need for the tower. The Applicant’s Ordinance Compliance Statement further describes the search process, and states that in order for Verizon to make its network function adequately there was a relatively small search area available. And if you review the available sites within that search area they are all zoned similarly to the proposed site, with similar uses and there are no preferred support structures within the search area (per Section 32-450 (2)).

With respect to the design of the tower, the Applicant has stated that “the site will be designed using the latest technology in order to reduce visual impact.” However, it is unclear what elements of the design achieve a reduced visual impact and from what vantage point. *Section 32-452(9) states that the city may request a visual impact demonstration to more accurately reflect the “visual impact”. If desired, this information can be requested from the Applicant.*

Location/RF Coverage

The Applicant submitted a Supplemental Statement on April 24, 2014 for consideration which includes further detail regarding the selection of the location and RF Maps which are attached as Exhibit 1. With respect to the location selection, the Applicant states that, “Verizon’s RF Engineer has examined the closest tower (at the town hall) and the transmission line locations and determined that those locations do not meet objectives.” The statement further explains that Verizon then looked for sites outside of the preferred locations, and attempted to select a site that would have the least impact on residential areas. (Please review Applicant’s Supplemental Statement, Exhibits 1 and 2 and the City Engineer’s Comments for further detail regarding this item).

Driveway/Access

The Applicant has proposed to utilize the existing driveway to access the proposed monopole and ground equipment. The driveway would be placed into an access and utility easement 20-feet wide per the site plan. The existing driveway currently meets all standards for setbacks, etc. Since the driveway is accessed from Manning, and is a County Road, staff contacted the county to ensure no additional permits were required. A formal response had not been received at the time of this staff report, but any comments will be forwarded to Council upon receipt. *Staff does not anticipate any additional required permitting for the proposed use, and utilizing the existing driveway meets the*

City's Ordinances.

Noted on A-1 of the plan set, during construction the Applicant will install "Bridge Jumpers" or something equivalent, to ensure protection of the culverts currently installed to protect Browns Creek, and will be removed upon completion of the installation. ***The plan for protection of the culverts should be presented to Browns Creek Watershed District to ensure compliance with their standards for construction and protection of the creek and/or culverts.***

Finally, Section 32-452 (b)(6) states that that "an address sign shall be installed in conformance with fire department requirements at the entrance of the public way to provide direction along the access road to the facility itself." Based upon the plan set, there is no sign indicated meeting this requirement. ***The Applicant should update the plan set to indicate the location and installation of a sign to meet this requirement.***

Site Plan

The proposed site plan is identified on sheet A-1 of the attached plan set. As demonstrated on the site plan, the proposed monopole and ground equipment is identified in the area labeled "Land Space" which is proposed to be accessed from the existing driveway. The proposed Land Space is approximately 1,100 square feet, and contains the monopole (which is approximately 113 square feet at the base) and the equipment cabinet which is approximately 360 square feet, both which will be placed on a concrete slab. The area exclusive is a pad that is proposed to be covered with 3" deep ¾" to 1 ½" clean rock. The monopole is proposed to be fenced in and with fencing that is proposed to be galvanized steel 6-feet high. The fence top will have three strands of barbed wired to an elevation of 7-feet tall to ensure the structure is secure. (See sheet A-5 in the attached plan set).

Landscaping/Plantings

The proposed site plan identifies existing trees that will be removed and/or retained as a result of the proposed project. Near the proposed location of the equipment shelter there is an existing 18" and 8" Boxelder, and a 7" Elm which will remain. There is a 7" Boxelder that will be removed as a part of this project. ~~Beyond those existing trees identified there is no proposed landscaping addressed as a part of this plan.~~ Section 32-452 (13) and (14) refer to screening, protecting existing vegetation, and preparing a landscape plan that "provide the maximum amount of screening from off-site views as is feasible." ***The Applicant has submitted a revised site plan which indicates an arborvitae vegetative screen along the west, south and east perimeter of the land area. The Applicant should address off-site views from adjacent properties, and prepare a landscape plan that provides screening to protect those views. The revised landscape plan adequately addresses the screening requirement as***

stated within the City's Ordinances.

Environmental Review of
Watershed District

As directed at the April 1st City Council meeting, the Applicant has supplied some information regarding the potential environmental concerns brought up during the meeting and public hearing. The Applicant has stated within the Supplemental Statement that the National Environmental Protection Act (NEPA) review did not disclose any significant impacts as a result of the proposed project. The Applicant also provided a correspondence with Browns Creek Watershed District which is attached as Exhibit 3. Staff has also corresponded with the BCWD and attached a correspondence received from their representative. As indicated in the attached correspondence, the work as proposed and demonstrated in the plan set, does not trigger BCWD permitting.

Additionally, staff spoke with BCWD representatives regarding the diesel fuel storage for the generator. As a matter of clarification, the BCWD does not have any specific standards or rules related to the type of fuel storage on site and expressed satisfaction with the information regarding the generator that was supplied by the Applicant. Staff, along with the Watershed District, would recommend that an emergency response plan be on file with the permit to ensure that all proper regulatory authorities (including, but not limited to, City, BCWD, MPCA) be notified immediately in the event of a spill at the site or by a vehicle entering the site.

Antennas & Cables

The proposed monopole would be constructed to accommodate several users in the future. However, as submitted, the proposed plan includes the installation of 12 antennas which are mounted with a color mount at an elevation of approximately 140'. The antennas will be pounded on three separate T-Frames as depicted in detail 6 on sheet A-3. The highest elevation of the antenna tip is proposed at 150', see detail 1 sheet A-3. The proposed antenna will serve Verizon Wireless, with the potential to co-locate other users in the future. Per Section 32-452 (9), "the tower must be designed structurally and electrically to accommodate both the applicant's antennas and comparable antennas for at least two additional users.." However, the applicant has stated that it is unknown what additional users will co-locate and as such it is difficult to determine what types of antennas they may desire to install. *However, it would be reasonable to seek additional clarification from the Applicant regarding the potential number of antennas and service providers that could be accommodated based upon the design of the monopole, if desired.*

Ground Equipment/Shelter

The proposed site plan indicates construction of a prefabricated shelter (hereafter referred to as “equipment shelter” to house equipment and a generator for the proposed monopole. Per the submitted plan, the equipment shelter is proposed to be approximately 360-square feet with secured primary access located on the eastern façade of the building. Access to the equipment shelter is gained from “stoop” which is proposed to be constructed of a solid composite decking (see Sheet A-4 in the attached plan set). The equipment shelter is approximately 10-feet tall, and the materials are proposed to be finished with exposed aggregate concrete. Section 32-452 (14) states “Buildings which are constructed or used in conjunction with the antenna support structure shall be designed to be architecturally compatible with other existing structures on the site.” The proposed equipment shelter design and material do not appear to meet this requirement. ***Further clarification from the Applicant should be provided as to how the structure will blend with existing architecture.***

As stated in the site plan review, there is a proposed fence which would enclose and secure the proposed monopole. Sheet A-5 in the attached plan set identifies the gate detail in details 3 through 5. Based upon the plans there does not appear to be any affixed signage proposed to the fence or to the Equipment Shelter (elevations on sheet A-4. Per Section 32-452 (b) (6) the following is required, “The base of all antenna support structures shall be posted with signs stating ‘Keep Off’ on all sides... a permanent, weatherproof, approximately 16 inch by 32 inch facility identification sign shall be placed on the gate in the fence around the equipment building...Said sign shall identify the facility operator, provide his address, and specify a 24-hour telephone number at which he can be reached.” ***The applicant should address this requirement, and update the plan set to reflect how such condition is met.***

Engineering Standards

The City Engineer’s comments and recommendations are attached to this staff report for your review and consideration.

Draft Conditions/Recommendations

- ~~▪ If desired by the City Council, a visual impact demonstration may be requested from the Applicant to more clearly describe how the monopole and ground equipment in relation to adjacent properties.~~
- The Equipment Shelter should be designed to be architecturally compatible with other existing structures on the site. Based upon the design, it appears that some additional detail and/or alternate materials and colors should be considered for compatibility with existing structures.
- The plan set shall be updated to indicate placement of the signage on the gate, driveway and equipment shelter.
- An updated plan set reflecting the City Engineer’s recommendations and requirements shall be submitted prior to issuance of any building permit.
- ~~▪ A landscape plan shall be developed to more adequately screen the Equipment Shelter and fenced area. The plan shall be submitted for review and approval of the City Engineer and City Planner prior to a building permit being issued.~~

- The landscape plan as depicted on Figure A-1 shall be planted upon completion of construction of the tower, and shall be required to be maintained.
- All ground equipment, including the Equipment Shelter, fencing and vegetation shall be kept in good repair and shall be maintained in compliance with the standards set forth in this permit.
- All antennas shall be construction in compliance with city building and electrical codes. A building permit must be obtained prior to construction
- No advertising, of any type, shall be affixed to the monopole or any components within the Land Area.
- Antennas shall not be artificially lit and may not display any strobe lights.
- The Applicant must obtain all necessary, applicable, federal state and local agency permits prior to construction of the monopole and installation of the antennas.
- The Applicant shall work with the Browns Creek Watershed District (BCWD) during the construction process to ensure the culvert over the creek is protected, and copies of such correspondence provided to the City for record keeping.
- Written statement from the Fire Department shall be submitted as indicated in Section 32-449(8) prior to a building permit being issued.
- All antennas shall be shall be subject to state and federal regulations pertaining to nonionizing radiation and other health hazards related to such facility. If new, more restrictive standards are adopted, antennas shall be brought into compliance with the new standards by the owner and operator. The cost of verification of compliance shall be borne by the owner and operation of the antenna.
- Any future antenna installation shall be subject to the regulations and standards as set forth in Section 32-446 Permit Requirements, or corresponding section, of the City's adopted ordinances.
- Any proposed changes, modifications, or expansions, including the co-location of another user for which the land area is altered will require the amendment of this permit.
- The Owner/Operator of the tower shall be required to submit yearly proof of insurance and compliance of operations.
- Every five years the applicant shall submit a report consistent with those requirements stated within Section 32-449(c), or corresponding section, of the City's adopted ordinance.

Action requested:

Staff has attached a Resolution of Approval and Draft Conditional Use Permit for review and consideration. If the Council determines that the CUP should be denied, the Council should direct staff to prepare a resolution of denial with findings to be brought forward to the June meeting.

Attachments:

City Engineer's Comments, WSB, dated April 24, 2014

Applicant's Supplemental Statement

Exhibits 1, 2, 3, 4 and 5

Correspondence from Karen Kill of BCWD, dated April 24, 2014

The following attachments were previously submitted for inclusion in the April 1, 2014 City Council Packet:

City Engineer's Comments, WSB, dated March 22, 2014

Applicant's Ordinance Compliance Statement

Applicant's Exhibit A: Verizon Wireless Plan Set

Applicant's Exhibit B: LOI

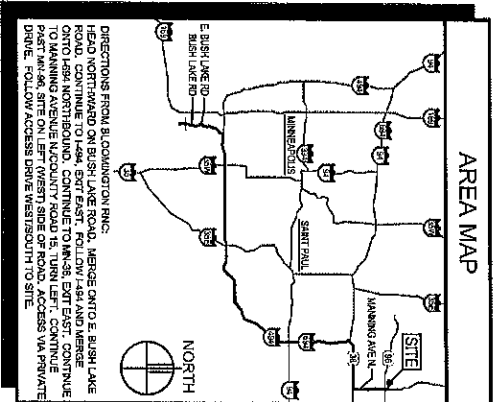
Applicant's Exhibit C: RF Coverage Maps

Applicant's Exhibit D: Search Area Map

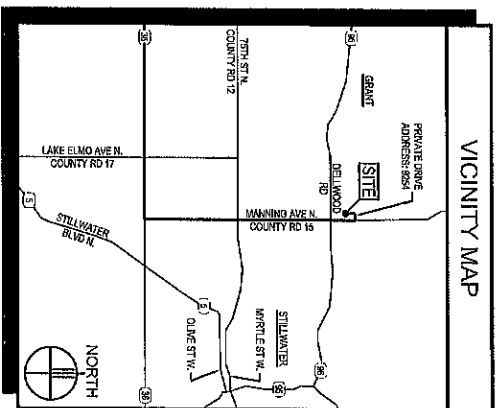
Applicant's Exhibit E: Properties within 1000' Radius of Proposed Tower

VERIZON WIRELESS

AREA MAP



VICINITY MAP



GENERAL NOTES

- In the event that Special Inspections are not performed in compliance with the contract terms, but specifications and/or specified form, the General Contractor will be liable for all damages, construction performance, failures, and corrective actions related to the same.
- The following general notes shall apply to drawings and given unless otherwise noted or specified.
- The work delineated in these drawings and described in the specifications shall conform to codes, standards and regulations that have jurisdiction in the state of Minnesota, and the city of Grant.
- Regulations and regulations pertaining to R.F. safety codes and practices must be incorporated in the work even though they may not be listed individually and especially in other the drawings or the specifications.
- Complete field conditions with architectural and engineering drawings. Any discrepancies shall be directed to the architect for clarification prior to fabrication without the permission of the owner or the architect.
- Do not scale drawings. 1" = 4" drawings scale initially by 2
- Unless otherwise shown or noted, typical details shall be used where applicable.
- Details shall be consistent typical at similar conditions.
- Safety measures: The contractor shall be solely and completely responsible for the conditions of the job site, including safety of the persons and property of the job site. The contractor shall be solely and completely responsible for the conditions of the job site, including safety of the persons and property of the job site. The contractor shall be solely and completely responsible for the conditions of the job site, including safety of the persons and property of the job site.
- Verify these dates and specifications. Owner: Verizon Wireless.
- The work is the responsibility of the general contractor unless noted otherwise.
- The terms "contractor" and "GC" refer to the owner's general contractor and the general contractor's sub-contractors. It is the general contractor's responsibility to ensure that all sub-contractors are properly licensed and bonded.
- The general contractor is responsible for obtaining necessary public and private underground utility locates services prior to start of excavation / construction.
- General Contractor to assemble and construct tower per manufacturer's drawings not included in this package.

VERIZON WIRELESS DEPARTMENTAL APPROVALS

| NAME | DATE |
|-----------------------|---------------|
| RF ENGINEER | JORDAN ALSTAD |
| OPERATIONS MANAGER | |
| CONSTRUCTION ENGINEER | RONALD REITER |
| CONSTRUCTION MANAGER | 09/19/13 |
| REAL ESTATE MANAGER | |

LESSOR / LICENSOR APPROVAL

| SIGNATURE | PRINTED NAME | DATE |
|---|--------------|------|
| <input type="checkbox"/> NO CHANGES | | |
| <input type="checkbox"/> CHANGES NEEDED. SEE COMMENTS ON PLANS. | | |

PROJECT INFORMATION

| | |
|----------------------------|--|
| SITE NAME: | MNC KIT KAT |
| PROJECT NUMBER: | 20130877400 |
| SITE ADDRESS: | MANNING AVENUE NORTH
GRANT, MINNESOTA 55982 |
| COUNTY: | WASHINGTON |
| LATITUDE: | N45° 04' 57.80" |
| LONGITUDE: | W92° 51' 58.20" |
| GROUND ELEVATION: | 914.7' ASL |
| ANTENNA TIP HEIGHT: | 1064.7' ASL (-180.0' ADJ. (COAX/TX))
1063.0' ASL (-168.3' ADJ. (PICO/AV)) |
| ANTENNA CENTERLINE HEIGHT: | 1060.7' ASL (-166.0' ADJ.) |
| TOWER HEIGHT: | 1064.7' ASL (-180.0' ADJ.) |
| OVERALL STRUCTURE HEIGHT: | 1074.7' ASL (-199.0' ADJ.) |
| DRAWING BASED ON: | 07-26-13 |
| SITE DATA FORM DATED: | |
| OCCUPANCY: | B |
| BUILDING TYPE: | V/B |
| SITE ABR: | 20.0 X 55.0' = 1100 S.F. |
| ROOF LOAD: | LIVE LOAD = 175 PSF |
| PARKING: | PROVIDED |
| ESTIMATED COAX RUN: | 7" COAX RUN = (4) 150' LINES @ 169' EA
7" COAX RUN = (4) 150' LINES @ 169' EA |

SHEET INDEX

| SHEET | SHEET DESCRIPTION |
|-------|--|
| 1-1 | PROJECT INFORMATION, MAPS, DIRECTIONS, AND SHEET INDEX |
| A-1 | SITE PLAN |
| A-2 | ENLARGED SITE PLAN |
| A-3 | TOWER ELEVATION, ANTENNA & COAX KEY AND DETAILS |
| A-4 | SHELF PLANS & ELEVATIONS AND FOUNDATION DETAILS |
| A-5 | MISCELLANEOUS DETAILS |
| A-6 | OUTLINE SPECIFICATIONS |
| A-7 | VEGETATIVE AND FENCE SCREEN DETAILS |
| G-1 | GROUNDING NOTES AND DETAILS |
| G-2 | GROUNDING PLAN AND NOTE KEY |
| G-3 | EXTERIOR GROUNDING DETAILS |
| U-1 | UTILITY SITE PLAN |
| U-2 | UTILITY DETAILS, DIAGRAMS, SCHEDULES AND NOTES |
| U-3 | SURVEY |

ISSUE SUMMARY

| REV. | DESCRIPTION | SHEET OR DETAIL |
|------|---------------------------------------|-----------------|
| A | ISSUED FOR REVIEW 09-04-13 | ALL |
| B | ISSUED FOR OWNER APPROVAL 09-19-13 | ALL |
| C | REISSUED FOR OWNER APPROVAL, 10-07-13 | ALL |
| D | ISSUED WITH SCREENING MODES 04-09-14 | ALL |

CONTACTS

| | |
|---------------------------------|---|
| LESSOR / LICENSOR: | ROBERT & DENISE GREGORY
624 MANNING AVENUE NORTH
GRANT, MINNESOTA 55982
(651) 764-2022 |
| LESSEE: | VERIZON WIRELESS
1001 BUSH LAKE ROAD
BLOOMINGTON, MN 55420
(612) 720-0060, WHITE C096-R |
| POWER UTILITY COMPANY CONTACT: | XCEL ENERGY
24 FIRST STREET HALL
MINNEAPOLIS, MN 55401
(601) 586-2121 |
| TEL CO UTILITY COMPANY CONTACT: | CENTURY LINK
12601 WANZATA BLVD
MINNETONKA, MN 55395
(952) 469-1988 |
| ARCHITECT: | DESIGN 1 OF EDEN PRALINE, LLC
9975 VALLEY VIEW ROAD
EDEN PRAIRIE, MN 55244
(952) 902-9299 |
| SURVEYOR: | SUNDAE LAND SURVEYING
901 E. BLOOMINGTON FREEWAY, SUITE 118
BLOOMINGTON, MN 55420
(652) 861-2468 |
| STRUCTURAL ENGINEER: | N/A |
| GEOTECHNICAL ENGINEER: | T.A.O |

NOT FOR CONSTRUCTION



VERIZON WIRELESS
1001 BUSH LAKE ROAD
BLOOMINGTON, MN 55420
(612) 720-0000

PROJECT: 20130877400
MNC
KIT KAT

MANNING AVENUE NORTH
GRANT, MN 55982

SHEET CONTENTS:

CONTRACTS

GENERAL NOTES

DESIGN APPROVALS

LESSOR APPROVAL

PROJECT INFORMATION

AREA & VICINITY MAPS

DRAWING BY: MJS

CHECKED BY: 08-29-13

DATE: 08-29-13

REV. A: 08-29-13

REV. B: 09-19-13

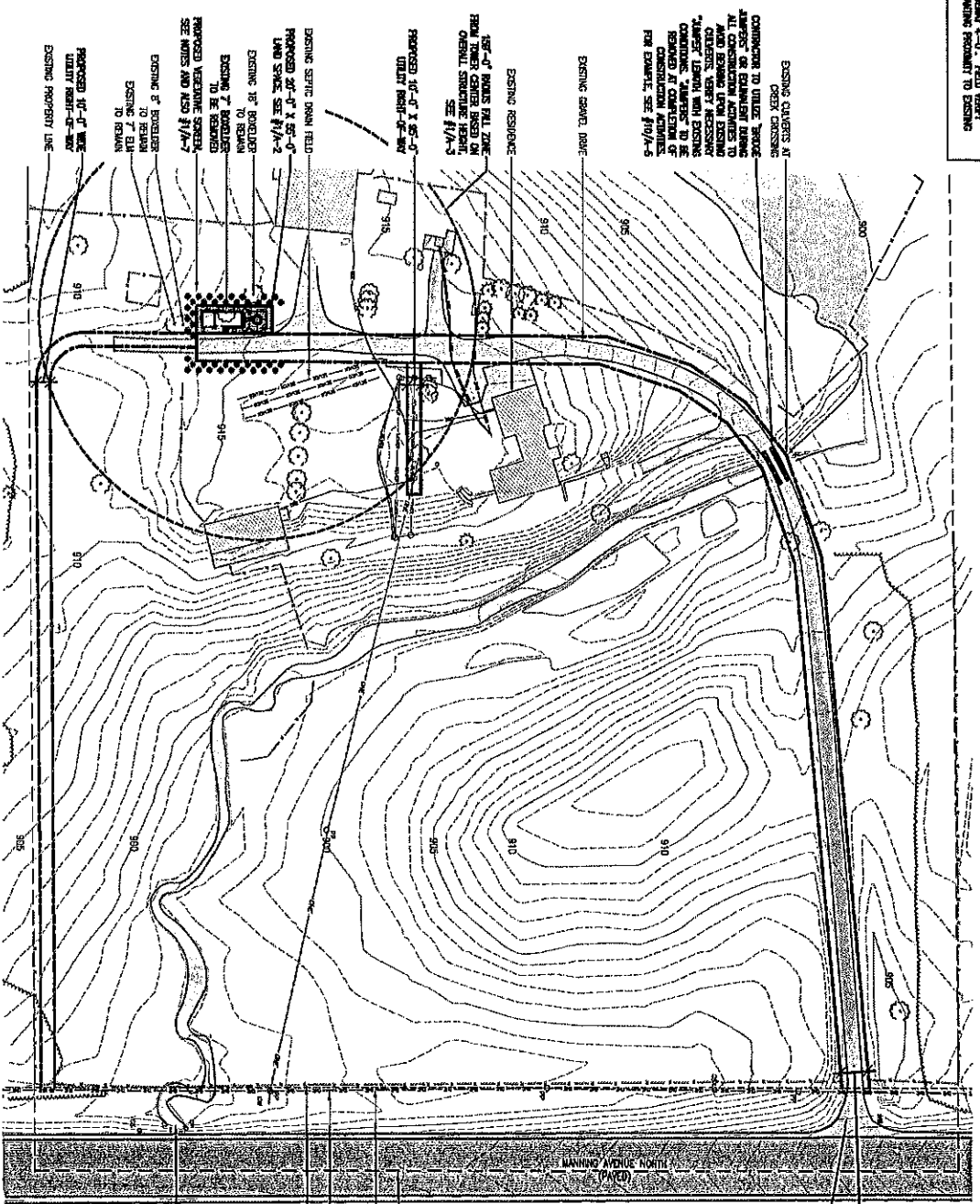
REV. C: 10-07-13

REV. D: 04-09-14

REV. E: 04-09-14

T-1

NOTE: VERIZON SCREEN SHALL CONSIST OF 48 PLYWOODS TO BE ARRANGED AS SHOWN. TYPICAL SPACINGS SHALL BE MAXIMUM BETWEEN TREES 6'-0" MAXIMUM BETWEEN ROWS 4'-0" AND MAXIMUM TO DRIVEWAY 6'-0" FEEL VERIFY APPROVED FURNISHING SCHEDULE TO EXISTING PLYWOODS.



1 OVERALL SITE PLAN
SCALE: 1" = 80'-0"



GENERATOR TYPE:
DIESEL

NOT FOR
CONSTRUCTION

DESIGN

ROBERT J. DAVIS, AIA
5812 VALLEY VIEW RD.
RUSH SPRING, AR 72454
PH: 501-223-2222

**VERIZON
WIRELESS**
1800 SOUTH LANE ROAD
BLOOMINGTON, IL 61818
(617) 720-0290

PROJECT:
20190817/240

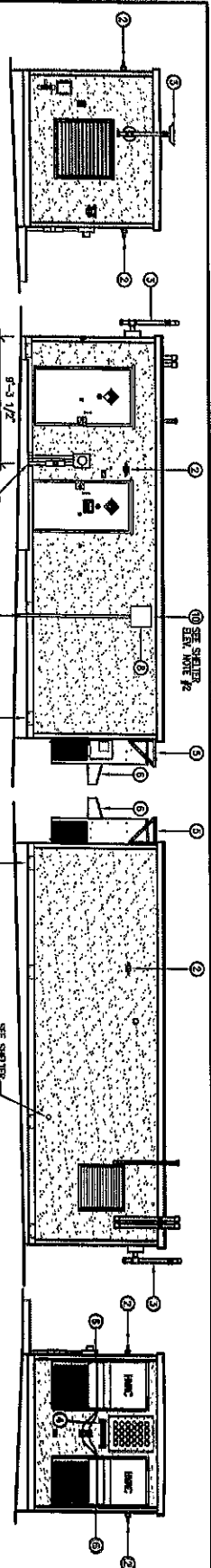
MINC
KIT KAT

MANNING AVENUE NORTH
GRANT, MN 55042

SHEET CONTENTS:
SITE PLAN

| | |
|-------------|----------|
| DRAWN BY: | JLS |
| DATE: | 08.28.13 |
| CHECKED BY: | GDH |
| REV. A: | 08-28-13 |
| REV. B: | 08-28-13 |
| REV. C: | 10-07-13 |
| REV. D: | 12-28-13 |

A-1



5 SHELTER ELEVATION
SCALE: 1/8" = 1'-0"

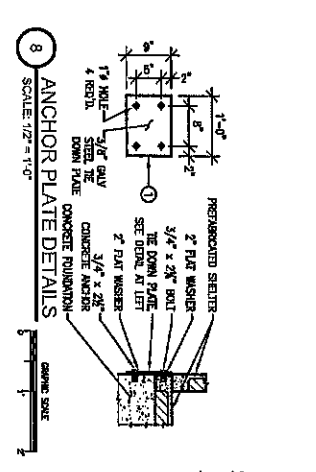
4 SHELTER ELEVATION
SCALE: 1/8" = 1'-0"

3 SHELTER ELEVATION
SCALE: 1/8" = 1'-0"

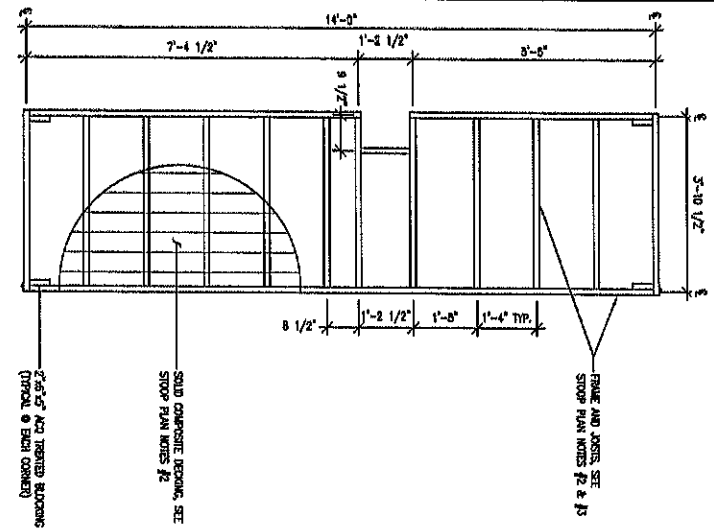
2 SHELTER ELEVATION
SCALE: 1/8" = 1'-0"

SHELTER ELEVATION NOTES:
 1) TOP OF STAIR DECKING = 4410.0'
 2) FRAME CONSTRUCTED WITH THE FOLLOWING:
 (A) 2x4 LVL
 (B) 2x4 LVL
 (C) 2x4 LVL
 (D) 2x4 LVL
 (E) 2x4 LVL
 (F) 2x4 LVL
 (G) 2x4 LVL
 (H) 2x4 LVL
 (I) 2x4 LVL
 (J) 2x4 LVL
 (K) 2x4 LVL
 (L) 2x4 LVL
 (M) 2x4 LVL
 (N) 2x4 LVL
 (O) 2x4 LVL
 (P) 2x4 LVL
 (Q) 2x4 LVL
 (R) 2x4 LVL
 (S) 2x4 LVL
 (T) 2x4 LVL
 (U) 2x4 LVL
 (V) 2x4 LVL
 (W) 2x4 LVL
 (X) 2x4 LVL
 (Y) 2x4 LVL
 (Z) 2x4 LVL

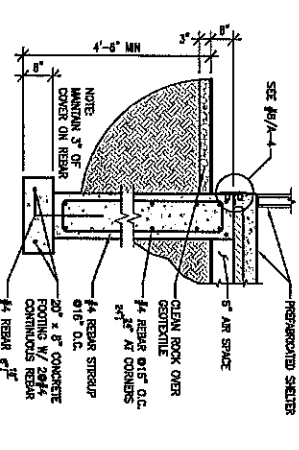
SHELTER FOUNDATION NOTES:
 1) TOP OF WALLS TO BE LABEL 41/8'
 2) CURVED PRECASTED SHELTER HEIGHT IS APPROXIMATELY 17.000 USL



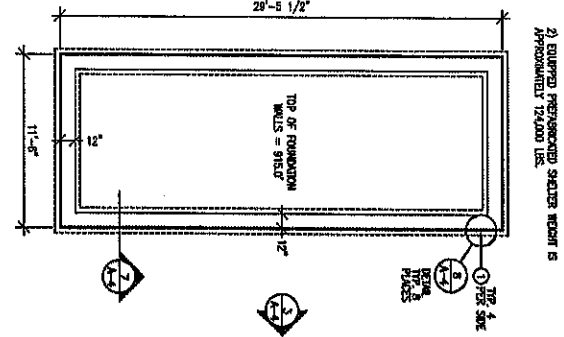
8 ANCHOR PLATE DETAILS
SCALE: 1/2" = 1'-0"



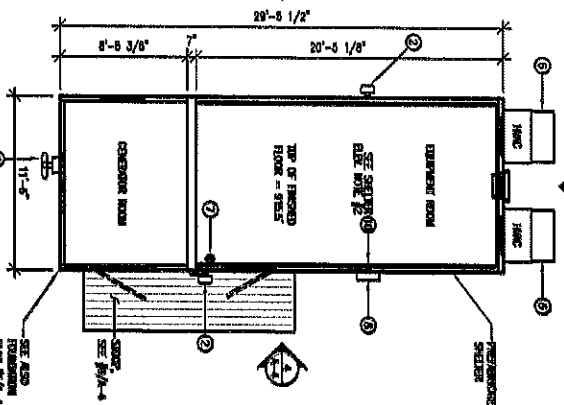
9 STOOP PLAN
SCALE: 3/8" = 1'-0"



7 FOUNDATION SECTION
SCALE: 3/8" = 1'-0"



6 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

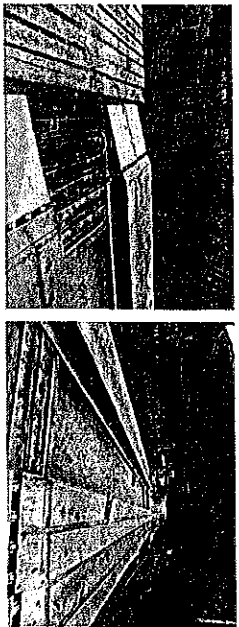


1 SHELTER PLAN
SCALE: 1/8" = 1'-0"

PHIBRECORD CORPORATION
 1200 Development Drive
 Metairie, LA 70005
 504-885-2515
 4000 N. I-10
 METairie, LA 70001

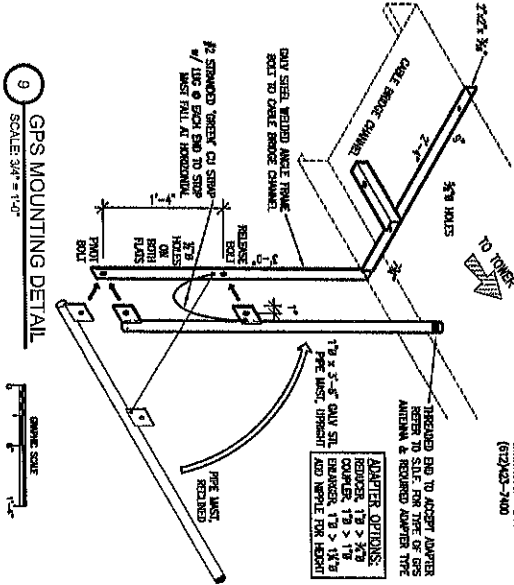
- REVISIONS:**
- 1. REVISIONS
 - 2. REVISIONS
 - 3. REVISIONS
 - 4. REVISIONS
 - 5. REVISIONS
 - 6. REVISIONS
 - 7. REVISIONS
 - 8. REVISIONS
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 - 14. REVISIONS
 - 15. REVISIONS
 - 16. REVISIONS
 - 17. REVISIONS
 - 18. REVISIONS
 - 19. REVISIONS
 - 20. REVISIONS

| | | | | | | | | | |
|---------------|--|-------------------------|---|------------------------|-----------------|---|---|--|-----|
| DESIGN | ROBERT LUMAS, P.E.
ARCHITECT
5810 WALKER BLVD
SUITE 100
DALLAS, TX 75244
(972) 968-8888 | VERIZON WIRELESS | 10801 BURR LANE ROAD
BLOOMINGTON, MN 55438
(954) 420-9939 | PROJECT
20130877400 | MING
KIT KAT | MANNING AVENUE NORTH
GRANT, MN 55032 | SHEET CONTENTS:
SHELTER PLAN
SHELTER ELEVATIONS
FOUNDATION SECTION
ANCHOR PLATE DETAILS
STOOP PLAN | DRAWN BY: MJS
DATE: 08/23/13
CHECKED BY: GJB
DATE: 08/23/13
REV. A: 08/23/13
REV. B: 08/23/13
REV. C: 08/23/13
REV. D: 08/23/13 | A-4 |
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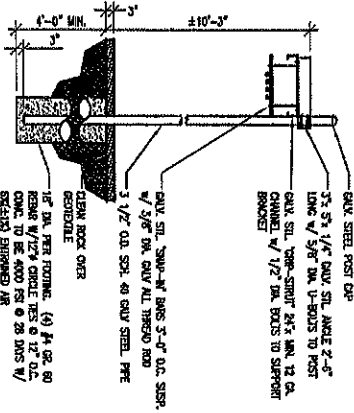


10 BRIDGE JUMPER EXAMPLE
SCALE: NOT TO SCALE

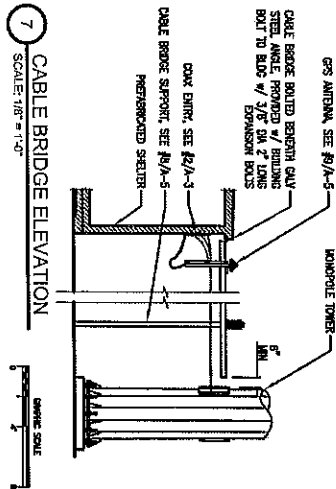
CHANGES AND SUBSTITUTIONS:
VCS CABLE & HEAVY HULL, INC.
3000 140TH STREET EAST
ROSEMOUNT, MINNESOTA 55068
PH: 763-425-7400



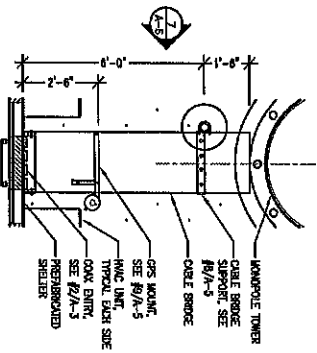
9 GPS MOUNTING DETAIL
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8 CABLE BRIDGE SECTION
SCALE: 1/4\"/>



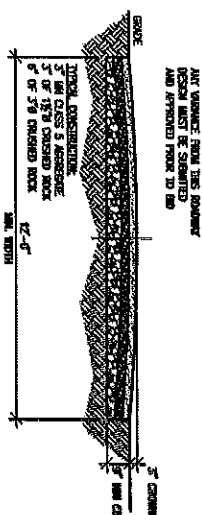
7 CABLE BRIDGE ELEVATION
SCALE: 1/8\"/>



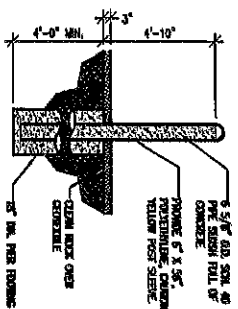
6 CABLE BRIDGE PLAN
SCALE: 1/4\"/>

5 NOT USED
SCALE: NONE

4 NOT USED
SCALE: NONE



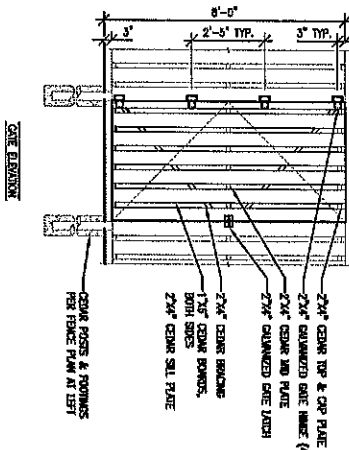
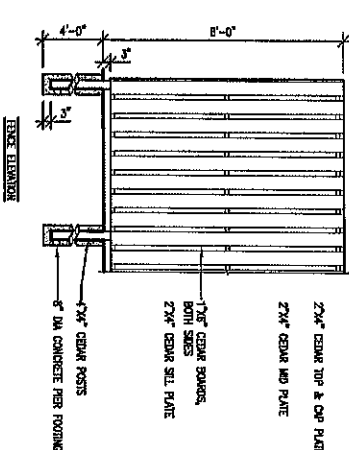
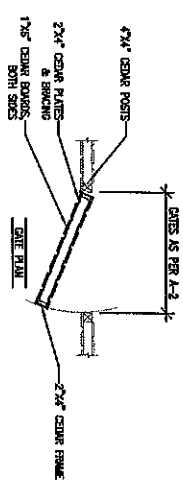
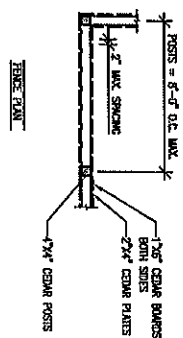
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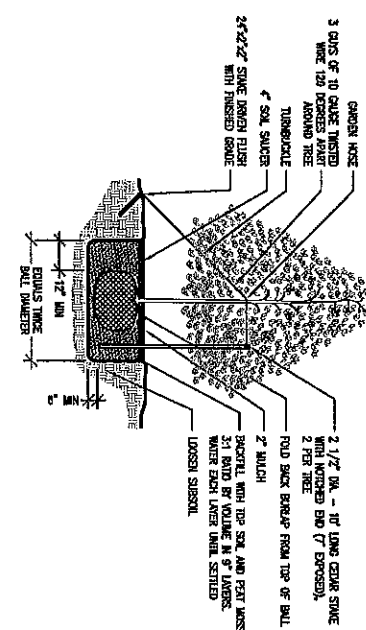
1 BOLLARD SECTION
SCALE: 1/4\"/>

3 NOT USED
SCALE: NONE

| | | | |
|---|---|---|--|
| NOT FOR CONSTRUCTION | | DESIGN
ROBERT JAVAR, AA
ARCHITECT
1500 W. WISCONSIN
EDEN PRAIRIE, MN 55424
(952) 951-4289 | |
| VERIZON WIRELESS
1891 BURHLAND ROAD
BLOOMINGTON, MN 55425
(952) 726-4289 | | PROJECT
20130877400 | |
| MING
KIT KAT | | PROJECT
20130877400 | |
| MANNING AVENUE NORTH
GRANT, MN 55982 | | | |
| SHEET CONTENTS:
BOLLARD SECTION
GRAVEL DRIVE SECTION
GATE DIVISION DETAILS
FENCE SECTION
CABLE BRIDGE PLANS/DETAILS
GPS MOUNTING DETAIL | | | |
| DRAWN BY: NLS
CHECKED BY: CJS
REV. 1: 05-25-13
REV. 2: 05-25-13
REV. 3: 05-25-13
REV. 4: 05-25-13
REV. 5: 05-25-13 | DATE: 05-25-13
SCALE: 1/4" = 1'-0"
SHEET: A-5 | | |



2 FENCE SCREEN DETAIL
SCALE: 1/8" = 1'-0"

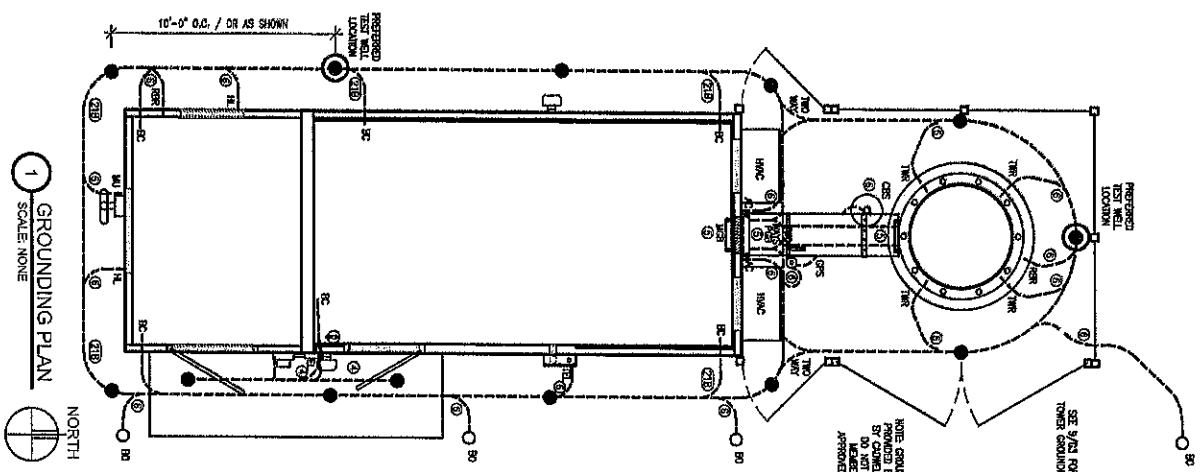


1 VEGETATIVE SCREEN DETAIL
SCALE: 1/8" = 1'-0"

- FENCE SCREEN DETAIL NOTES:
- 1) FENCE ENDINGS AND CORNERS FOR SHEET A-2
 - 2) ALL CORNER ENDINGS MUST BE SET INTO THE CORNER WITH SHOWN WELDED REINFORCING RODS/ANCHORS
 - 3) FENCE RAILS MUST BE SET INTO THE CORNER WITH SHOWN WELDED REINFORCING RODS/ANCHORS
 - 4) FENCE RAILS MUST BE SET INTO THE CORNER WITH SHOWN WELDED REINFORCING RODS/ANCHORS
 - 5) FENCE RAILS MUST BE SET INTO THE CORNER WITH SHOWN WELDED REINFORCING RODS/ANCHORS
 - 6) FENCE RAILS MUST BE SET INTO THE CORNER WITH SHOWN WELDED REINFORCING RODS/ANCHORS
 - 7) FENCE RAILS MUST BE SET INTO THE CORNER WITH SHOWN WELDED REINFORCING RODS/ANCHORS
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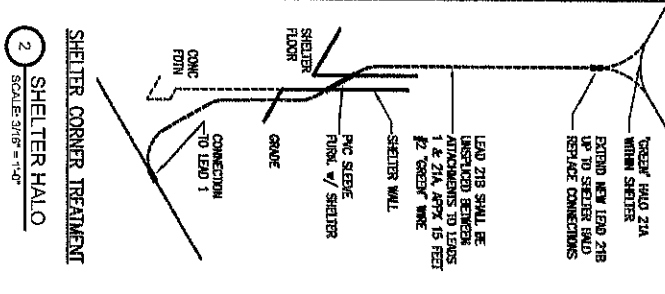
- VEGETATIVE SCREEN DETAIL NOTES:
- 1) VEGETATIVE SCREEN SHALL BE PERMANENTLY INSTALLED
 - 2) VEGETATIVE SCREEN SHALL BE PERMANENTLY INSTALLED
 - 3) VEGETATIVE SCREEN SHALL BE PERMANENTLY INSTALLED
 - 4) VEGETATIVE SCREEN SHALL BE PERMANENTLY INSTALLED
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 - 6) VEGETATIVE SCREEN SHALL BE PERMANENTLY INSTALLED
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 - 8) VEGETATIVE SCREEN SHALL BE PERMANENTLY INSTALLED
 - 9) VEGETATIVE SCREEN SHALL BE PERMANENTLY INSTALLED
 - 10) VEGETATIVE SCREEN SHALL BE PERMANENTLY INSTALLED

| | | | | | | | |
|---------------------------------|---|--|--------------------------------|-------------------------|--|---|---|
| <p>NOT FOR
CONSTRUCTION</p> | <p>DESIGN</p> <p>ROBERT J. LAMON, AIA
ARCHITECT
5673 VALLEY VIEW BL.
MINNETONKA, MN 55341
(952) 900-8888</p> | <p>VERIZON WIRELESS</p> <p>1800 BISH LANE ROAD
BLOOMINGTON, MN 55408
(612) 726-0000</p> | <p>PROJECT
20130877400</p> | <p>MINC
KIT KAT</p> | <p>WANNING AVENUE NORTH-
GRANT, MN 55082</p> | <p>SHEET CONTENTS:
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FENCE SCREEN DETAILS</p> | <p>DRAWN BY: MJS
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CHECKED BY: GDB
REV. A: 08-25-13
REV. B: 08-25-13
REV. C: 08-25-13
REV. D: 08-25-13</p> |
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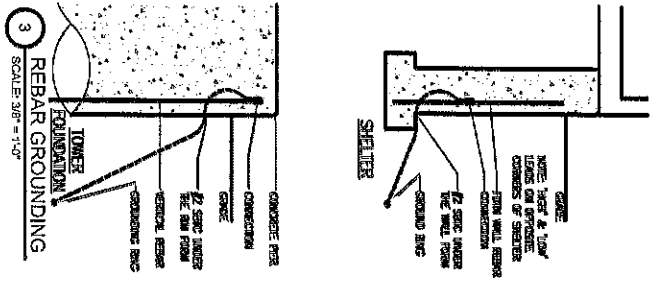


1 GROUNDING PLAN
SCALE: NONE

NOTE
CONTRACTOR SHALL ENSURE THAT EACH WHIP IS ROUTED TO LEAD 1 BY THE SHORTEST PATH, AND BENDS SHALL NOT BE LESS THAN 12" RADIIUS



2 SHELTER HALO
SCALE: 3/16" = 1'-0"



3 REBAR GROUNDING
SCALE: 3/8" = 1'-0"

LEAD IDENTIFICATION & DESCRIPTION:

| | | |
|-------|--------------------------------|----------|
| 1 | RAW, EXTERNAL, BURNED W/ ROOFS | #2 SILEX |
| 2 | RED WARE (TO BURNED OMS) | #2 SILEX |
| 3 | RAW W/ BURNED W/ ROOFS | #2 SILEX |
| 4 | RAW W/ BURNED W/ ROOFS | #2 SILEX |
| 5 | RAW TO EXISTING BURN | #2 SILEX |
| 6 | RAW TO EXISTING W/ BURN | #2 SILEX |
| 7 | RAW TO EXISTING W/ BURN | #2 SILEX |
| 8 | RAW TO EXISTING W/ BURN | #2 SILEX |
| 9 | RAW TO EXISTING W/ BURN | #2 SILEX |
| 10 | RAW TO EXISTING W/ BURN | #2 SILEX |
| 11-12 | NOT USED | |
| 13 | AC PANEL TO W/ BURN | #2 SILEX |
| 14 | AC PANEL TO W/ BURN | #2 SILEX |
| 15 | AC PANEL TO W/ BURN | #2 SILEX |
| 16 | AC PANEL TO W/ BURN | #2 SILEX |
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| 20 | AC PANEL TO W/ BURN | #2 SILEX |
| 21 | AC PANEL TO W/ BURN | #2 SILEX |
| 22 | AC PANEL TO W/ BURN | #2 SILEX |
| 23 | AC PANEL TO W/ BURN | #2 SILEX |
| 24 | AC PANEL TO W/ BURN | #2 SILEX |
| 25 | RAW TO EXISTING W/ BURN | #2 SILEX |
| 26 | RAW TO EXISTING W/ BURN | #2 SILEX |
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| 32 | RAW TO EXISTING W/ BURN | #2 SILEX |
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| 59 | RAW TO EXISTING W/ BURN | #2 SILEX |
| 60 | RAW TO EXISTING W/ BURN | #2 SILEX |

DESIGN
ROBERT J. DAVIS, AIA
ARCHITECT
1000 EAST LINDEN ROAD
SUITE 200
DENVER, CO 80218
(303) 733-0000

PROJECT
20130877400
MINC
KIT KAT

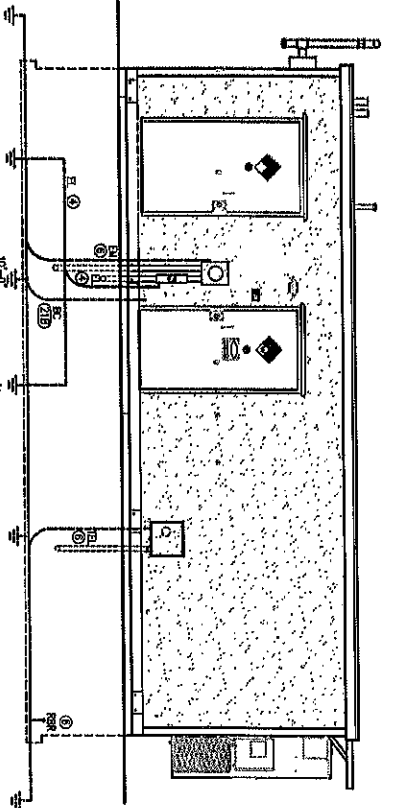
SHEET CONTENTS:
GROUNDING PLAN
SHELTER CORNER DETAIL
FOUNDATION LEADS

MANNING AVENUE, N.
GRANT, MN 55982

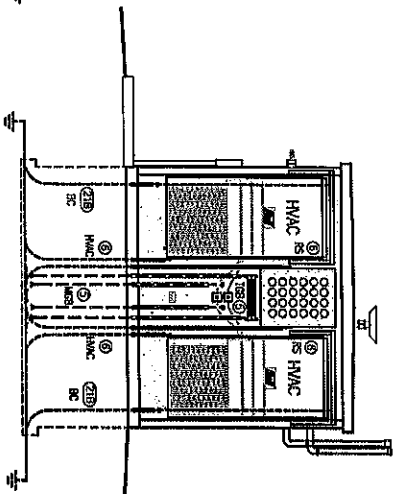
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REV. B: 09-18-13
REV. C: 10-01-13
REV. D: 10-09-14

G-2

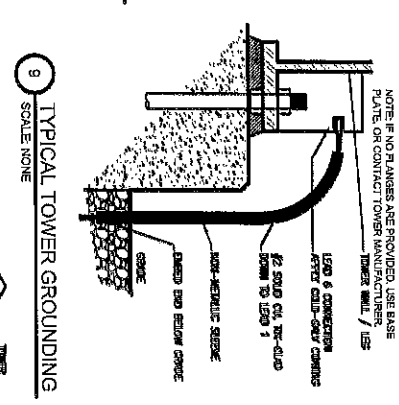
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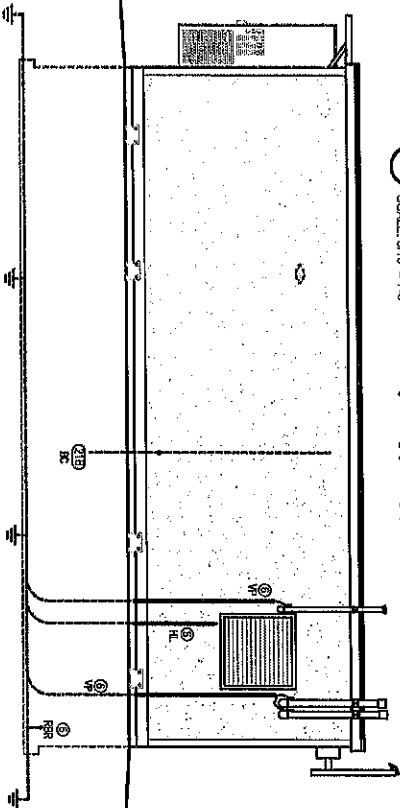
1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



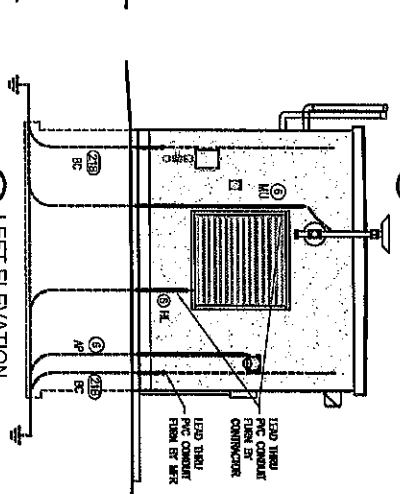
2 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



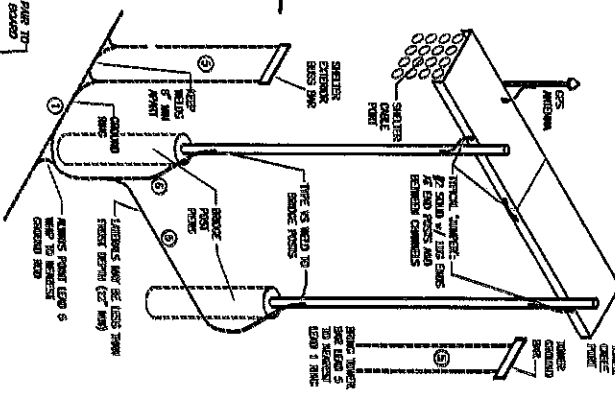
9 TYPICAL TOWER GROUNDING
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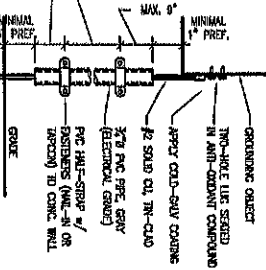
3 REAR ELEVATION
SCALE: 3/16" = 1'-0"



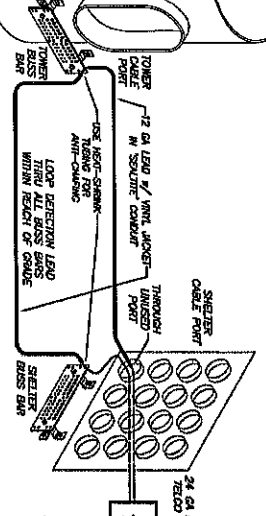
4 LEFT ELEVATION
SCALE: 3/16" = 1'-0"



8 TYPICAL CABLE BRIDGE
SCALE: NONE



5 CONDUIT DETAIL
SCALE: NONE



7 ANTI-THEFT MEASURE
SCALE: NONE

6 NOT USED
SCALE: NONE

NOTE: IF NO FLANGES ARE PROVIDED, USE BASE PLATE OR CONTACT TOWER MANUFACTURER, TOWER WALL / LES

LEAD 6 CONNECTION
APPLY COAT-ONLY COMB
#2 SAND OIL-TX-CLAD
FROM TO LEAD 5

NON-METALLIC STRIKE
PLACED 800 BELOW CORNER

CONCRETE
REINFORCING BARS

NOT FOR CONSTRUCTION

DESIGN

ROBERT LEWIS, AIA
ARCHITECT
4075 VALLEY VIEW RD.
BLOOMINGTON, MN 55410
(612) 879-9555

VERIZON WIRELESS

1901 BISHOP LANE ROAD
BLOOMINGTON, MN 55418
(612) 726-0000

PROJECT: 20130877400

MINC
KIT KAT

MANNING AVENUE N.
GRANT, MN 55092

SHEET CONTENTS:
EXTERIOR ELEVATIONS
CONDUIT, STROP ANTI-THEFT, BRIDGE, TOWER
BASE DETAILS

| | | |
|-------------|----------|-----|
| DATE: | 08-29-13 | LOG |
| CHECKED BY: | COB | |
| REV. A: | 09-05-13 | |
| REV. B: | 09-18-13 | |
| REV. C: | 10-02-13 | |
| REV. D: | 08-28-14 | |

G-3

SUPPLEMENTAL STATEMENT

Application: Conditional Use Permit for Proposed Verizon Wireless Communication Tower Site

Verizon Site Name: MIN Kit Kat

Project Description: Verizon Wireless proposes to place a 150' monopole tower with 9' lightning rod and associated 12' x 30' equipment shelter within a fenced compound on a 55' x 20' lease area. See enclosed drawings for details

Parcel Address: Manning Avenue North Grant , MN (located in Sec 13, Township 30, Range 21 West, Washington County PIN: 13.030.21.44.0003 Containing 20 Acres)

Property Owner: Robert & Denise Grogan

Zoning: A-2 Agricultural Small Scale

This statement is provided to supplement the previously filed materials pertaining to this application and address areas where additional details may help provide a better understanding of the project.

RF MAPS

Updated RF maps explaining the need for the proposed location as well as the why the existing town hall tower or utility line locations are not feasible were provided previously but are enclosed again as Exhibit 1.

LOCATION SELECTION/LACK OF ALTERNATIVES

The nearest General Business zoned property is over 3 miles to the south. Please see the zoning map attached as Exhibit 2. There is also a lack of alternative structures in the vicinity. As noted above, Verizon's RF Engineer has examined the closest tower (at the town hall) and the transmission line locations and determined that those locations do not meet objectives. In finding a location for a new monopole, our guiding principal was to find a suitable location with minimal residential impact consistent with the purpose statement in Section 32-444(8) and the other preferences in the ordinance. The zoning map enclosed as Exhibit 2 shows zoning in the City of Grant and adjacent Stillwater Township. The heaviest residential development is to the east in Stillwater Township and the City of Stillwater. Within the City of Grant there pockets of residential development which are zoned R1 - Single Family Residential (yellow) but there are also areas of more concentrated residential development within the agricultural districts. Verizon Wireless has chosen a spot within the A2 - Agricultural Small Scale zoning district (blue) that avoids the R1 Single Family Residential districts (yellow) but also avoids the areas within the agricultural districts that have a higher intensity of residential development. Mr. Grogan has spoken with his neighbors and up to this point there has been no evidence of wide scale neighborhood concern. We think this is the location that is the best fit and has the least impact with respect to residential development.

WATERSHED DISTRICT

The entire vicinity under consideration is within one watershed district or another and subject to the same types of standards. There is no place to which this location could be moved that would shift it outside of a watershed district. Those areas not within the Brown's Creek Watershed District are within the Carnelian-Marine-St. Croix Watershed District to the east.

The project as proposed does not negatively affect the Brown's Creek Watershed. National Environmental Protection Act (NEPA) review did not disclose any significant impacts.

Although the watershed permitting process generally does not occur until after the city's zoning process, we have reached out to the BCWD and provided them with the most recent set of drawings for preliminary review. An e-mail exchange with Karen Kill of the BCWD is enclosed as Exhibit 3. Karen indicated the BCWD may have additional comments upon further review but her preliminary thoughts were limited to protecting the integrity of the culvert when crossing Brown's Creek.

With ordinary maintenance visits by a technician in a car, pickup or SUV this is not an issue, but bridge jumpers will be used to protect the integrity of the culvert for heavier construction traffic (discussed below). The concern was also raised with respect to co-location if another shelter were to be added to accommodate an additional wireless provider in the future. I indicated that type of change would need to go back through the City of Grant for approval and would trigger another review. Any crane or truck traffic relative to transporting an equipment shelter would again need to use bridge jumpers or similar to protect the integrity of the creek crossing. Verizon would have no objection to the city including a condition regarding this in its approval as well as requiring Verizon Wireless to obtain all necessary BCWD permits.

BRIDGE JUMPERS

In order to protect the integrity of the culvert when construction traffic crosses Brown's Creek bridge jumpers will be used. These are noted in the drawings in the site plan shown on Sheet A-1 and example photos are included on Sheet A-5, Detail 10. These have successfully been used on other sites. Verizon Wireless asked Vic's Crane & Heavy Haul, Inc to visit the site to assess what was needed and provide a drawing with calculations. This is attached as Exhibit 4. The maximum loading is 59,000 lbs per axle. Verizon Wireless will not exceed this.

DIESEL GENERATOR

The site is proposed with a diesel generator located within the equipment shelter for emergency power backup. This is the preferred design to maintain the critical communication structure in the event of an emergency involving an extended power outage. Diesel fuel is the most readily available and easily transportable fuel in the event of an emergency.

The presence of diesel fuel does not propose a hazard to the watershed. All storage is double walled. The generator has a 210 gallon sub-base fuel tank with a secondary containment tank holding 125% of liquid volume. As an additional safety measure the generator room floor is designed as a catch basin and lined with a rubber membrane.


This was not an issue raised by the Brown's Creek Watershed District as part of our initial contact but Verizon Wireless will obtain all necessary permits and stands ready to meet all concerns and requirements with additional information as necessary.

UPDATED DRAWINGS TO REFLECT ADDITIONAL SCREENING

Also enclosed as Exhibit 5 is an updated set of drawings depicting an 8' cedar fence surrounded by a vegetative screen. The screen is shown on Sheet A-1 and fence and plant details are on Sheet A-7.

Verizon Wireless has worked to provide a project consistent with the letter and spirit of your ordinance that provides the wireless communications infrastructure necessary for the health, safety and welfare of the public in a location that minimizes residential impact. Based on the information submitted in this supplemental statement as well as previous information provided we respectfully request your approval of Verizon's application for a Conditional Use Permit for this project.

Respectfully submitted this 24th day of April, 2014:



Faulk & Foster, by Ralph Wyngarden, on behalf of Verizon Wireless
588 Three Mile Rd NW, Suite 102
Grand Rapids, MI 49544
Cell: (616) 490-9804



1300 Davenport Driv
Minden, Louisiana 7105
Office (800) 824-261
Fax (318) 377-575
www.fibrebond.com

April 24, 2014

RE: MIN Kit Kat

To Whom It May Concern:

Fibrebond shelters, and namely the generator room design, comply with Verizon Wireless's specification requirements as called out in technical specifications **Section 135100 Prefab Concrete Shelter. Item 17.c, Sub-Floor System, Generator Room**, details a requirement for "leak proof containment" to approximately 36 gallons. (See attached specification page and Fibrebond drawing page.)

Fibrebond installs **Marseal®600** floor liner for containment, installing this system 2" above floor. (See attached Marseal specification sheet.)

Also, the generator itself provides a 210 gallon double-walled UL Listed sub-base fuel tank with 125% containment. (See attached Generator cutsheet.)

Sincerely

FIBREBOND CORPORATION

A handwritten signature in cursive script that reads 'Nelwyn Warren'.

Nelwyn Warren
Director Customer Service

- iv. All metal floor deck to be galvanized deck selected to meet the load requirements and applicable spans.
- v. Viroc/Virodeck cement bonded particle board floor systems by Allied Building Products using a minimum 1" thick tongue and groove decking over metal joist not exceeding 16" o.c. spacing w/ #8 Graber cement board screws at 12" o.c. lap and field and with liquid nail bond. Use 1 1/4" decking under high loading areas such as batteries with metal joist supports not to exceed 12" o.c.. System shall be properly engineered for required floor loading with L/360 deflection min.
- vi. Wood sub-floor is not allowed.

c. Generator Room

- 1) Generator room floors are to be designed to provide a leak proof containment. Generator room door threshold to be elevated 2" above finish floor to create a recess area for containment. Seal base of walls. The containment volume would be approximately 36 gallons.

- 18. Cable Entry Ports: One (1), Connect-It or Microflect 24 port hatch plate, or equal, will be installed per shelter. Copper entry portals are not allowed. The cable port locations will be one of three locations, as shown in Supplier's drawings, (Supplier to provide two additional knock-outs for future use). Cable port location with Microflect hatch plate shall be site specific.
 - a. Future Port Knock Out: Knockout Ports to be devoid of steel or reinforcement. Reinforce surrounding area similar to other cable port openings. Knockout area to be constructed with reduced concrete thickness to allow for simplified future removal. Exterior surface to maintain continuous wall appearance.
- 19. Telco Board: Provide one (1) optional 4' x 8' x 3/4", CDX telco board when ordered by VzW. Paint to be fire-resistant black. Location shown on drawings provided. Sherman Williams min. 500-degree model #7.06A or equal.
 - a. End Wall shelter configurations shall be 3' x 8' x 3/4".
- 20. Through-wall Sleeves:
 - a. Rigid conduit sleeves are to be provided for both power and telco. The power sleeve is to be 3 inches in diameter and connected to the Integrated Load Center. The telco sleeve is to be 4 inches in diameter and extend no more than 2" from the exterior shelter wall, both sleeves are to have a plastic cap on the outside end.
 - b. Schedule 40 PVC sleeves are to be installed for grounding leads. The sleeves are to be 3/4 inch in diameter, installed at 45 degree angle downward from the inside of the shelter out, and flush with the inside and outside of the shelter wall.
 - c. The location of the required sleeves will be fixed based upon drawing detail provided.
- 21. Miscellaneous Materials: The following items must be provided as standard with each shelter:
 - a. Two (2) Shock Watch Container Damage Indicators: One (1) each 4G and one (1) each 6G.
 - 1) Manufacturer: Shock Watch
 - 2) Type: Mag2000
 - b. One (1) smoke detector
 - 1) 120 VAC with backup 9 volt battery

- 22. Miscellaneous Materials: The following items are optional with each shelter:

MARSEAL[®] 600

Floor Liner

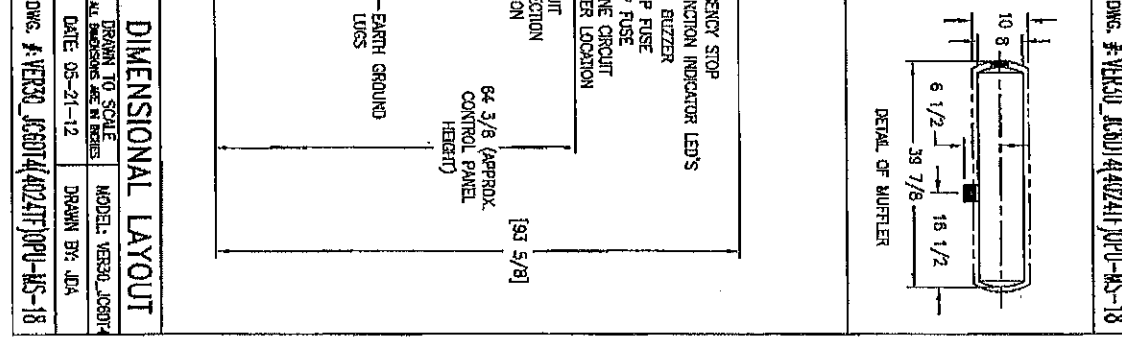
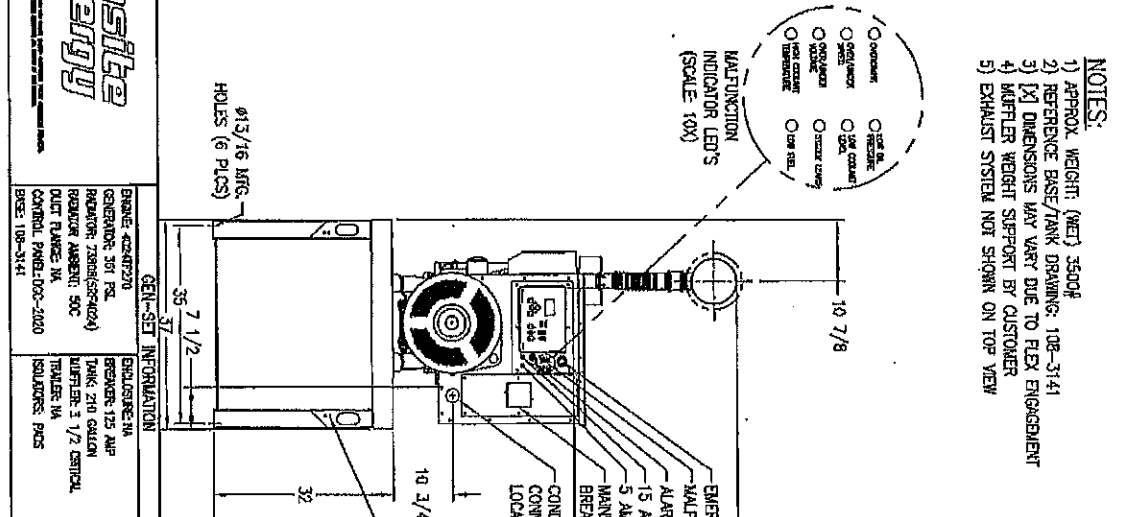
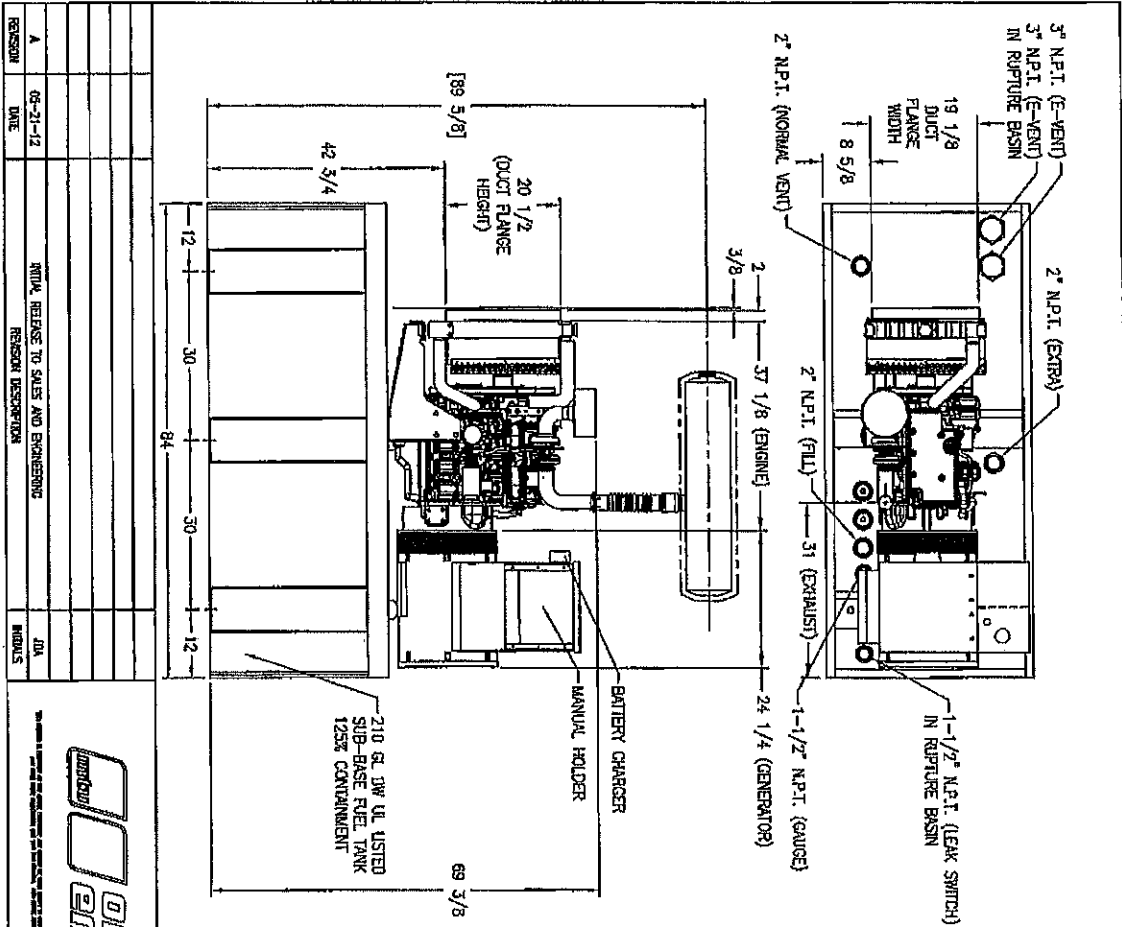


- Marseal 600 is a sheet lining incorporating DuPont Elvaloy[®] resin, reinforced with dispersed polyester fibers. It is recommended as a containment liner for protection against a wide range of chemicals; hydrocarbon-based derivatives such as diesel, fuel oil, gasoline, kerosene, and jet fuel; and organic and inorganic acids, caustics, and hazardous waste. It protects structures against leakage as it has a very low water vapor transmission rate.
- Marseal 600 is a 60-mil system (45-mil membrane/15-mil adhesive) that is fully adhered to concrete with its rubberized adhesive backing. The seams are then hot-air welded and tested. Rolls are 38 inches wide x 400 feet long, covering 1,267 square feet per roll.

PHYSICAL PROPERTIES

| <i>Property</i> | <i>Test Method</i> | <i>Result</i> |
|-----------------------------|--------------------|--------------------------------|
| Hardness | Shore A | 85A+/-5 |
| Elongation | ASTM D-412 | 170% |
| Tensile Strength at Yield | ASTM D-412 | 1500 lbs/in ² |
| Tear Strength | ASTM D-624 | 330 ppi |
| Low Temperature Flexibility | ASTM D-2137 | Pass |
| Water Absorption | ASTM D-471 | <0.1% |
| Water Vapor Transmission | ASTM E-96 | 0.065 grains/h•ft ² |

MRC, Inc. 5020 Panther Parkway Seville, Ohio 44273 Phone: 888-276-1400 Fax: 330-769-4153



- NOTES:
- 1) APPROX. WEIGHT (NET) 5500#
 - 2) REFERENCE BASE/TANK DRAWING: 108-3141
 - 3) [X] DIMENSIONS MAY VARY DUE TO FLEX ENGAGEMENT
 - 4) MUFFLER WEIGHT SUPPORT BY CUSTOMER
 - 5) EXHAUST SYSTEM NOT SHOWN ON TOP VIEW



DWG. # VER30_JC6014_402AT10PU-MS-18

| | | | | |
|----------|----------|--|----------------------|----------|
| REVISION | DATE | INITIAL RELEASE TO SALES AND ENGINEERING | REVISION DESCRIPTION | INITIALS |
| A | 05-21-12 | | | JDA |

OnSite Energy

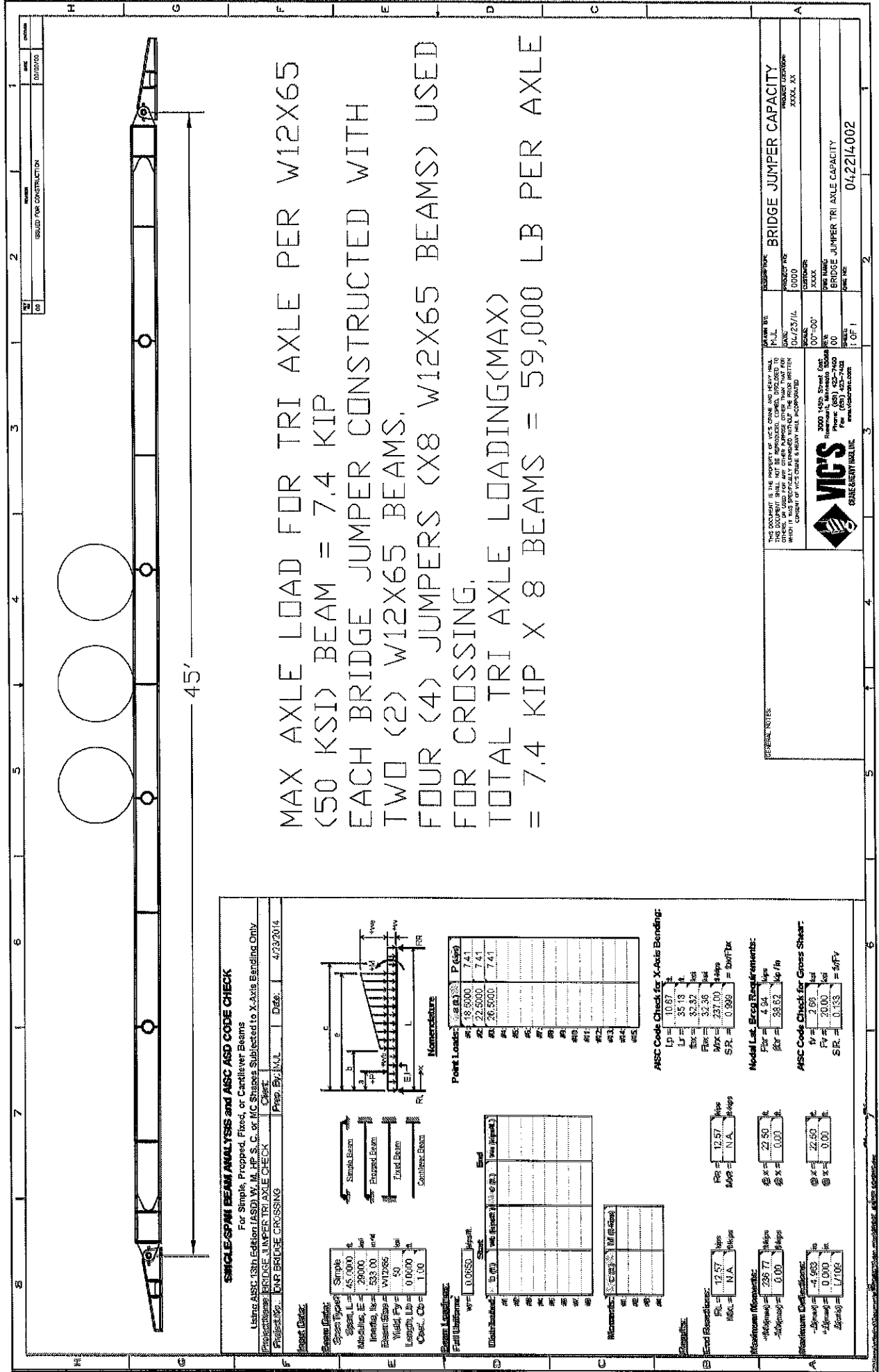
ENGINEER: JC6014
 GENERATOR: 30T FSL
 REGULATOR: 7000(50-200)
 REGULATOR ASSEMBLY: 50C
 CONTROL PANEL: DOC-3000
 BREV: 108-3141

GEN-SET INFORMATION

| | |
|-------------------------|-------------------------|
| EXHAUST: IN | EXHAUST: IN |
| GENERATOR: 30T FSL | GENERATOR: 30T FSL |
| REGULATOR: 7000(50-200) | REGULATOR: 7000(50-200) |
| REGULATOR ASSEMBLY: 50C | REGULATOR ASSEMBLY: 50C |
| CONTROL PANEL: DOC-3000 | CONTROL PANEL: DOC-3000 |
| BREV: 108-3141 | BREV: 108-3141 |

DIMENSIONAL LAYOUT

| | |
|--------------------------------------|---------------------|
| DRAWN TO SCALE | MODEL: VER30_JC6014 |
| ALL DIMENSIONS ARE IN INCHES | |
| DATE: 05-21-12 | DRAWN BY: JDA |
| DWG. #: VER30_JC6014_402AT10PU-MS-18 | |



MAX AXLE LOAD FOR TRI AXLE PER W12X65
 (50 KSI) BEAM = 7.4 KIP
 EACH BRIDGE JUMPER CONSTRUCTED WITH
 TWO (2) W12X65 BEAMS,
 FOUR (4) JUMPERS (X8 W12X65 BEAMS) USED
 FOR CROSSING.
 TOTAL TRI AXLE LOADING(MAX)
 = 7.4 KIP X 8 BEAMS = 59,000 LB PER AXLE

SINGLE-SPAN BEAM ANALYSIS and AISC ASD CODE CHECK
 For Simple, Propped, Fixed, or Cantilever Beams
 Using AISC 13th Edition, ASD, W, M, HP, S, C, or MC Shapes Subjected to X-Axis Bending Only

Project: BRIDGE JUMPER TRI AXLE CHECK
 Client: [Blank]
 Prep. By: M.J.L. Date: 4/23/2014

Beam Data:
 Span Type: Simple
 Spec. L = 45.000 ft
 Absolute EI = 29000 kip-ft²
 Inertia, I_x = 523.00 in⁴
 Resect Size = W12X65
 Yield, F_y = 50 ksi
 Length, L_b = 0.0000 ft
 C_b = 1.10

Beam Loading:
 Full Uniform: w = 0.0650 k/ft
 Point Load: P = 7.41 kips

End Reactions:
 R_L = 12.57 kips
 R_R = 12.57 kips
 M_{max} = N/A

Maximum Moments:
 -M_{max} = 236.77 kip-ft
 -M_{min} = 0.0000 kip-ft

Maximum Deflections:
 -Δ_{max} = -1.963 in
 -Δ_{min} = 0.0000 in
 Δ_{total} = 1.7066 in

ASCC Code Check for X-Axis Bending:
 L_p = 10.87 ft
 L_r = 35.19 ft
 φ_b = 0.90
 M_{px} = 237.00 kips-ft
 S_{rx} = 0.899 in³

Modal L_x Error Requirements:
 φ_b = 0.90
 φ_b = 0.90

ASCC Code Check for Gross Shear:
 φ_v = 0.90
 φ_v = 0.90

Point Loads:

| Point | Load (kips) | P (kips) |
|-------|-------------|----------|
| 1 | 18.5000 | 7.41 |
| 2 | 22.5000 | 7.41 |
| 3 | 26.5000 | 7.41 |
| 4 | 30.5000 | 7.41 |
| 5 | 34.5000 | 7.41 |
| 6 | 38.5000 | 7.41 |
| 7 | 42.5000 | 7.41 |
| 8 | 46.5000 | 7.41 |
| 9 | 50.5000 | 7.41 |
| 10 | 54.5000 | 7.41 |
| 11 | 58.5000 | 7.41 |
| 12 | 62.5000 | 7.41 |
| 13 | 66.5000 | 7.41 |
| 14 | 70.5000 | 7.41 |
| 15 | 74.5000 | 7.41 |
| 16 | 78.5000 | 7.41 |
| 17 | 82.5000 | 7.41 |
| 18 | 86.5000 | 7.41 |
| 19 | 90.5000 | 7.41 |
| 20 | 94.5000 | 7.41 |
| 21 | 98.5000 | 7.41 |
| 22 | 102.5000 | 7.41 |
| 23 | 106.5000 | 7.41 |
| 24 | 110.5000 | 7.41 |
| 25 | 114.5000 | 7.41 |
| 26 | 118.5000 | 7.41 |
| 27 | 122.5000 | 7.41 |
| 28 | 126.5000 | 7.41 |
| 29 | 130.5000 | 7.41 |
| 30 | 134.5000 | 7.41 |
| 31 | 138.5000 | 7.41 |
| 32 | 142.5000 | 7.41 |
| 33 | 146.5000 | 7.41 |
| 34 | 150.5000 | 7.41 |
| 35 | 154.5000 | 7.41 |
| 36 | 158.5000 | 7.41 |
| 37 | 162.5000 | 7.41 |
| 38 | 166.5000 | 7.41 |
| 39 | 170.5000 | 7.41 |
| 40 | 174.5000 | 7.41 |
| 41 | 178.5000 | 7.41 |
| 42 | 182.5000 | 7.41 |
| 43 | 186.5000 | 7.41 |
| 44 | 190.5000 | 7.41 |
| 45 | 194.5000 | 7.41 |
| 46 | 198.5000 | 7.41 |
| 47 | 202.5000 | 7.41 |
| 48 | 206.5000 | 7.41 |
| 49 | 210.5000 | 7.41 |
| 50 | 214.5000 | 7.41 |
| 51 | 218.5000 | 7.41 |
| 52 | 222.5000 | 7.41 |
| 53 | 226.5000 | 7.41 |
| 54 | 230.5000 | 7.41 |
| 55 | 234.5000 | 7.41 |
| 56 | 238.5000 | 7.41 |
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| 62 | 262.5000 | 7.41 |
| 63 | 266.5000 | 7.41 |
| 64 | 270.5000 | 7.41 |
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| 66 | 278.5000 | 7.41 |
| 67 | 282.5000 | 7.41 |
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| 73 | 306.5000 | 7.41 |
| 74 | 310.5000 | 7.41 |
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| 154 | 630.5000 | 7.41 |
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| 318 | 1286.5000 | 7.41 |
| 319 | 1290.5000 | 7.41 |
| 320 | 1294.5000 | 7.41 |
| 321 | 1298.5000 | 7.41 |
| 322 | | |

From: [Ralph Wyngarden](#)
To: "[Karen Kill](#)"
Cc: rflaming@eorinc.com; ccorrell@eorinc.com
Subject: RE: Verizon Cell Tower Proposal - NW of Intersection of Maning & Dellwood
Date: Thursday, April 17, 2014 10:27:27 AM

Karen

Technician/maintenance visits would be with an ordinary pickup truck, van or SUV and would be no more than once or twice a month. No unusual weight loads.

However, if co-location were to occur in the future and another shelter were to be added to accommodate an additional wireless provider, that type of change would need to go back through the City of Grant for approval and would trigger another review. Any crane or truck traffic relative to transporting an equipment shelter would again need to use bridge jumpers or similar to protect the integrity of the creek crossing. Verizon would have no objection to the city including a condition regarding this in its site approval.

Thanks for your initial thoughts on this. If there are additional questions we'll do our best to provide prompt information.

Ralph

Ralph Wyngarden, Sr. Zoning Specialist
Faulk & Foster
Cell: 616-490-9804

From: Karen Kill [<mailto:KKill@mnwcd.org>]
Sent: Thursday, April 17, 2014 10:14 AM
To: Ralph Wyngarden
Cc: rflaming@eorinc.com; ccorrell@eorinc.com
Subject: RE: Verizon Cell Tower Proposal - NW of Intersection of Maning & Dellwood

Initial thoughts just based on your email text (I haven't reviewed the plans yet), what maintenance needs will you have? What size trucks will be accessing for maintenance/frequency and how will you protect the crossing at that time?

Thanks for sending over,

Karen Kill
Administrator
Brown's Creek Watershed District
455 Hayward Ave N
Oakdale, MN 55128
651-275-1136 x26
Karen.kill@mnwcd.org

From: Ralph Wyngarden [<mailto:ralph.wyngarden@faulkandfoster.com>]
Sent: Thursday, April 17, 2014 10:10 AM
To: Karen Kill
Subject: Verizon Cell Tower Proposal - NW of Intersection of Maning & Dellwood

Hi Karen

As a follow-up to my voice message, I've attached a copy of the plans for Verizon's proposed site. I've also attached an aerial photo.

The overall site plan on page 2 illustrates the site location in relation to Brown's Creek. Please note the existing house, barn and drive as well as a septic drain field are located all closer to the creek than the proposed tower location. The area immediately around the tower and equipment building will be surfaced with crushed rock. Based on surface and distance from the creek we don't anticipate any significant runoff impact. At the time of construction bridge jumpers or equivalent will be used to avoid weight on the existing culvert when crossing over the creek.

I'd like to see if there are any preliminary concerns with this project on the part of the Brown's Creek Watershed District. Please contact me with any questions, concerns or comments. Thanks.

Ralph

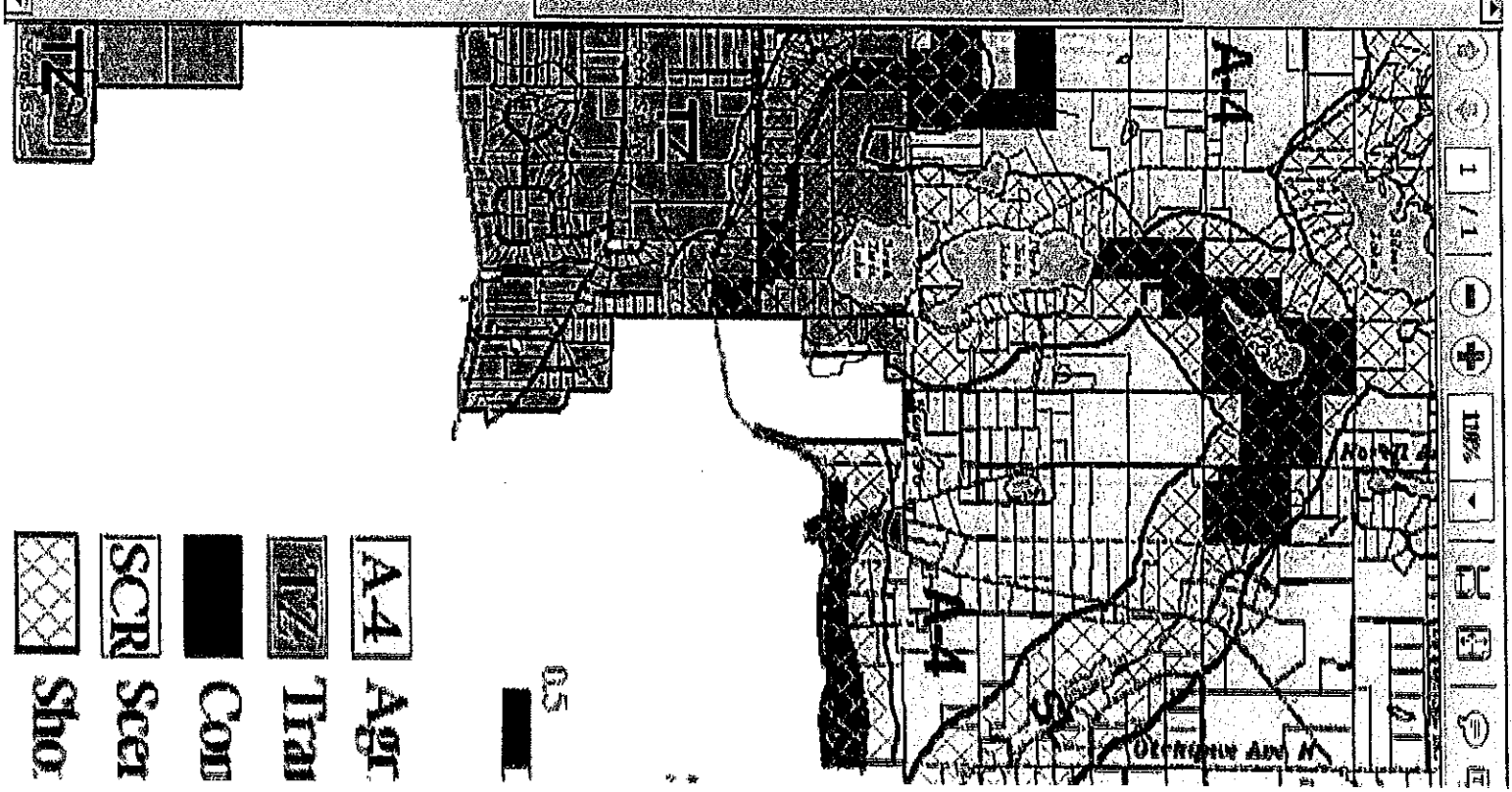
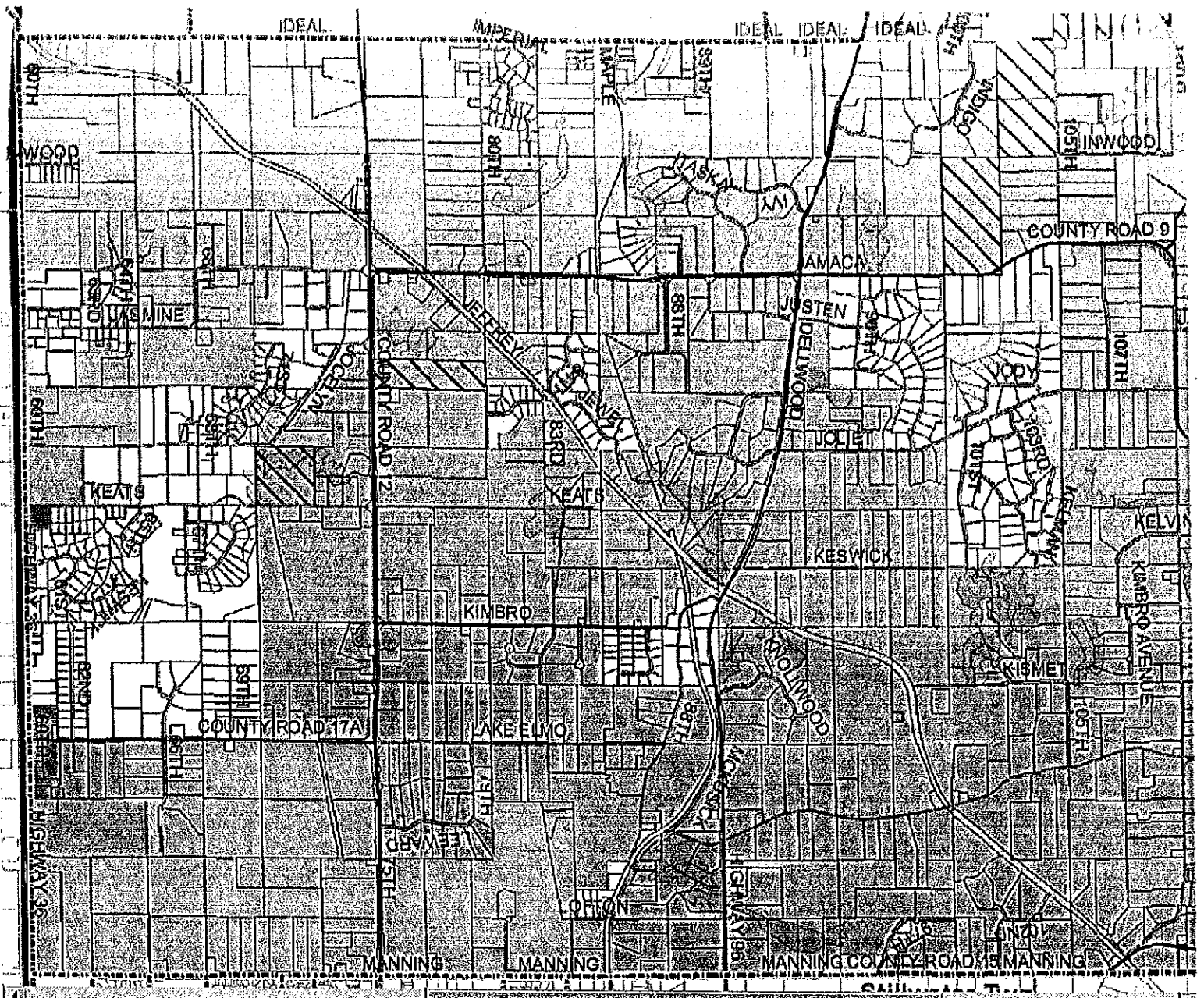
Ralph Wyngarden, Sr. Zoning Specialist
Faulk & Foster
588 Three Mile Rd NW, Suite 102
Grand Rapids, MI 49544
Office: 616-647-3720, ext. 115
Fax: 616-647-8614
Cell: 616-490-9804






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Faulk & Foster
www.faulkandfoster.com

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-  Trai
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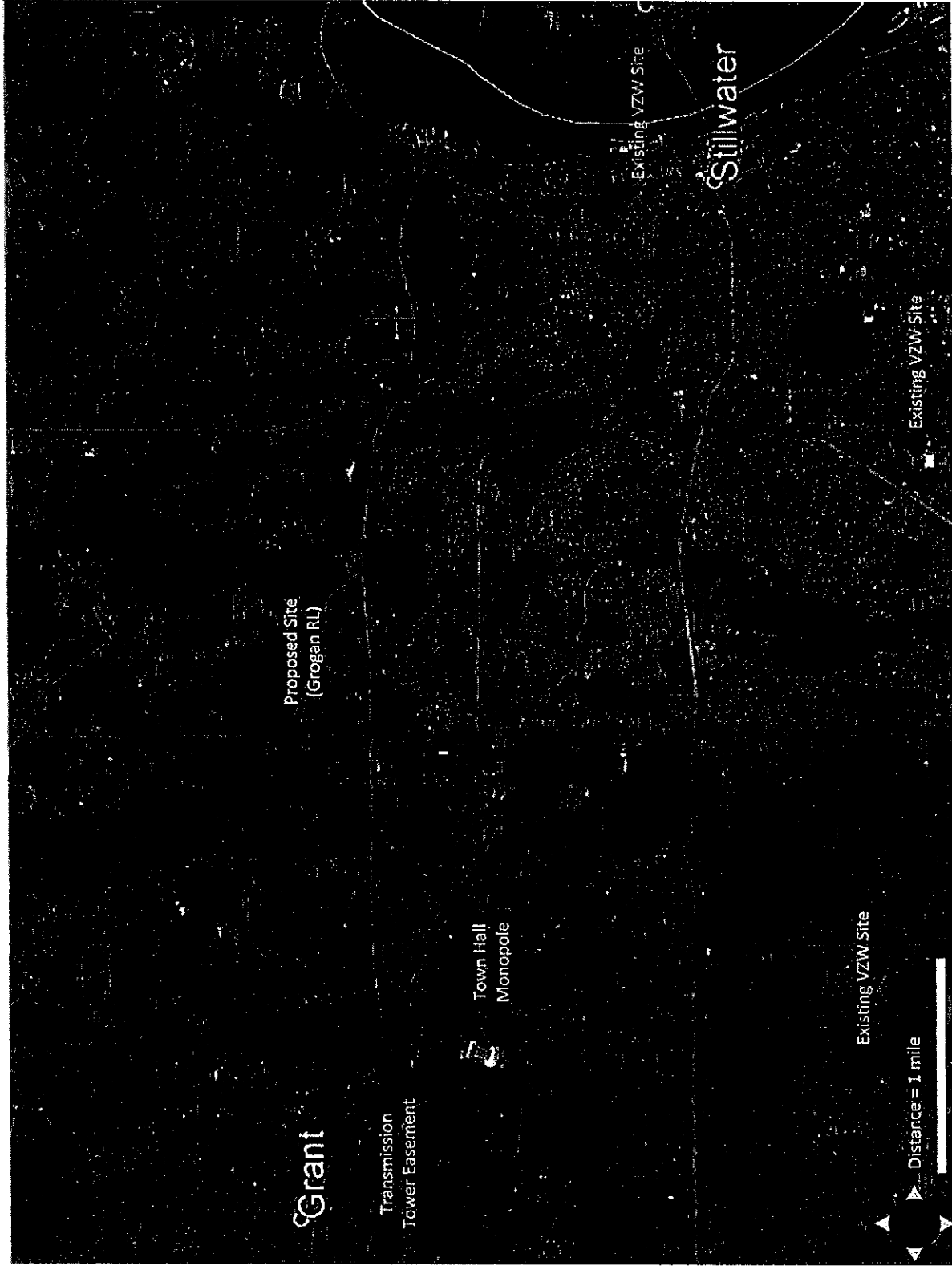
Map navigation controls including zoom in (+), zoom out (-), home (H), and other navigation icons. A scale bar is also present.

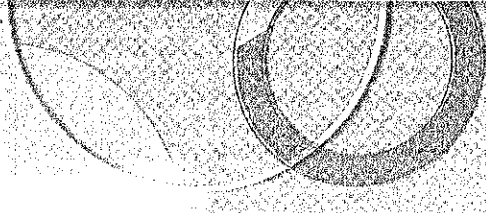
RF Coverage Maps for Proposed Kit Kat Site

Jordan Alstad
RF Design Engineer
4-22-2014



Street Map of Area Surrounding Proposed Site





RSRP Coverage

- RSRP (Reference Signal Received Power) is a measurement that determines the strength (and thus reliability) of a cellular signal.
- An RSRP level of greater than -95 dBm is considered “good”, -95 to -105 dBm is considered “fair”, and less than -105 dBm is considered poor.
- New site must provide “good” to “fair” RSRP coverage in higher traffic areas to best serve the most users on the network. In this case, the **northeast area of Grant, especially along Manning Avenue**, is the targeted high traffic area.
- The next several slides will show the existing coverage, as well as the coverage that would be provided by the proposed site and two alternate sites (town hall monopole, and transmission tower easement).

Current RSRP Coverage Map of Area Surrounding Proposed Site



RSRP > -95 dBm: Good coverage, reliable signal in and out of buildings and vehicles. Low likelihood of dropped connections.

RSRP > -105 dBm, <-95 dBm: Fair coverage, somewhat reliable signal outside, low reliability indoors. Medium likelihood of dropped connections.

RSRP < -105 dBm: Poor coverage, low reliability outdoors and indoors. High likelihood of dropped connections.



Proposed Site



Existing Site

Proposed Coverage Map of Area Surrounding Proposed Site



RSRP > -95 dBm: Good coverage, reliable signal in and out of buildings and vehicles. Low likelihood of dropped connections.

RSRP > -105 dBm, < -95 dBm: Fair coverage, somewhat reliable signal outside, low reliability indoors. Medium likelihood of dropped connections.

RSRP < -105 dBm: Poor coverage, low reliability outdoors and indoors. High likelihood of dropped connections.



Proposed Site



Existing Site



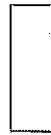
Alternate RSRP Coverage Map of Area Surrounding Proposed Site
 Alternate Site: Town Hall Monopole



RSRP > -95 dBm: Good coverage, reliable signal in and out of buildings and vehicles. Low likelihood of dropped connections.

RSRP > -105 dBm, < -95 dBm: Fair coverage, somewhat reliable signal outside, low reliability indoors. Medium likelihood of dropped connections.

RSRP < -105 dBm: Poor coverage, low reliability outdoors and indoors. High likelihood of dropped connections.



Proposed Site



Existing Site



Alternate Site (Town Hall Monopole)



Alternate RSRP Coverage Map of Area Surrounding Proposed Site
 Alternate Site: Transmission Tower Easement



RSRP > -95 dBm: Good coverage, reliable signal in and out of buildings and vehicles. Low likelihood of dropped connections.

RSRP > -105 dBm, < -95 dBm: Fair coverage, somewhat reliable signal outside, low reliability indoors. Medium likelihood of dropped connections.

RSRP < -105 dBm: Poor coverage, low reliability outdoors and indoors. High likelihood of dropped connections.



Proposed Site



Existing Site



Alternate Site (Transmission Tower Easement)



Analysis

- Analysis shows that the Proposed Site (Grogan RL) shows a significant improvement in signal quality in the targeted area, along Manning Ave and in the north east part of town.
- While the alternate sites of the town hall monopole or a hypothetical site within a transmission tower easement, would improve the signal quality in some areas, they would have minimal effect on the high traffic target area.
- It is Verizon's opinion that proposed site is in the optimal location to serve the needs of both Verizon and its customers. The alternative locations considered here will not have the positive impact on network quality and user experience necessary to justify a new site in either location.

**CITY OF GRANT, MINNESOTA
RESOLUTION NO. 2014-12**

**RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR
9254 MANNING AVENUE
(VERIZON WIRELESS)**

WHEREAS, Faulk and Foster Real Estate on behalf of Verizon Wireless (“Applicant”) has submitted an application for a Conditional Use Permit construct a telecommunications monopole to be located at 9254 Manning Avenue in the City of Grant, Minnesota; and

WHEREAS, the existing site is currently used a principal residence by Robert Grogran (“Owner”) and is approximately 20 acres in size; and

WHEREAS, the City Council has considered the Applicant’s request at a duly noticed Public Hearing which took place on April 1, 2014 and subsequently considered the application on May 1, 2014.

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRANT, WASHINGTON COUNTY, MINNESOTA, that it does hereby approve the request of Faulk and Foster Real Estate on behalf of Verizon Wireless for a Conditional Use Permit, based upon the following findings pursuant to Section 32-147 of the City’s Zoning Ordinance which provides that a Conditional Use Permit may be granted “if the applicant has proven to a reasonable degree of certainty” that specific standards are met. The City Council’s Findings relating to the standards are as follows:

- The use is designated in Section 32-245, table of uses, as a conditional use for the Agricultural A2 zoning district.
- The use conforms to the city’s comprehensive plan, and maintains large lot sizes in compliance with the guided land used designation.
- The Applicant successfully demonstrated through the submitted materials that there are no preferred locations or support structures available within the City.

- The Applicant supplied a statement that the National Environmental Protection Act (NEPA) review did not disclose any significant environmental impacts that could not be mitigated.
- The use will not be detrimental to or endanger the public health, safety or general welfare of the city, its residents, or the existing neighborhood if conditions of the permit are met.
- The use meets conditions or standards adopted by the city (through resolutions or other ordinances).
- The use will not create additional requirements for facilities and services at public cost beyond the city's normal low density residential and agricultural uses.
- The use will not result in the destruction, loss or damage of natural, scenic, or historic features of importance.
- The use will not increase flood potential or create additional water runoff onto surrounding properties.

FURTHER BE IT RESOLVED, that the following conditions of approval of the Conditional Use Permit shall be met:

1. The Equipment Shelter should be designed to be architecturally compatible with other existing structures on the site. Based upon the design, it appears that some additional detail and/or alternate materials and colors should be considered for compatibility with existing structures.
2. The plan set shall be updated to indicate placement of the signage on the gate, driveway and equipment shelter.
3. An updated plan set reflecting the City Engineer's recommendations and requirements shall be submitted prior to issuance of any building permit.
4. The landscape plan as depicted on Figure A-1 shall be planted upon completion of construction of the tower, and shall be required to be maintained.
5. All ground equipment, including the Equipment Shelter, fencing and vegetation shall be kept in good repair and shall be maintained in compliance with the standards set forth in this permit.
6. All antennas shall be construction in compliance with city building and electrical codes. A building permit must be obtained prior to construction
7. No advertising, of any type, shall be affixed to the monopole or any components within the Land Area.
8. Antennas shall not be artificially lit and may not display any strobe lights.

9. The Applicant must obtain all necessary, applicable, federal state and local agency permits prior to construction of the monopole and installation of the antennas.
10. The Applicant shall work with the Browns Creek Watershed District (BCWD) during the construction process to ensure the culvert over the creek is protected, and copies of such correspondence provided to the City for record keeping.
11. Written statement from the Fire Department shall be submitted as indicated in Section 32-449(8) prior to a building permit being issued.
12. All antennas shall be shall be subject to state and federal regulations pertaining to nonionizing radiation and other health hazards related to such facility. If new, more restrictive standards are adopted, antennas shall be brought into compliance with the new standards by the owner and operator. The cost of verification of compliance shall be borne by the owner and operation of the antenna.
13. Any future antenna installation shall be subject to the regulations and standards as set forth in Section 32-446 Permit Requirements, or corresponding section, of the City's adopted ordinances.
14. Any proposed changes, modifications, or expansions, including the co-location of another user for which the land area is altered will require the amendment of this permit.
15. The Owner/Operator of the tower shall be required to submit yearly proof of insurance and compliance of operations.
16. Every five years the applicant shall submit a report consistent with those requirements stated within Section 32-449(c), or corresponding section, of the City's adopted ordinance.
17. Any modifications to the ground equipment, expansion of the ground area, or other ground alteration activities shall require an amendment to this permit.
18. All escrow amounts shall be brought up to date and kept current.
19. This permit shall be reviewed on an annual basis.
20. Any violation of the conditions of this permit shall result in the revocation of said permit.
21. Any modifications to the ground equipment, expansion of the ground area, or other ground alteration activities shall require an amendment to this permit.

Adopted by the Grant City Council this 1st day of May, 2014.

Tom Carr, Mayor

State of Minnesota)
) ss.
County of Washington)

I, the undersigned, being the duly qualified and appointed Clerk of the City of Grant, Minnesota do hereby certify that I have carefully compared the foregoing resolution adopted at a meeting of the Grant City Council on _____, 2014 with the original thereof on file in my office and the same is a full, true and complete transcript thereof.

Witness my hand as such City Clerk and the corporate seal of the City of Grant, Washington County, Minnesota this _____ day of _____, 2014.

Kim Points
Clerk
City of Grant

**VERIZON MONOPOLE – TELECOMMUNICATIONS TOWER
CONDITIONAL USE PERMIT
CITY OF GRANT**

APPLICANT: Faulk and Foster Real Estate on behalf of Verizon Wireless
588 3 Mile Road, Suite 102
Grand Rapids, MI 49544

PROPERTY OWNER: Robert Grogan
9254 Manning Avenue
Grant, MN 55082

GENERAL LEGAL DESCRIPTION: See Attached Site Plan
PID 1303021440003

ZONING: A-2

ADDRESS: 9254 Manning Avenue
Grant, MN 55082

This is a Conditional Use Permit to allow for the construction of a monopole, telecommunications pole, for Verizon Wireless per the revised plan set dated April 9, 2014. Any additional co-location or expansion of the land area, and specifically ground equipment, shall require an amendment to this Conditional Use Permit.

All uses shall be subject to the following conditions and/or restrictions imposed by the City Council, City of Grant, Washington County, Minnesota, in addition to all previous permits and applicable ordinances, statutes or other laws in force within the City:

1. The Equipment Shelter should be designed to be architecturally compatible with other existing structures on the site. Based upon the design, it appears that some additional detail and/or alternate materials and colors should be considered for compatibility with existing structures.
2. The plan set shall be updated to indicate placement of the signage on the gate, driveway and equipment shelter.
3. An updated plan set reflecting the City Engineer's recommendations and requirements shall be submitted prior to issuance of any building permit.
4. The landscape plan as depicted on Figure A-1 shall be planted upon completion of construction of the tower, and shall be required to be maintained.
5. All ground equipment, including the Equipment Shelter, fencing and vegetation shall be kept in good repair and shall be maintained in compliance with the standards set forth in this permit.

6. All antennas shall be construction in compliance with city building and electrical codes. A building permit must be obtained prior to construction
7. No advertising, of any type, shall be affixed to the monopole or any components within the Land Area.
8. Antennas shall not be artificially lit and may not display any strobe lights.
9. The Applicant must obtain all necessary, applicable, federal state and local agency permits prior to construction of the monopole and installation of the antennas.
10. The Applicant shall work with the Browns Creek Watershed District (BCWD) during the construction process to ensure the culvert over the creek is protected, and copies of such correspondence provided to the City for record keeping.
11. Written statement from the Fire Department shall be submitted as indicated in Section 32-449(8) prior to a building permit being issued.
12. All antennas shall be shall be subject to state and federal regulations pertaining to nonionizing radiation and other health hazards related to such facility. If new, more restrictive standards are adopted, antennas shall be brought into compliance with the new standards by the owner and operator. The cost of verification of compliance shall be borne by the owner and operation of the antenna.
13. Any future antenna installation shall be subject to the regulations and standards as set forth in Section 32-446 Permit Requirements, or corresponding section, of the City's adopted ordinances.
14. Any proposed changes, modifications, or expansions, including the co-location of another user for which the land area is altered will require the amendment of this permit.
15. The Owner/Operator of the tower shall be required to submit yearly proof of insurance and compliance of operations.
16. Every five years the applicant shall submit a report consistent with those requirements stated within Section 32-449(c), or corresponding section, of the City's adopted ordinance.
17. Any modifications to the ground equipment, expansion of the ground area, or other ground alteration activities shall require an amendment to this permit.
18. All escrow amounts shall be brought up to date and kept current.
19. This permit shall be reviewed on an annual basis.
20. Any violation of the conditions of this permit shall result in the revocation of said permit.
21. Any modifications to the ground equipment, expansion of the ground area, or other ground alteration activities shall require an amendment to this permit.

IN WITNESS WHEREOF, the parties have executed this agreement and acknowledge their acceptance of the above conditions.

CITY OF GRANT:

Date: _____

Tom Carr, Mayor

Date: _____

Kim Points, City Clerk

State of Minnesota)
)ss.
County of Washington)

On this _____ day of _____, 2014, before me, a Notary Public, personally appeared Tom Carr and Kim Points, of the City of Grant, a Minnesota municipal corporation within the State of Minnesota, and that said instrument was signed on behalf of the City of Grant by the authority of the city council and Tom Carr and Kim Points acknowledge said instrument to be the free act and deed of said City of Grant.

Notary Public

OWNER:
ROBERT GROGAN

Date: _____

By: _____
Its: _____

APPLICANT:
FAULK & FOSTER on behalf of VERIZON
WIRELESS

Date: _____

By: _____
Its: _____

Date: _____

Kim Points, City Clerk

State of Minnesota)
)ss.
County of Washington)

On this _____ day of _____, 2014, before me, a Notary Public, personally appeared _____
_____ the _____ of Dellwood Wedding Barn who acknowledged
that said instrument was authorized and executed on behalf of said Company.

Notary Public